

# IDEA PUBLIC SCHOOLS

## ENVELOPE IMPROVEMENTS

### DONNA PHASE 2 - RIO GRANDE VALLEY

#### IDEA Public Schools Board of Directors 2025

Collin Sewell	Chair
Ed Rivera	Vice-Chair / Treasurer
Ryan Vaughan	Secretary
Reba Cardenas McNair	Member
David Earl	Member
Erich Holmsten	Member
Michael Adams	Member
Gary Lindgren	Member
Theresa Barrera-Shaw	Member
Nanette Cocero	Member

#### IDEA Public Schools Senior Leadership 2025

Collin Sewell	Acting Chief Executive Officer
Dr. Jeff Cottrill	Superintendent
Layne Fisher	Chief Operating Officer
Philip Garza	Chief College and Diversity Officer
Martin Winchester	Chief Human Assets Officer
Dolores Gonzalez	Chief Program Officer
Leanne Hernandez	Chief Financial Officer
Cody Grindle	Chief Information Officer
Jessica Hess	Chief Compliance and Administrative Officer
Jill Dominguez	Regional Superintendent

### D R A W I N G I N D E X

#### IDEA DONNA

COVER	COVER SHEET	F2.01	BUILDING F - ROOF PLAN
A1.01	SITE PLAN	F5.01	BUILDING F - ELEVATIONS
B2.01	BUILDING B - ROOF PLAN	G2.01	BUILDING G - ROOF PLAN
B5.01	BUILDING B - ELEVATIONS	G5.01	BUILDING G - ELEVATIONS
C2.01	BUILDING C - ROOF PLAN	A3.01	ROOF DETAILS
C5.01	BUILDING C - ELEVATIONS	A3.02	ROOF DETAILS
		A3.03	ROOF DETAILS
D2.01	BUILDING D - ROOF PLAN	A4.01	ENVELOPE DETAILS
D5.01	BUILDING D - ELEVATIONS	A4.02	WINDOW DETAILS
E2.01	BUILDING E - ROOF PLAN	A4.03	WINDOW DETAILS
E5.01	BUILDING E - ELEVATIONS	A4.04	DOOR DETAILS
		A6.01	DOOR AND WINDOW ELEVATIONS


#### ARCHITECTS

GOMEZ MENDEZ SAENZ, INC.  
1150 PAREDES LINE RD. BROWNSVILLE, TX. 78521  
PH. (956) 546-0110 FAX. (956) 546-0196

No.

REVISIONS

BY


GMS ARCHITECTS

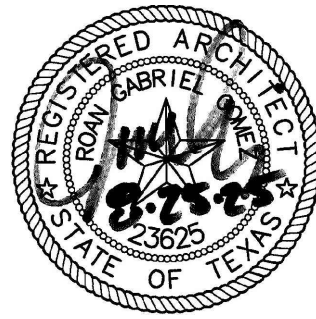
1150 Paredes Line Rd.  
Brownsville TX 78526  
(956) 546-0110  
fax (956) 546-0196

IDEA PUBLIC SCHOOLS

EXTERIOR SIDEWALK CANOPY REPAIRS

DONNA, TEXAS

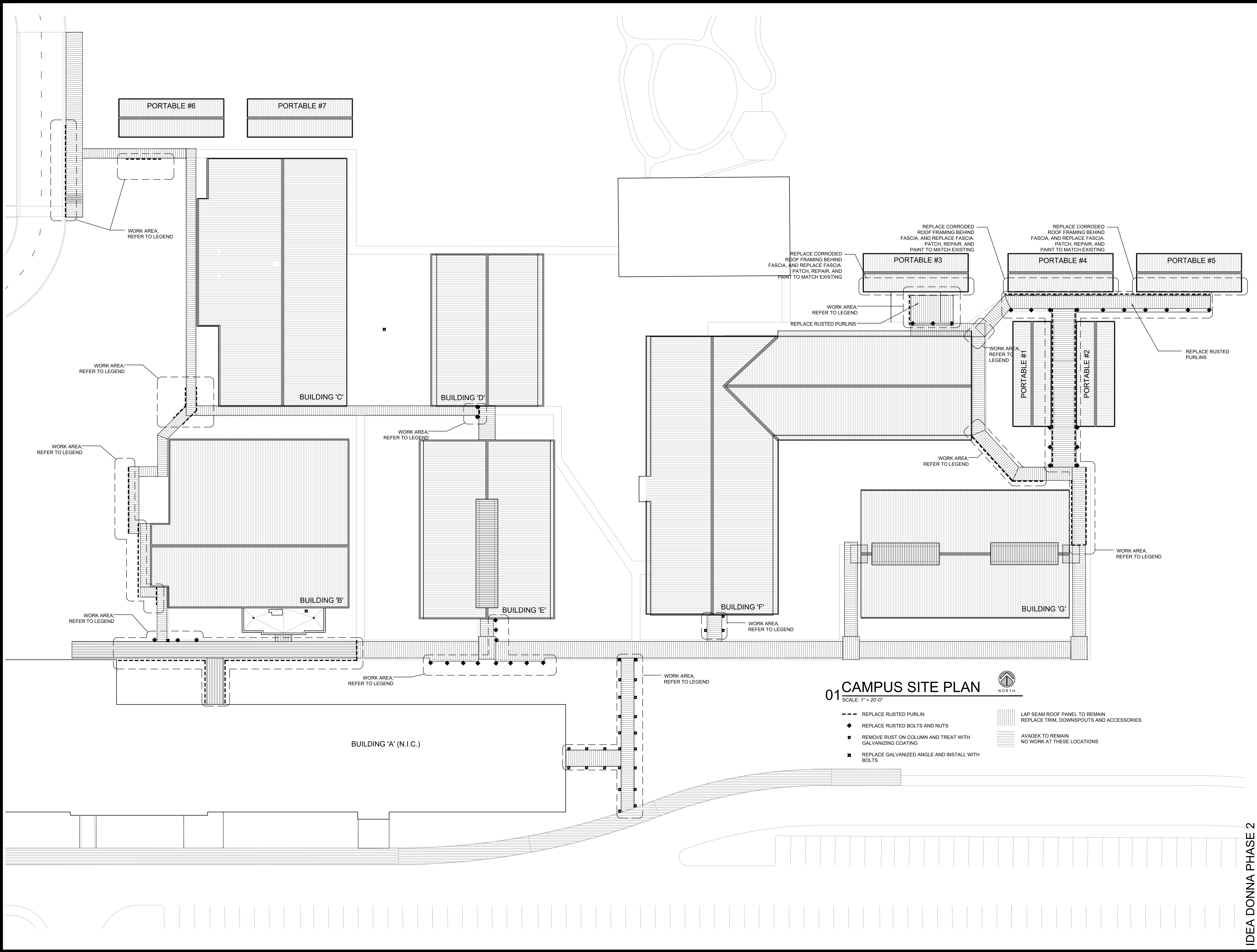




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Date:	September 2025		
Scale:	As Noted		
Project Architect:	Roan Gomez, AIA		
Drawn By:	CG, RG		
Job No.:	IDEA DONNA		
Sheet:	COVER		

COVER





No.	REVISIONS	BY

GMS ARCHITECTS  
1150 Paredes Line Rd.  
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**IDEA PUBLIC SCHOOLS**  
**EXTERIOR SIDEWALK CANOPY REPAIRS**  
DONNA, TEXAS

**IDEA**  
Public Schools

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Architects-Planners  
Interior Designers

Date: September 2025  
Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: CG, RG  
Job No: IDEA DONNA  
Sheet: A1.01

IDEA DONNA PHASE 2

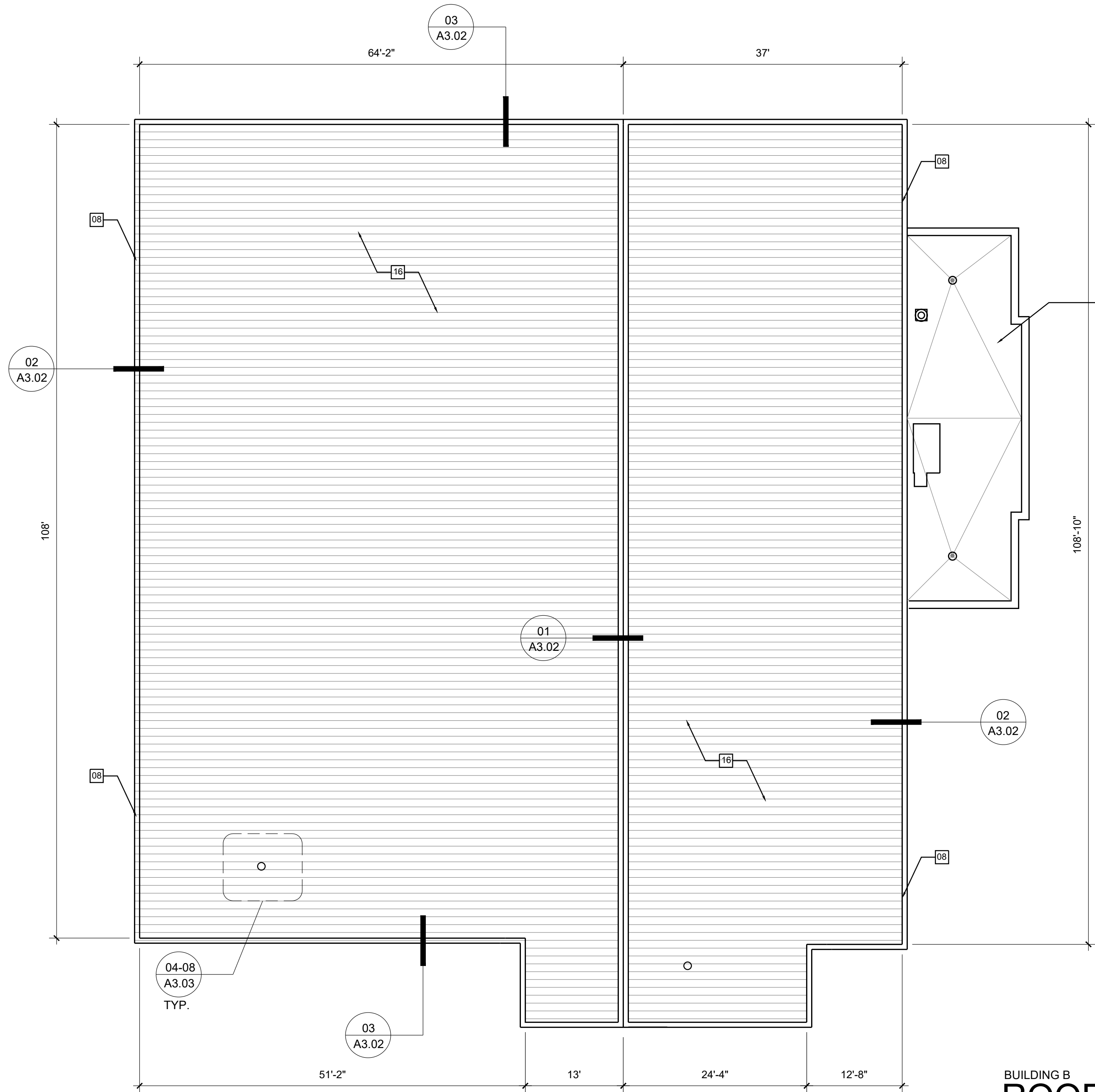




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Architects-Planners  
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Date: September 2025  
Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: CG RG  
Job No: IDEA FACILITIES  
Sheet:

B2.01



BUILDING B  
03 ROOF PLAN  
SCALE: 3/32" = 1'-0"

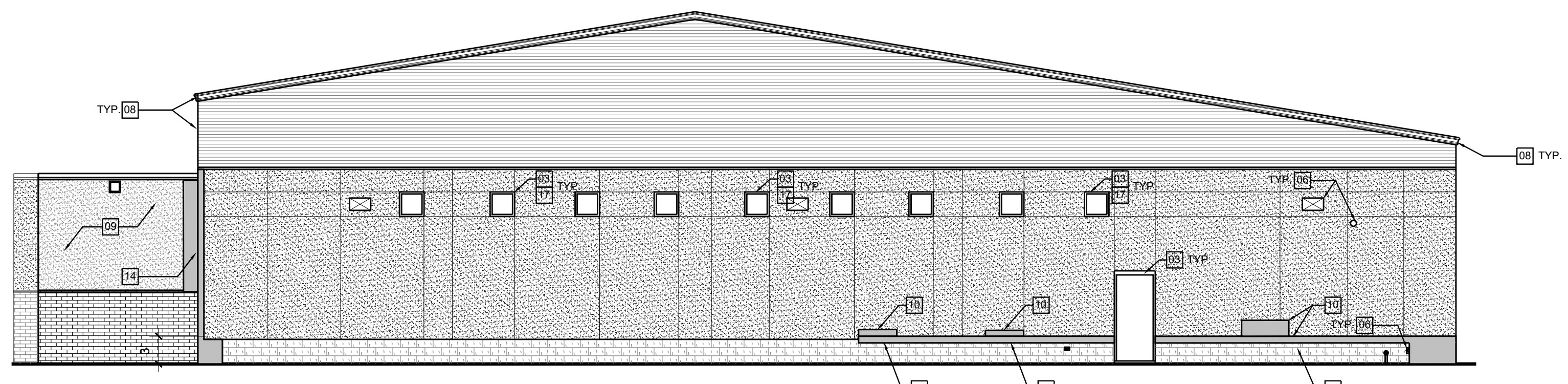
## KEYED NOTES

- PAINT PLASTER, TYP.
- REPLACE HORIZONTAL AND/OR VERTICAL OR CORNER PLASTER BEADS. REFER TO DETAILS: 01, 02, 03, 05, 06, 08/44-01
- REPLACE ALL SEALANT & BATTEN RODS @ DOORS/WINDOWS/CONTROL JOINTS. TYP. REFER TO DOOR AND WINDOW SEALANT DETAILS ON SHEETS A4.02/A4.04, AND CONTROL JOINT DETAILS ON A4.01
- REMOVE AND REPLACE LOOSE OR DAMAGED STONE/BRICK VENEER. REPLACE LATH, TOO. REFER TO DETAILS: 03.04.10, 11/A4.01
- ADD SPLASH BLOCKS, TYP.
- RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP.
- REMOVE RUST AND COLD GALVANIZE ROOF FRAMING/EXPOSED METAL
- REPLACE GUTTER/DOWNSPOUT/BOOT
- CLUSTER OF HAIRLINE CRACKS WHEN CRACK IS 1/2" OR MORE. REPAIR WITH SHOWER ROD AND CAULKING BEFORE PAINTING
- PATCH AND REPAIR PLASTER TO MATCH EXISTING FINISH. REFER TO DETAILS: 06.07.05/A4.01
- RE-POINT GROUT AT WINDOW SILL
- RE-POINT GROUT AT STONE TO STUCCO TRANSITION AT WINDOW COVE, TYP.
- RE-SEAL AROUND COVE LIGHT, PENETRATION, TYP.
- REPLACE PLASTER BEADS AND/OR PLASTER ON INSIDE CORNER OR UNDERSIDE
- GROUT BENCH ON WING WALL, AND RE-ATTACHE STONE (BOTH SIDES)
- INSTALL NEW ROOF RECOVER SYSTEM AS SPECIFIED
- REMOVE AND REPLACE WINDOW GASKETS WITH NEW ONES, TYP.
- CONTRACTOR TO ACCOUNT FOR SHEATHING REPLACEMENT AT SELECT REPAIR AREAS THAT OVERHANG BUILDING

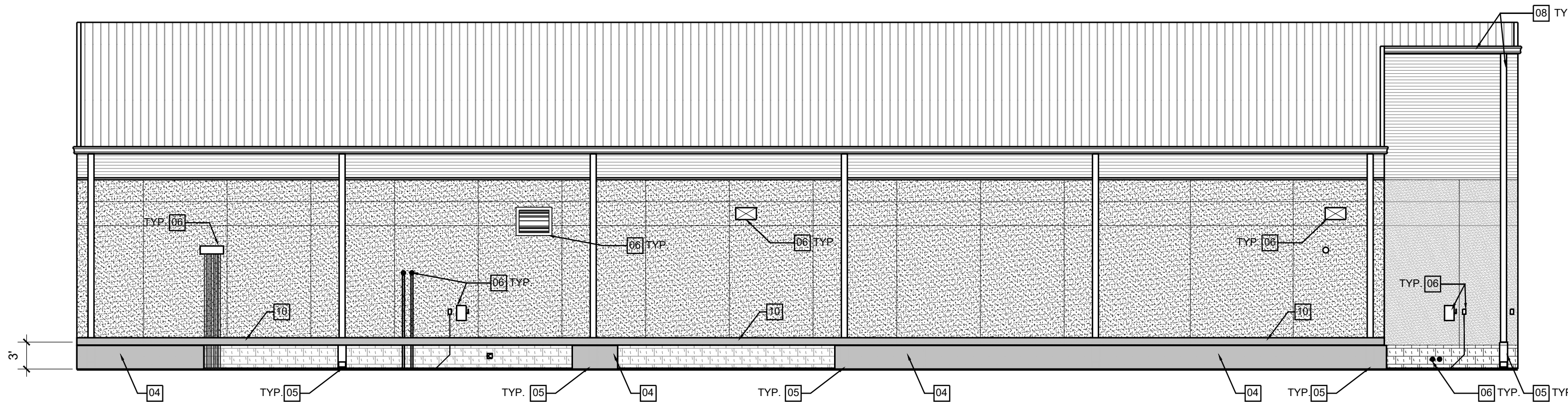
## ROOF: SCOPE OF WORK

- INSTALL METAL ROOF RECOVER OVER EXISTING ROOF AS SPEC'D
- IF ANY PURLINS OR ROOF STRUCTURE ARE FOUND TO HAVE RUST DAMAGE, TREAT WITH RUST REMOVAL. REPLACE IF SIGNIFICANTLY DAMAGED BEFORE COVERING UP WITH NEW SYSTEM
- REPLACE ALL GUTTER AND DOWNSPOUTS TO MATCH NEW ROOF PANELS/SYSTEM ALL OF WHICH SHALL MATCH EXISTING
- PROVIDE EXTENSION ACCESSORIES AND COMPONENTS AS REQUIRED FOR ALL EXISTING ROOF COMPONENTS

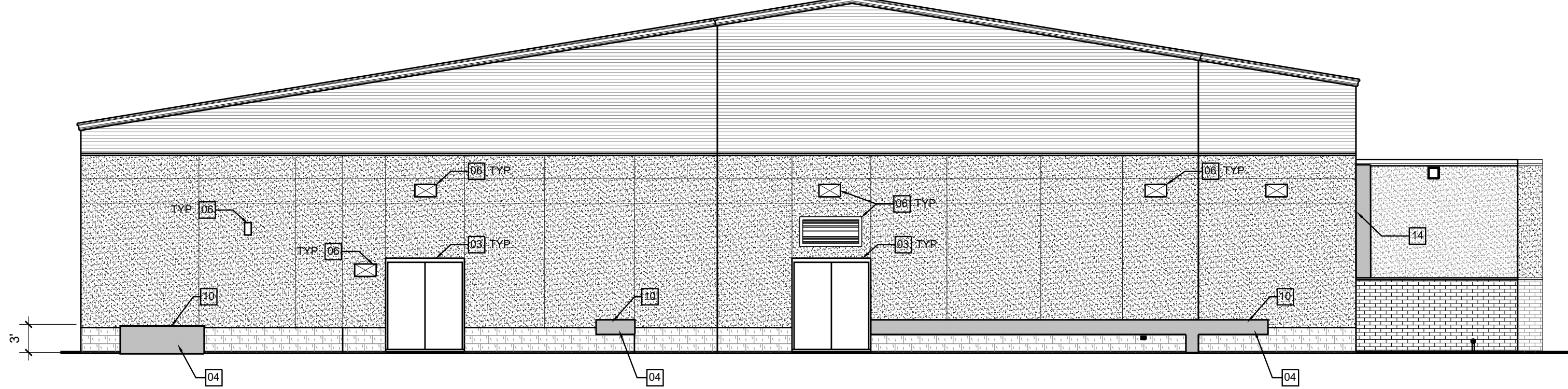




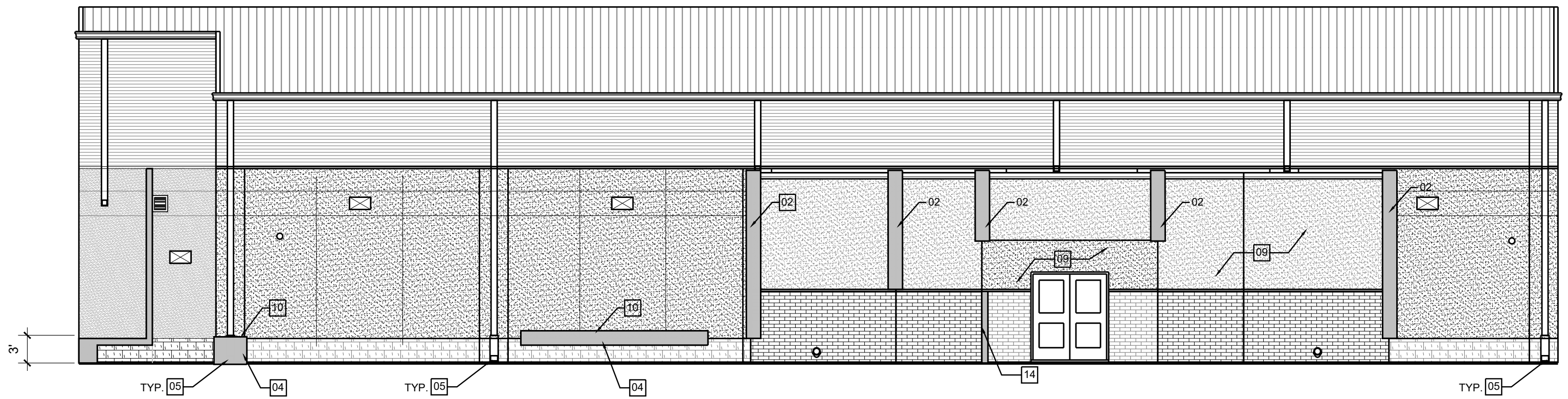
BUILDING B  
**01 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



BUILDING B  
**02 WEST ELEVATION**  
SCALE: 1/8" = 1'-0" TYP.



BUILDING B  
**03 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



BUILDING B  
**04 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

LEGEND



ALTERNATE 1

- ADD 3M SAFETY AND SECURITY WINDOW FILM ULTRA 800 WITH 3M IMPACT PROTECTION SYSTEM TO ALL WINDOWS (INTERIOR SIDE), COORDINATE WITH GASKET REPLACEMENT PRIOR TO FILM INSTALLATION.

ALTERNATE 2

- FOR ALL BUILDINGS OTHER THAN FLAGSHIP BUILDING, REMOVE ALL STONE STONE WAINSCOT, METAL LATHE AND WRB AND REPLACE WITH PLASTER WAINSCOT SEPARATED BY A CONTROL JOINT. PAINT TO MATCH THE REMOVED STONE. SEE DETAILS 12.13 A&A.01

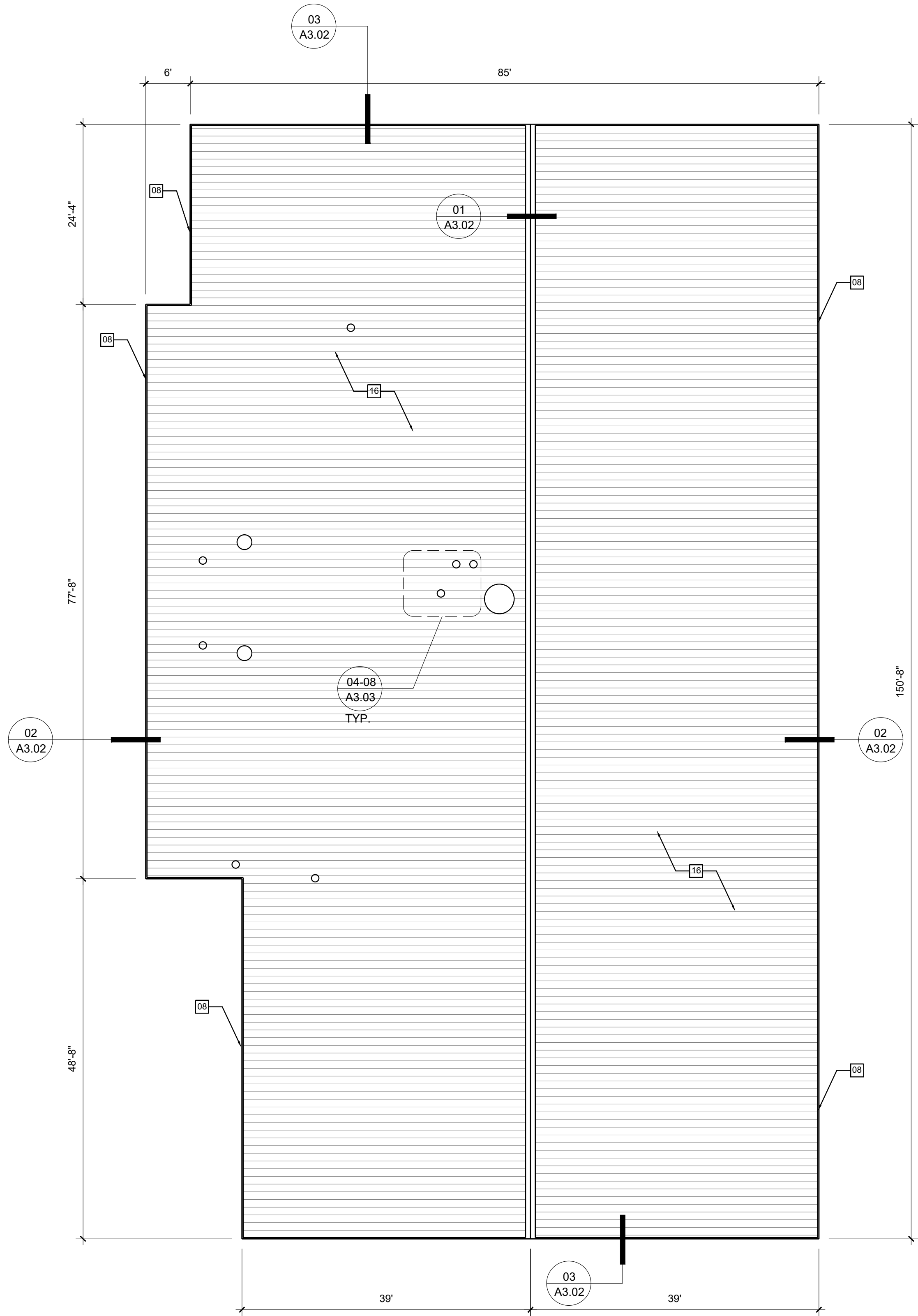
EXTERIOR WALLS: SCOPE OF WORK

- POWER WASH BUILDING EXTERIOR FOR ALL BUILDINGS
- APPLY ELASTOMERIC COATING AT ALL STUCCO WALLS TO MATCH EXISTING
- REPLACE EXISTING EXTERIOR WATERPROOFING/SEALANT JOINTS
- PROVIDE SPLASH BLOCKS AT EVERY DOWNSPOUT THROUGHOUT CAMPUS

KEYED NOTES

- |    |   |    |   |
|----|---|----|---|
| 01 | PAINT PLASTER, TYP.   | 13 | RE-SEAL AROUND COVE LIGHT, PENETRATION, TYP.  |
| 02 | REPLACE HORIZONTAL AND/OR VERTICAL, OR CORNER PLASTER BEADS. REFER TO DETAILS: 01, 02, 03, 05, 06, 08/A&A.01  | 14 | REPLACE PLASTER BEADS AND/OR PLASTER ON INSIDE CORNER OR UNDERSIDE                            |
| 03 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/CONTROL JOINTS. TYP. REFER TO DOOR AND WINDOW SEALANT DETAILS ON SHEETS A4.02-A4.04, AND CONTROL JOINT DETAILS ON A4.01 | 15 | GROUT BENCH ON WING WALL, AND RE-ATTACHE STONE (BOTH SIDES)                                   |
| 04 | REMOVE AND REPLACE LOOSE OR DAMAGED STONE/BRICK VENEER. REPLACE LATHE TOO. REFER TO DETAILS: 03.04, 10, 11/A&A.01   | 16 | INSTALL NEW ROOF RECOVER SYSTEM AS SPECIFIED  |
| 05 | ADD SPLASH BLOCKS, TYP.   | 17 | REMOVE AND REPLACE WINDOW GASKETS WITH NEW ONES, TYP.   |
| 06 | RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP.  | 18 | CONTRACTOR TO ACCOUNT FOR SHEATHING REPLACEMENT AT SELECT REPAIR AREAS THAT OVERHANG BUILDING |
| 07 | REMOVE RUST AND COLD GALVANIZE ROOF FRAMING/EXPOSED METAL   |    |   |
| 08 | REPLACE GUTTER/DOWNSPOUT/BOOT   |    |   |
| 09 | CLUSTER OF HAIRLINE CRACKS - WHEN CRACK IS 1/2" OR MORE, REPAIR WITH BACKER ROD AND CAULKING BEFORE PAINTING  |    |   |
| 10 | PATCH AND REPAIR PLASTER TO MATCH EXISTING FINISH. REFER TO DETAILS: 06.07/06/A&A.01  |    |   |
| 11 | RE-POINT GROUT AT WINDOW SILL   |    |   |
| 12 | RE-POINT GROUT AT STONE TO STUCCO TRANSITION AT WINDOW COVE, TYP.   |    |   |





BUILDING C  
04 ROOF PLAN  
SCALE: 3/32" = 1'-0"

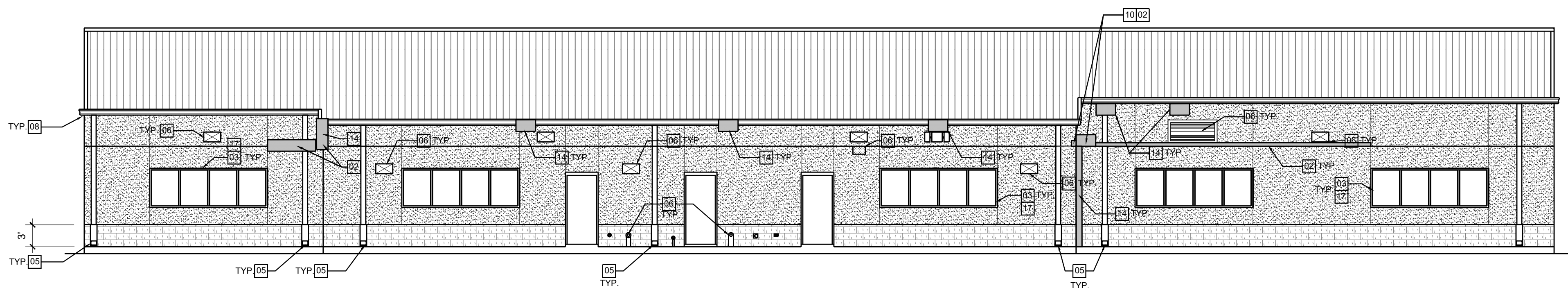
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- 14 REPLACE PLASTER BEADS AND/OR PLASTER ON INSIDE CORNER OR UNDERSIDE
- 15 GROUT BENCH ON WING WALL, AND RE-ATTACHE STONE (BOTH SIDES)
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- 17 REMOVE AND REPLACE WINDOW GASKETS WITH NEW ONES, TYP.
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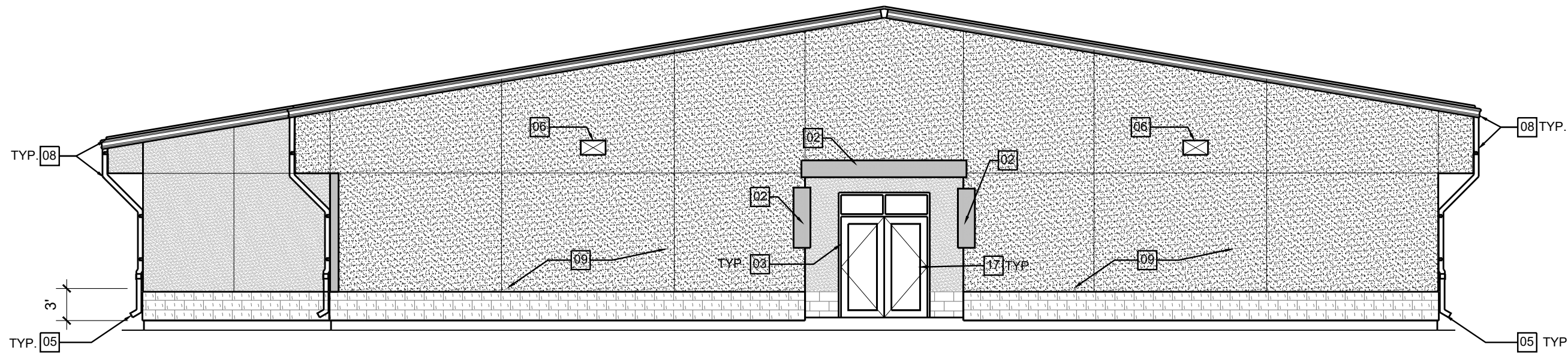
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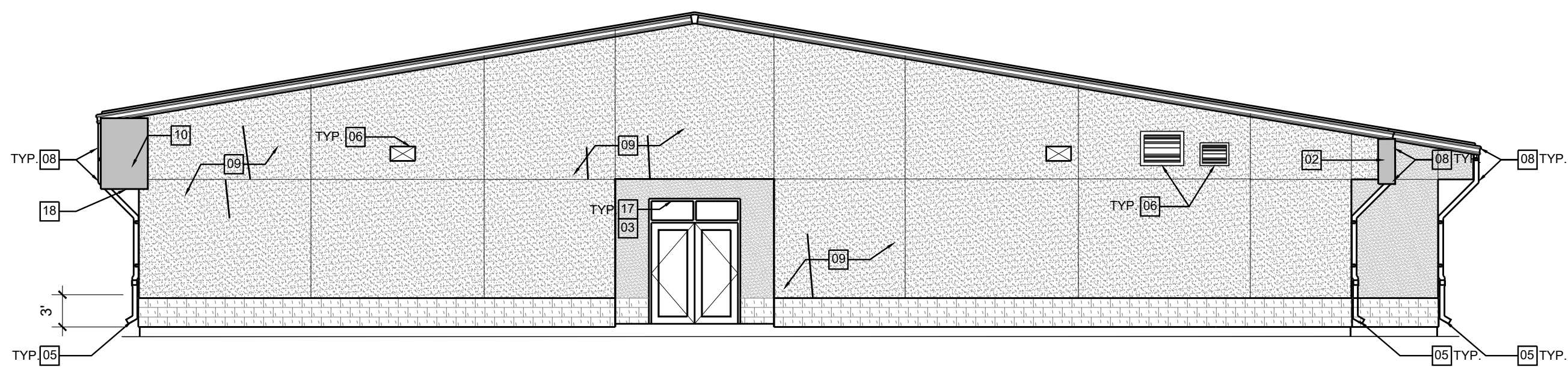




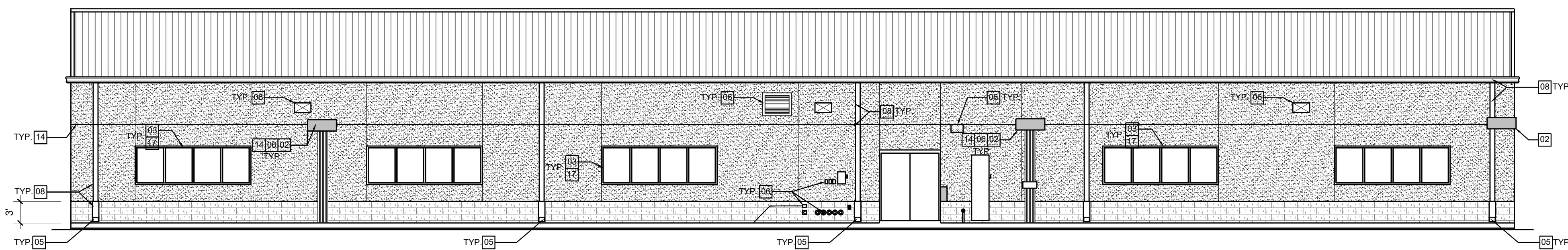
BUILDING C  
**01 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



BUILDING C  
**02 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



BUILDING C  
**03 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



BUILDING C  
**04 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

LEGEND



ALTERNATE 1

- ADD 3M SAFETY AND SECURITY WINDOW FILM ULTRA 800 WITH 3M IMPACT PROTECTION SYSTEM TO ALL WINDOWS (INTERIOR SIDE). COORDINATE WITH GASKET REPLACEMENT PRIOR TO FILM INSTALLATION.

ALTERNATE 2

- FOR ALL BUILDINGS OTHER THAN FLAGSHIP BUILDING, REMOVE ALL STONE STONE WAINSCOT, METAL LATHE AND WRB AND REPLACE WITH PLASTER WAINSCOT SEPARATED BY A CONTROL JOINT. PAINT TO MATCH THE REMOVED STONE. SEE DETAILS 12.13.A4.01

EXTERIOR WALLS: SCOPE OF WORK

- POWER WASH BUILDING EXTERIOR FOR ALL BUILDINGS
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KEYED NOTES

- |    |   |    |   |
|----|---|----|---|
| 01 | PAINT PLASTER, TYP.   | 13 | RE-SEAL AROUND COVE LIGHT, PENETRATION, TYP.  |
| 02 | REPLACE HORIZONTAL AND/OR VERTICAL, OR CORNER PLASTER BEADS. REFER TO DETAILS 01.02.03.05.16.08/A4.01   | 14 | REPLACE PLASTER BEADS AND/OR PLASTER ON INSIDE CORNER OR UNDERSIDE                            |
| 03 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/CONTROL JOINTS. TYP. REFER TO DOOR AND WINDOW SEALANT DETAILS ON SHEETS A4.02-A4.04, AND CONTROL JOINT DETAILS ON A4.01 | 15 | GROUT BENCH ON WING WALL, AND RE-ATTACHE STONE (BOTH SIDES)                                   |
| 04 | REMOVE AND REPLACE LOOSE OR DAMAGED STONE/BRICK VENEER. REPLACE LATHE TOO. REFER TO DETAILS: 03.04.10, 11/A4.01   | 16 | INSTALL NEW ROOF RECOVER SYSTEM AS SPECIFIED  |
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| 07 | REMOVE RUST AND COLD GALVANIZE ROOF FRAMING/EXPOSED METAL   |    |   |
| 08 | REPLACE GUTTER/DOWNSPOUT/BOOT   |    |   |
| 09 | CLUSTER OF HAIRLINE CRACKS. WHEN CRACK IS 1/2" OR MORE, REPAIR WITH BACKER ROD AND CAULKING BEFORE PAINTING   |    |   |
| 10 | PATCH AND REPAIR PLASTER TO MATCH EXISTING FINISH. REFER TO DETAILS: 06.07.06/A4.01   |    |   |
| 11 | RE-POINT GROUT AT WINDOW SILL   |    |   |
| 12 | RE-POINT GROUT AT STONE TO STUCCO TRANSITION AT WINDOW COVE, TYP.   |    |   |





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Interior Designers

Date: September 2025  
Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: CG RG  
Job No: IDEA FACILITIES  
Sheet:

KEYED NOTES

- 01

PAINT PLASTER, TYP.
- 02

REPLACE HORIZONTAL AND/OR VERTICAL OR CORNER PLASTER BEADS.  
REFER TO DETAILS: 01, 02, 03, 05, 06, 09/A4-01
- 03

REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/CONTROL JOINTS.  
TYP. REFER TO DOOR AND WINDOW SEALANT DETAILS ON SHEETS A4.02/A4.04,  
AND CONTROL JOINT DETAILS ON A4-01
- 04

REMOVE AND REPLACE LOOSE OR DAMAGED STONE/BRICK VENEER.  
REPLACE LATH, TOO. REFER TO DETAILS: 03.04.10, 11/A4-01
- 05

ADD SPLASH BLOCKS, TYP.
- 06

RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP.
- 07

REMOVE RUST AND COLD GALVANIZE ROOF FRAMING/EXPOSED METAL
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REPLACE GUTTER/DOWNSPOUT/BOOT
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RE-POINT GROUT AT WINDOW SILL
- 12

RE-POINT GROUT AT STONE TO STUCCO TRANSITION AT WINDOW  
COVE, TYP.
- 13

RE-SEAL AROUND COVE LIGHT, PENETRATION, TYP.
- 14

REPLACE PLASTER BEADS AND/OR PLASTER ON INSIDE CORNER OR  
UNDERSIDE
- 15

GROUT BENCH ON WING WALL, AND RE-ATTACHE STONE (BOTH SIDES)
- 16

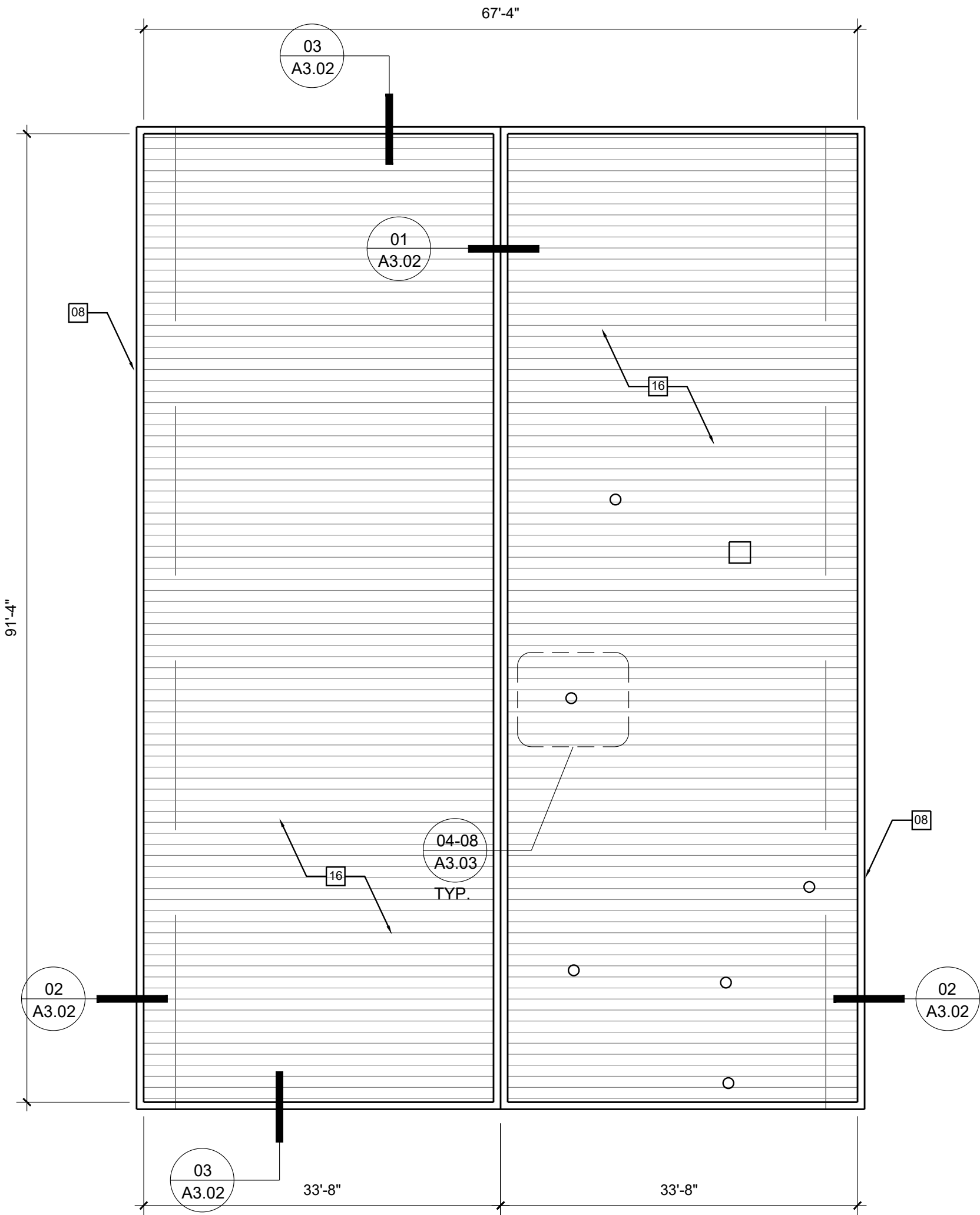
INSTALL NEW ROOF RECOVER SYSTEM AS SPECIFIED
- 17

REMOVE AND REPLACE WINDOW GASKETS WITH NEW ONES, TYP.
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CONTRACTOR TO ACCOUNT FOR SHEATHING REPLACEMENT AT  
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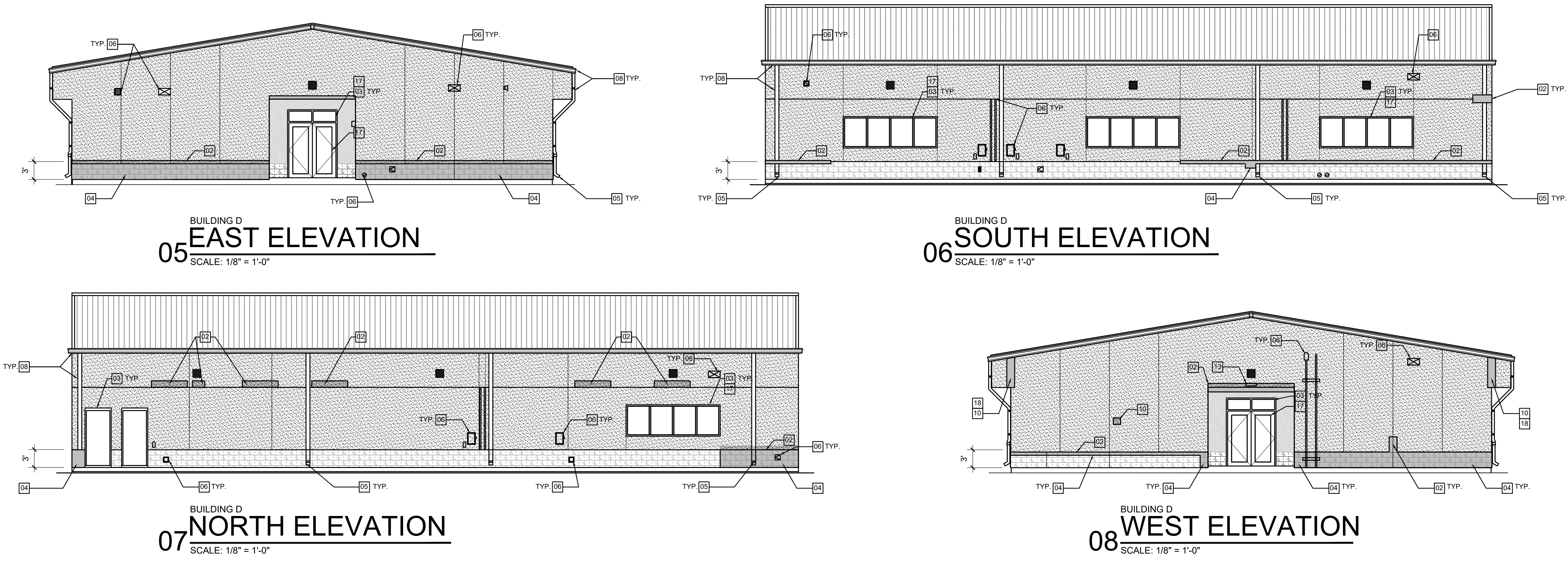
ROOF: SCOPE OF WORK

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- PROVIDE EXTENSION ACCESSORIES AND COMPONENTS AS REQUIRED FOR ALL  
EXISTING ROOF COMPONENTS




BUILDING D  
02 ROOF PLAN  
SCALE: 3/32" = 1'-0"





LEGEND

 - INDICATES WORK AREA

- ALTERNATE 1
- ADD 3M SAFETY AND SECURITY WINDOW FILM ULTRA 800 WITH 3M IMPACT PROTECTION SYSTEM TO ALL WINDOWS (INTERIOR SIDE). COORDINATE WITH GASKET REPLACEMENT PRIOR TO FILM INSTALLATION.
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- FOR ALL BUILDINGS OTHER THAN FLAGSHIP BUILDING, REMOVE ALL STONE STONE WAINSCOT, METAL LATHE AND WRB AND REPLACE WITH PLASTER WAINSCOT SEPARATED BY A CONTROL JOINT. PAINT TO MATCH THE REMOVED STONE. SEE DETAILS 12, 13 A4.01

- EXTERIOR WALLS: SCOPE OF WORK
- POWER WASH BUILDING EXTERIOR FOR ALL BUILDINGS
  - APPLY ELASTOMERIC COATING AT ALL STUCCO WALLS TO MATCH EXISTING
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- 01 PAINT PLASTER, TYP.
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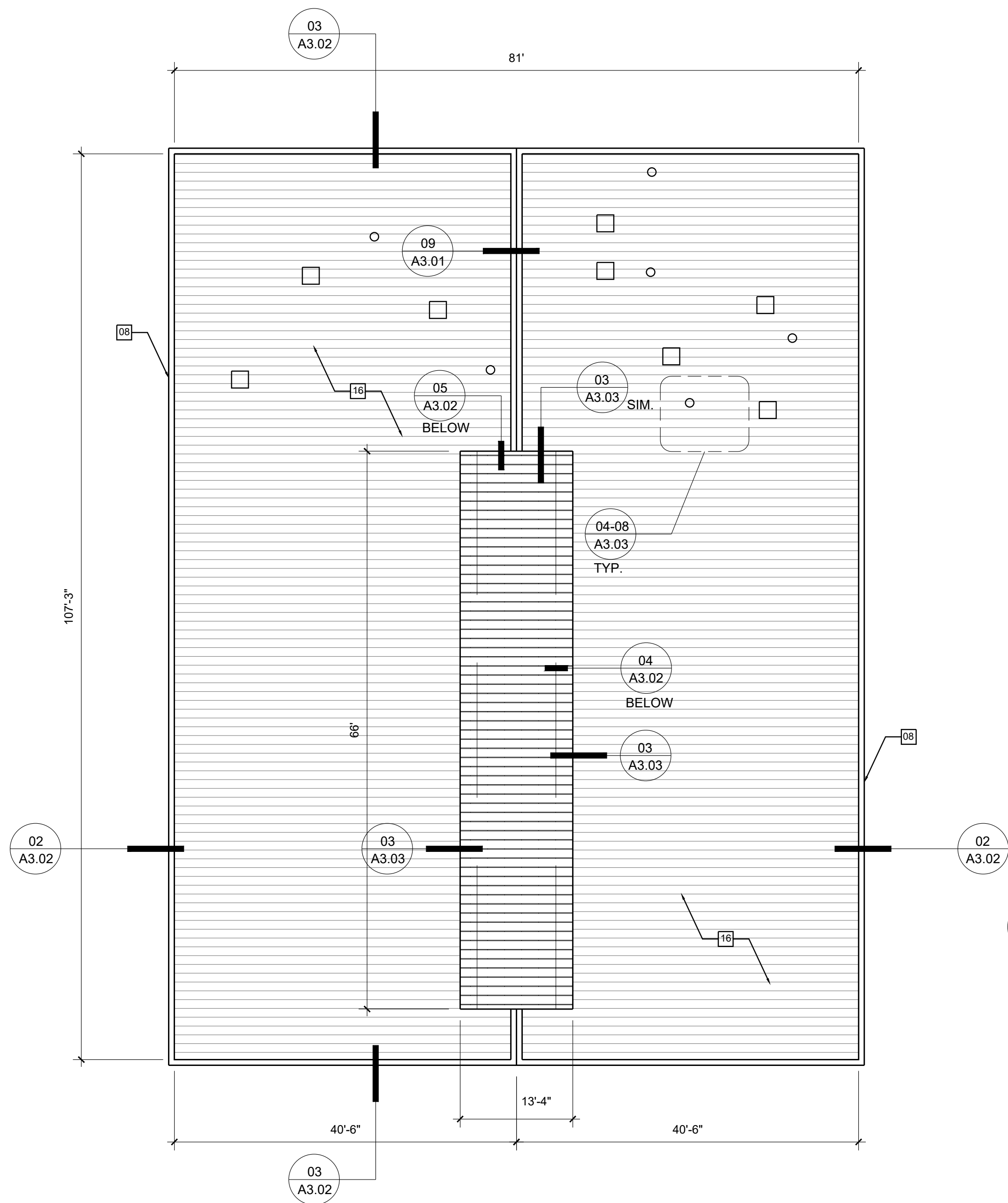




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Architects-Planners  
Interior Designers

Date: September 2025  
Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: CG RG  
Job No: IDEA FACILITIES  
Sheet:

E2.01



BUILDING E  
01 ROOF PLAN  
SCALE: 3/32" = 1'-0"

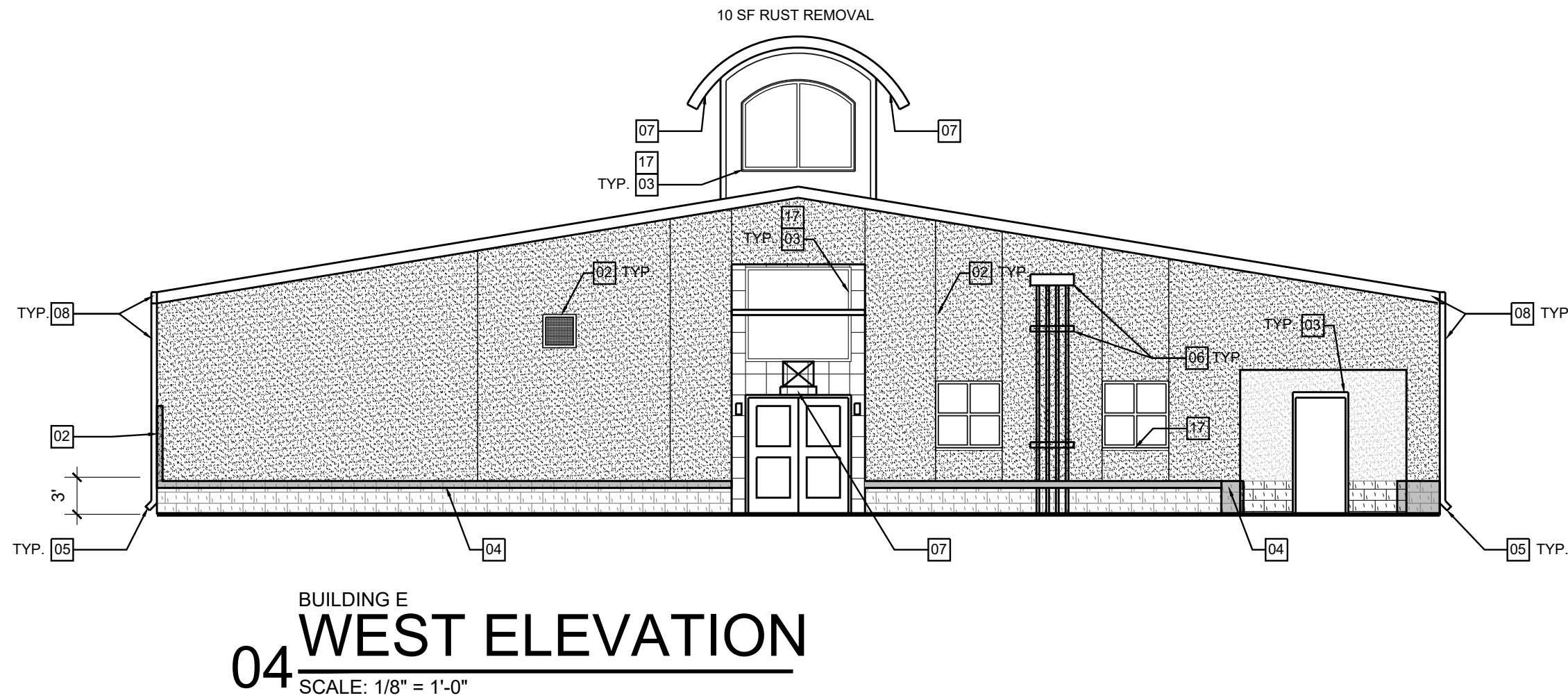
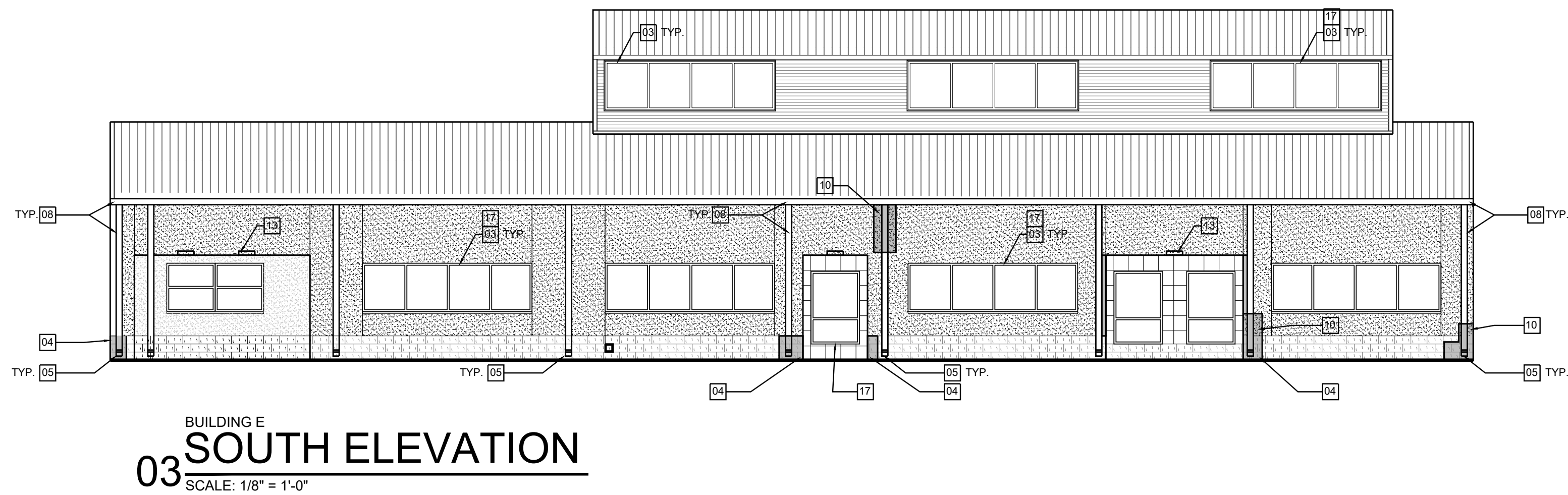
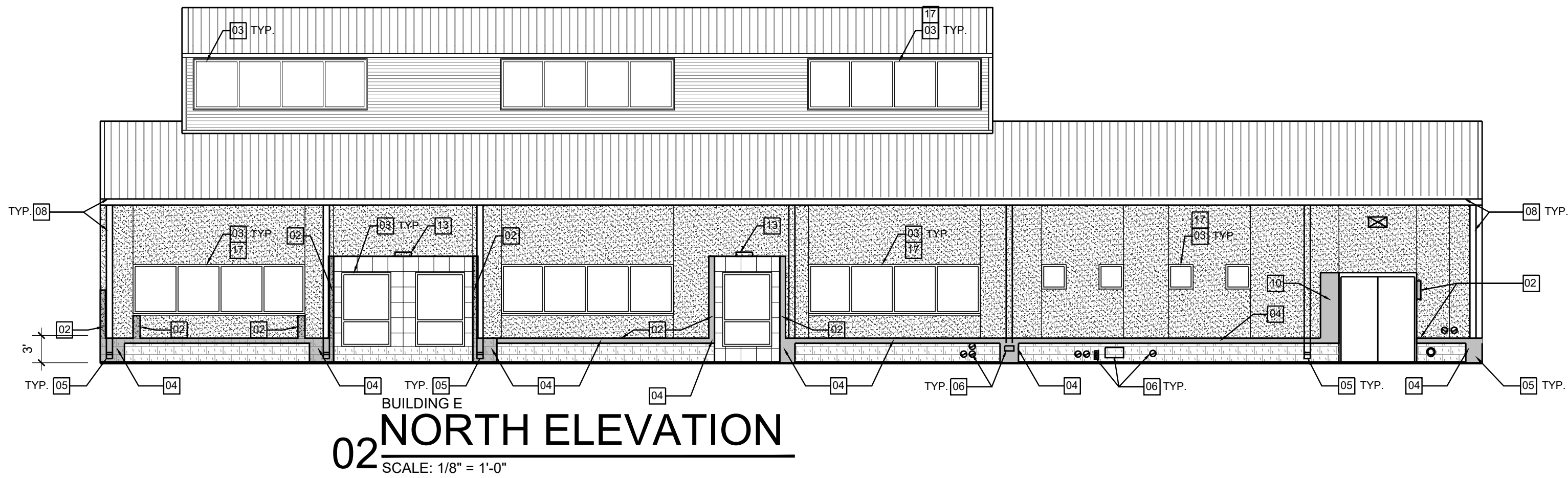
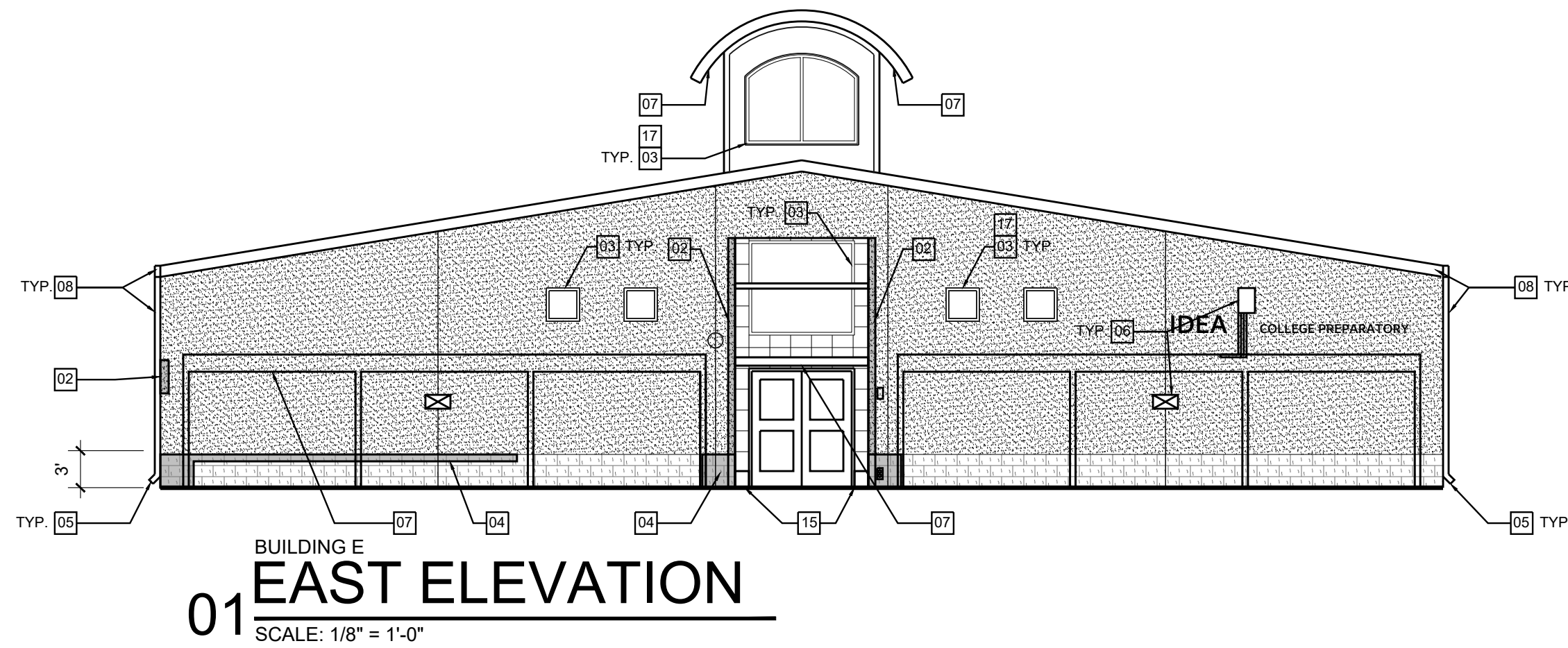
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LEGEND

- INDICATES WORK AREA

ALTERNATE 1

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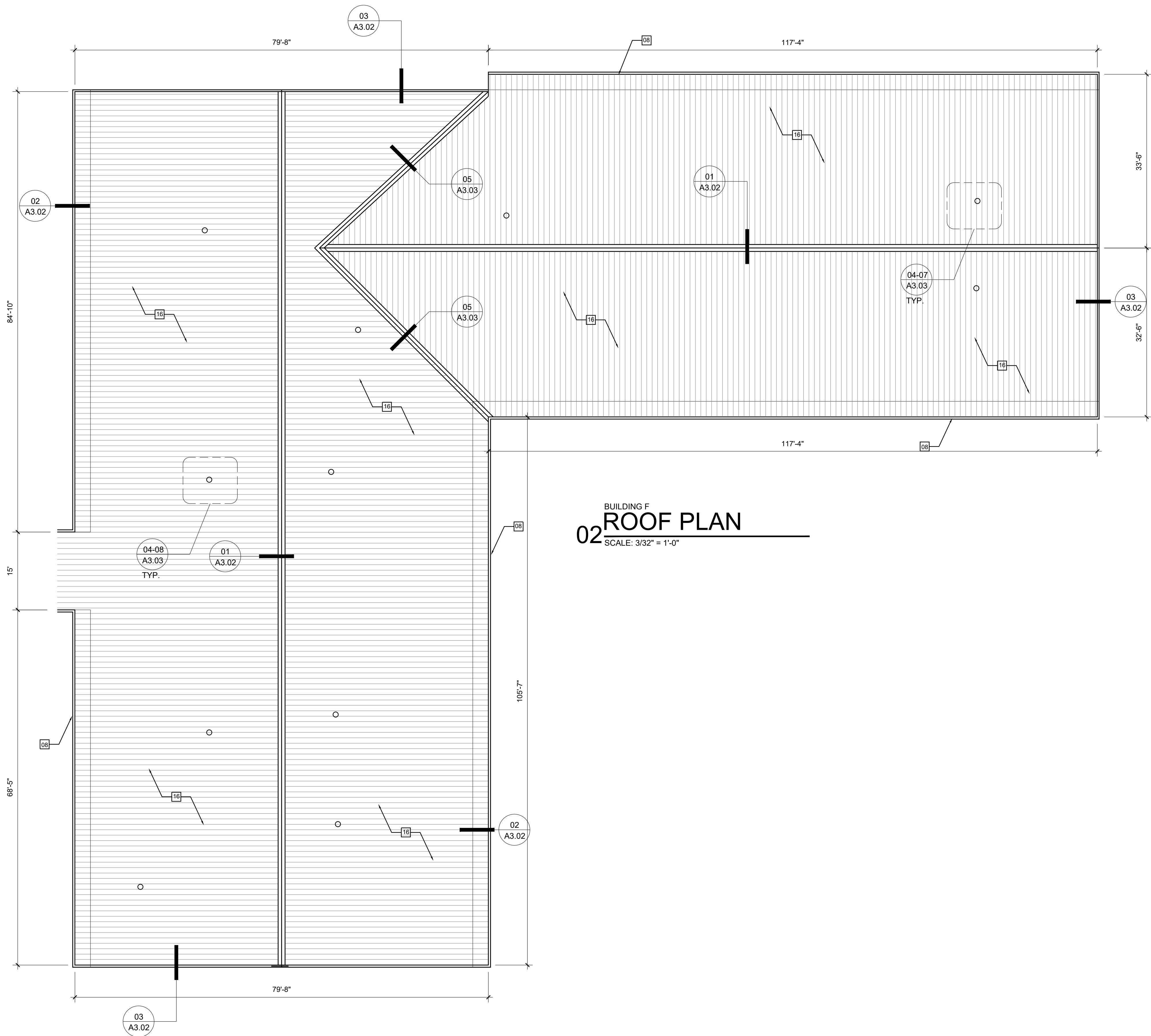
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BUILDING F  
02 ROOF PLAN  
SCALE: 3/32" = 1'-0"

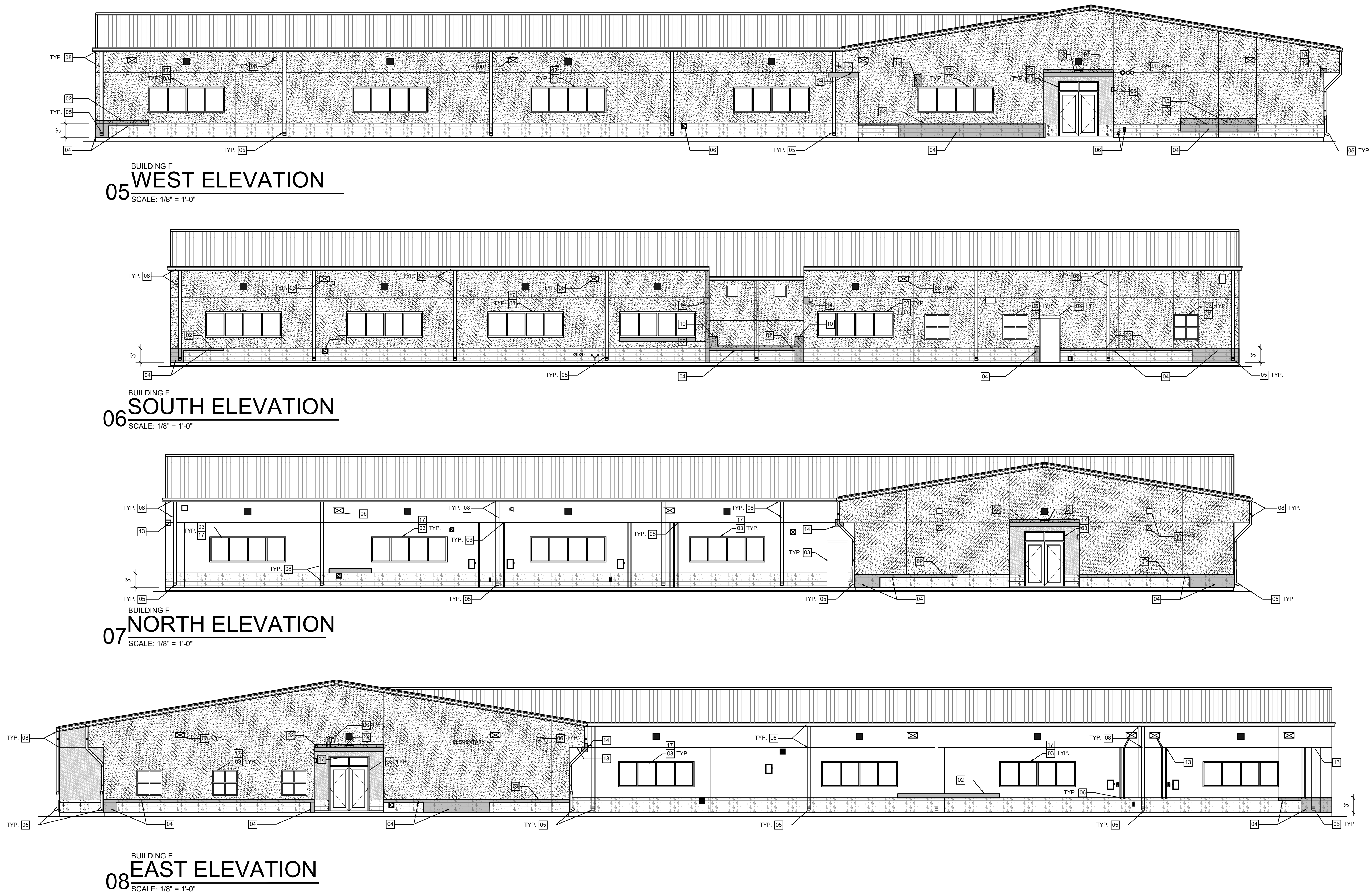
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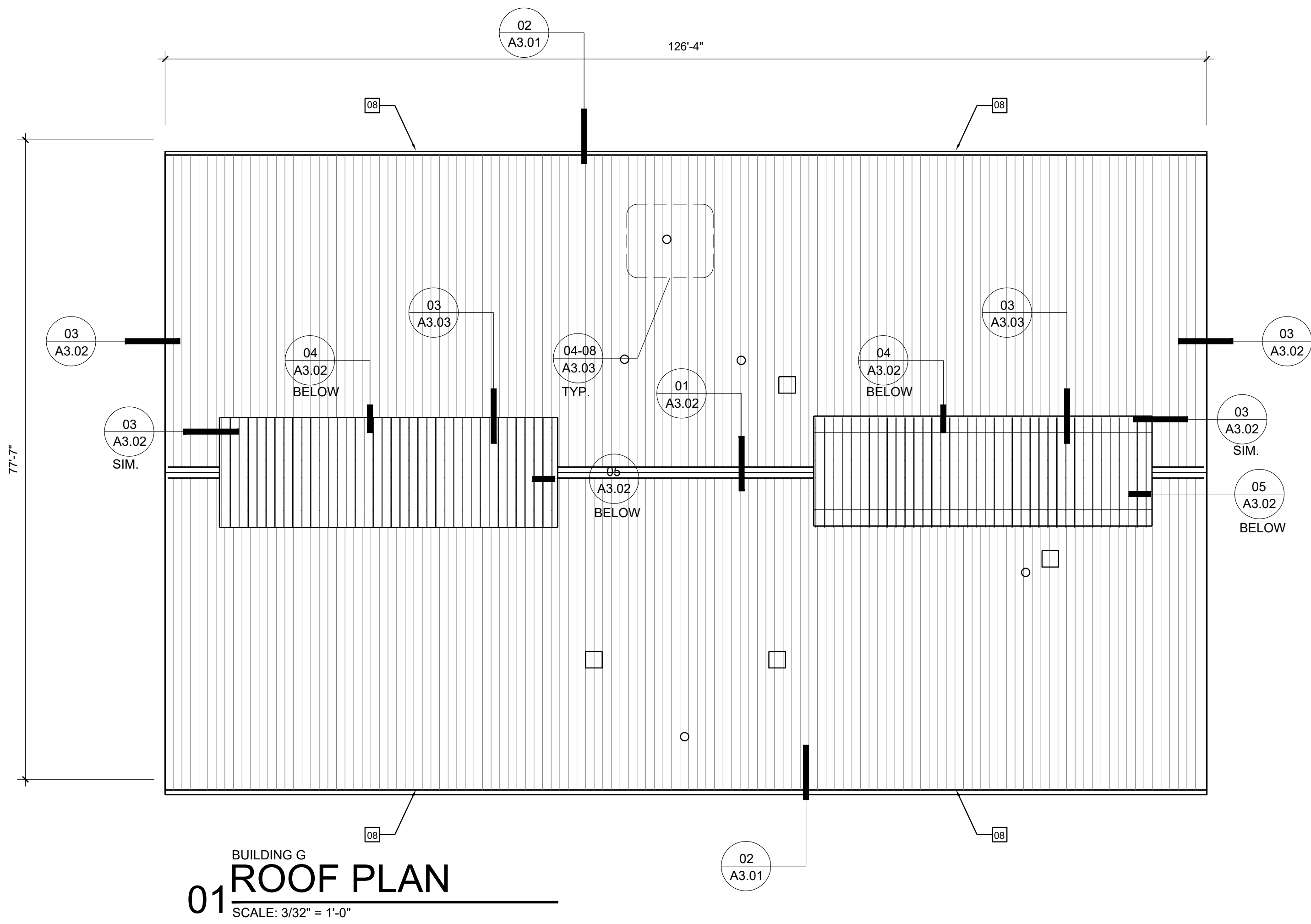
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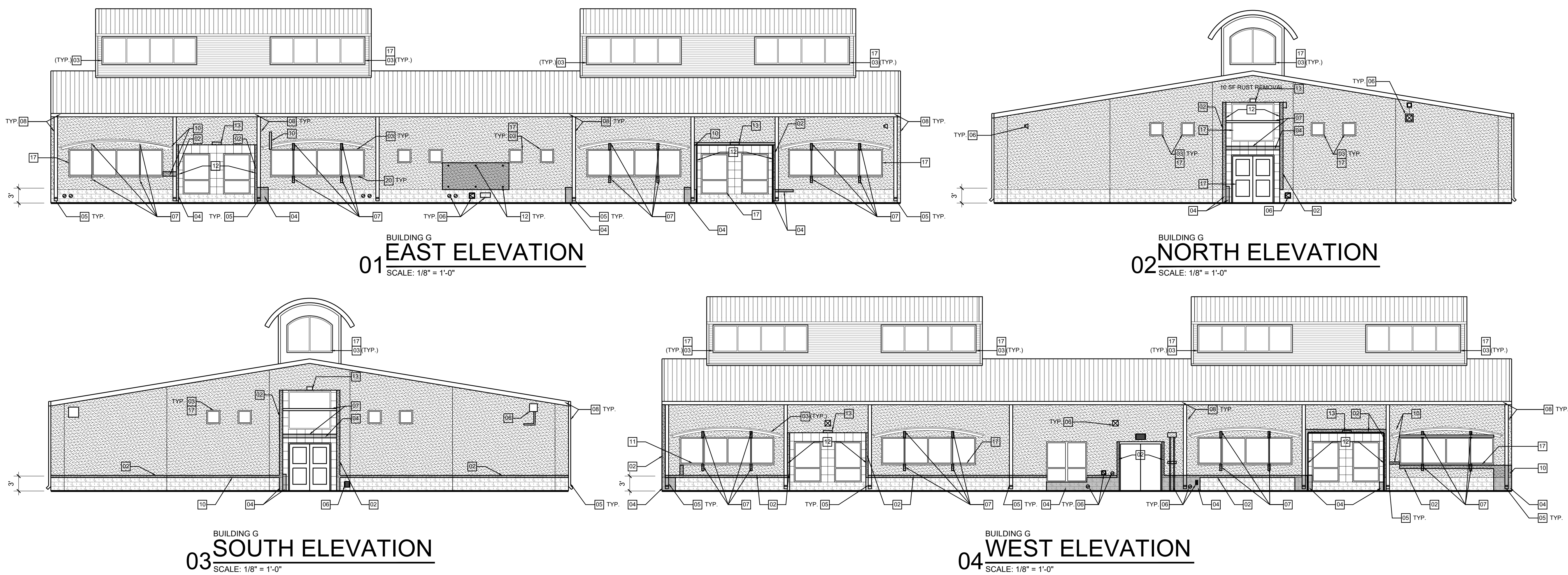
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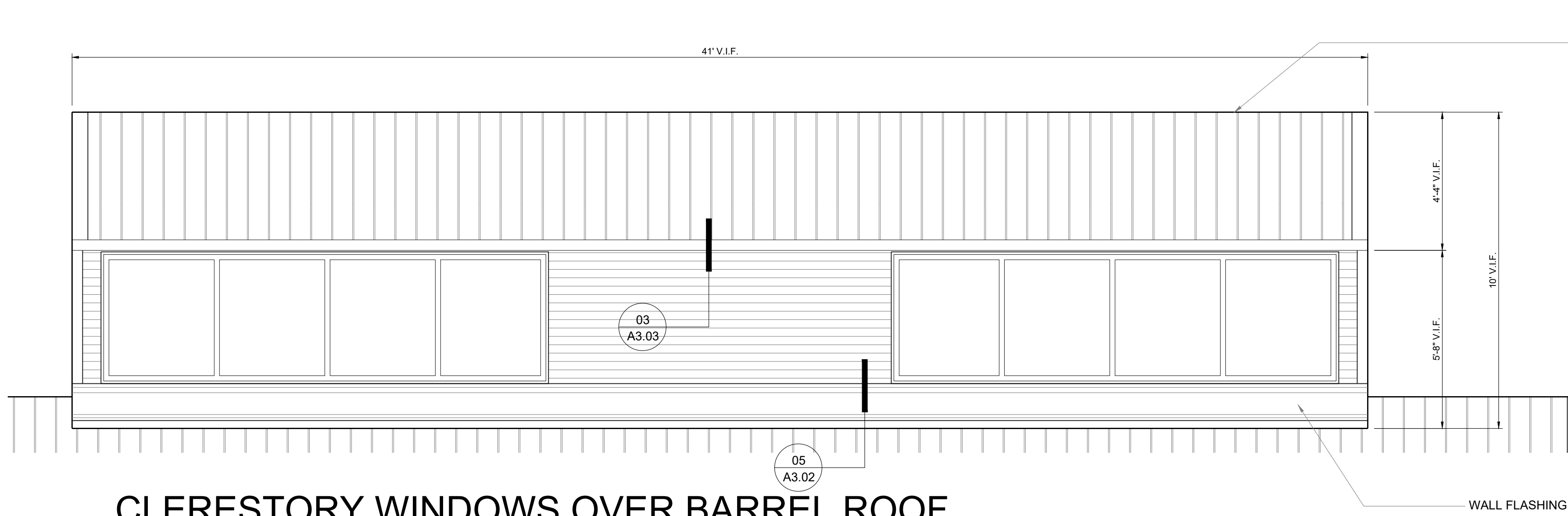
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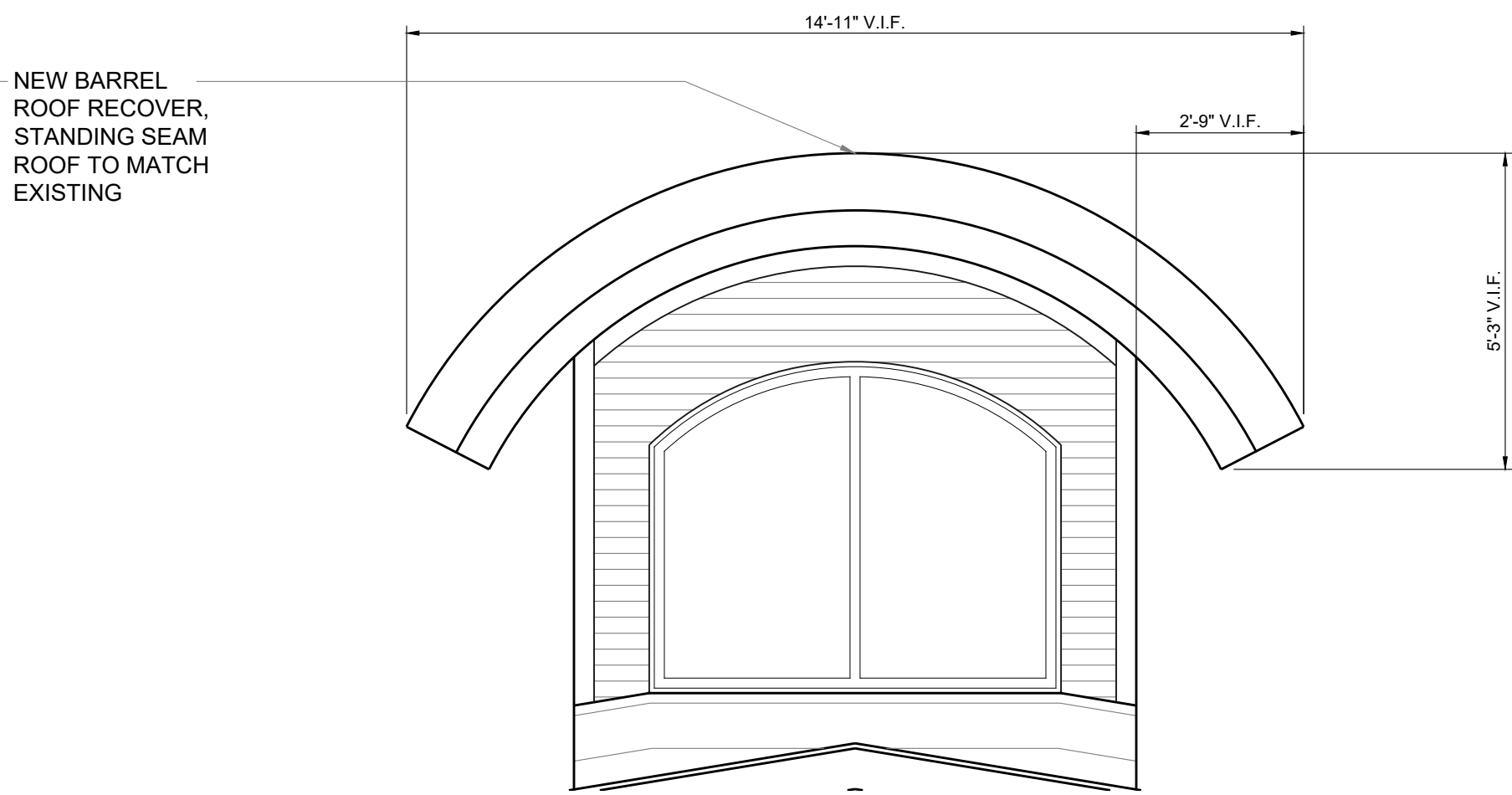
LEGEND

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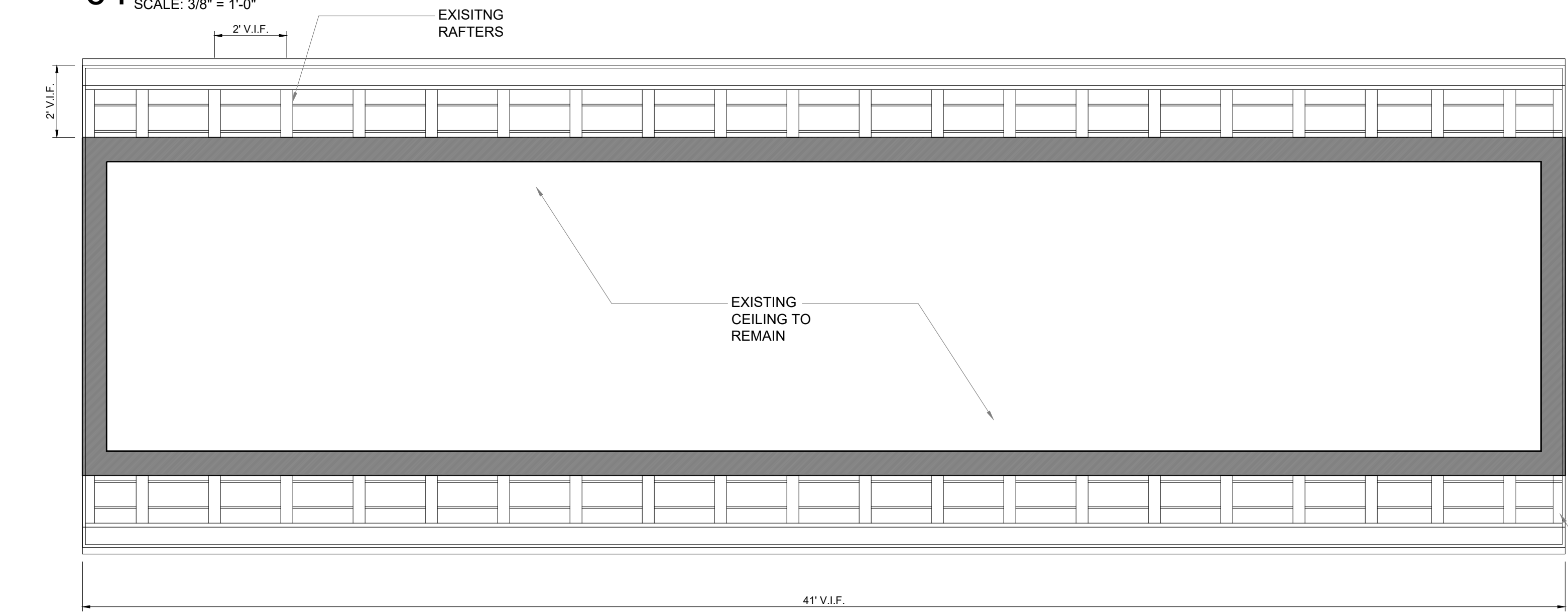
01 CLERESTORY WINDOWS OVER BARREL ROOF  
SCALE: 3/8" = 1'-0"



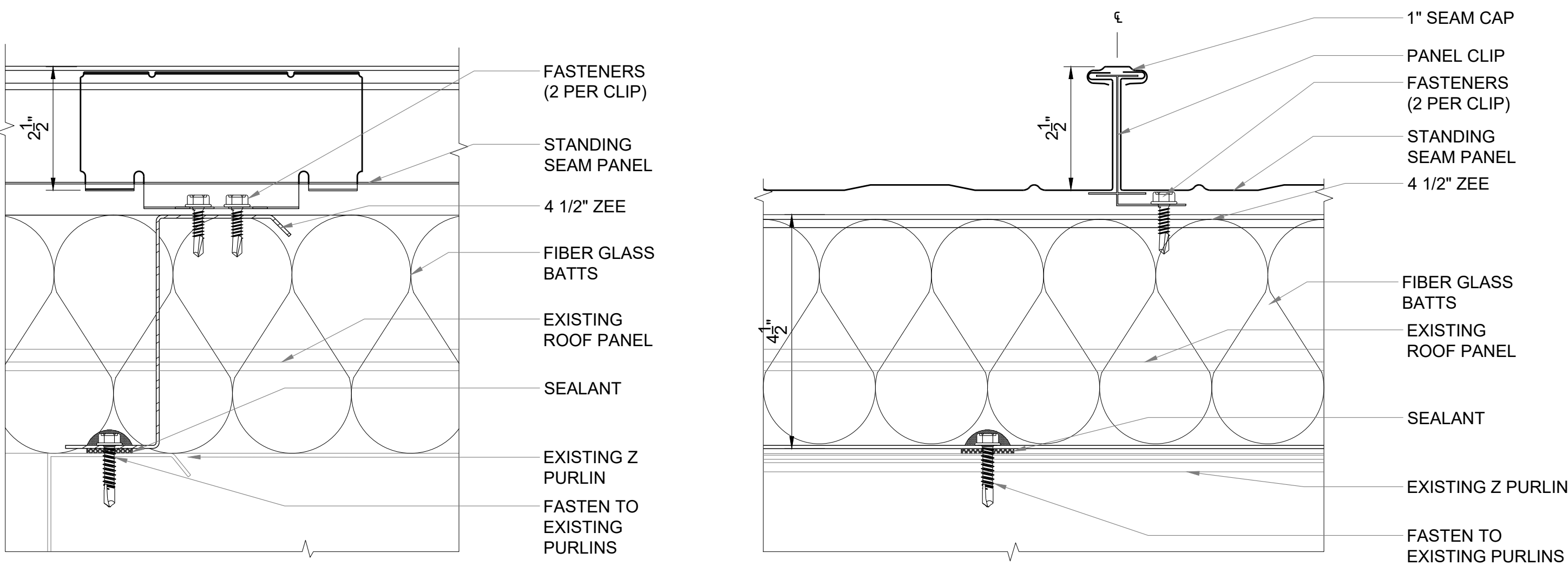
02 CLERESTORY WINDOWS OVER BARREL ROOF  
SCALE: 3/8" = 1'-0"

GENERAL NOTES

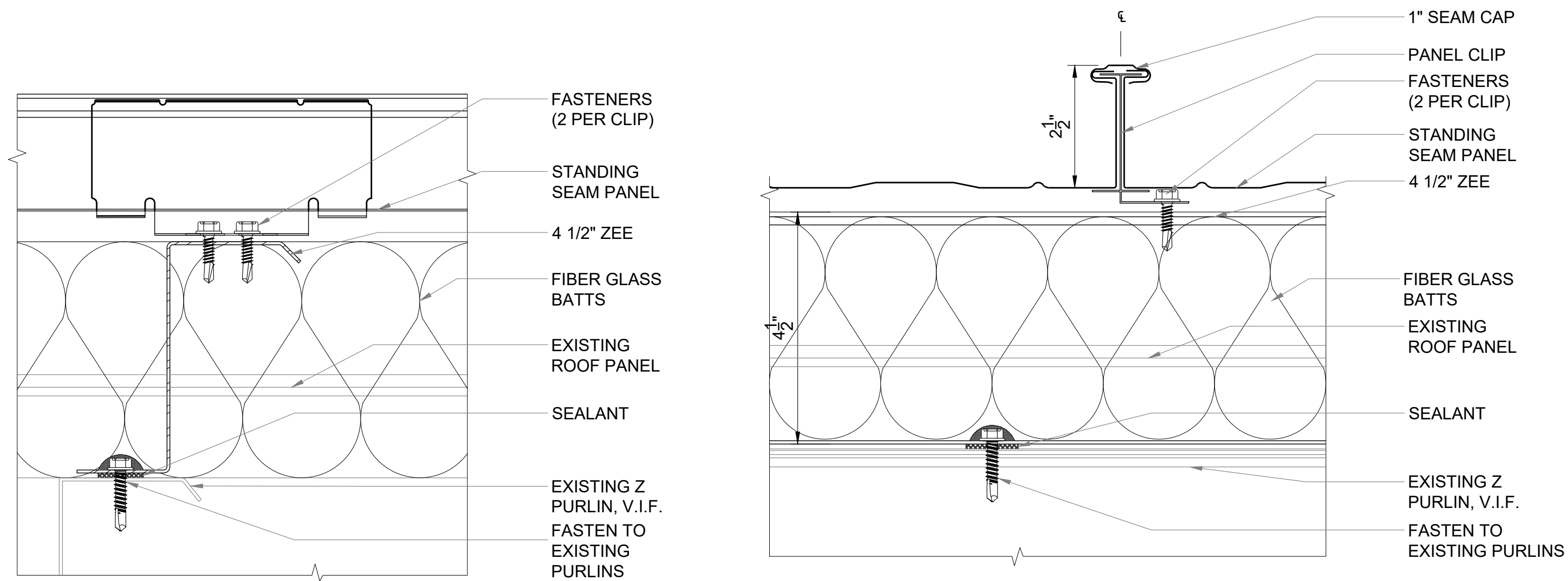
- REMOVE ALL SHEET METAL GUTTERS DOWNSPOUTS FLASHING. PROVIDE UNIT PRICING FOR REPLACEMENT OF EXISTING ROOF CURBS.
- APPLY RUST TREATMENT TO ALL AREAS OF EXISTING STEEL DECK THAT INDICATE SIGNS OF SEVERE OXIDATION AND SURFACE RUST.
- REPLACE EXISTING HEATER VENTS WITH NEW DOUBLE-WALL HEATER VENTS. EXTEND FLUES TO MATCH EXISTING AS REQUIRED TO ACCOMMODATE NEW ROOF THICKNESS AND PROVIDE A MINIMUM 12" HEIGHT FROM ROOF TO BOTTOM OF VENT CAP.
- FIELD VERIFY ROOFS FOR EXISTING ROOF COMPONENTS. EXTEND ALL PIPES, CONDUIT, WIRE, ETC. AS REQUIRED TO ACCOMMODATE NEW ROOF SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED ELECTRICAL, PLUMBING, AND MECHANICAL CONTRACTOR CAREFULLY REMOVE, RAISE, OR MODIFY AND CAREFULLY REINSTALL EXISTING OPERATING MECHANICAL, ELECTRICAL, PLUMBING AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.
- THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE PREPARED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC. PRIOR TO BIDDING.
- INSPECT ALL DECK SUPPORTED STRUCTURAL AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND. PROVIDE UNIT PRICING FOR REPLACING.
- RE-INSTALL OR PROVIDE NEW CONCRETE SPLASH BLOCKS AT THE BASE OF ALL NEW DOWN SPOUTS.
- AT ALL EXISTING ROOF PENETRATIONS, PROVIDE FOR NEW FLASHING MATERIALS AND OR SEALS, SEALANTS AND REQUIRED PRODUCTS FOR PROPER FLASHING.
- KITCHEN MAY NEED TO REMAIN OPERATIONAL DURING RE-ROOFING CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY OPERATION SCHEDULE AND TO INCLUDE ALL COSTS ASSOCIATED WITH REMODELING WHILE KITCHEN IS OPEN IF REQUIRED.
- IF CAMPUS REQUIRES NO WORK ON SITE OR IN SPECIFIC BUILDINGS DURING ACADEMIC TESTING DAYS, IT IS THE CONTRACTORS' RESPONSIBILITY TO ATTAIN SCHEDULE AND COVER ANY COSTS ASSOCIATED FOR ACCOMMODATING THE CAMPUS'S TESTING SCHEDULE.



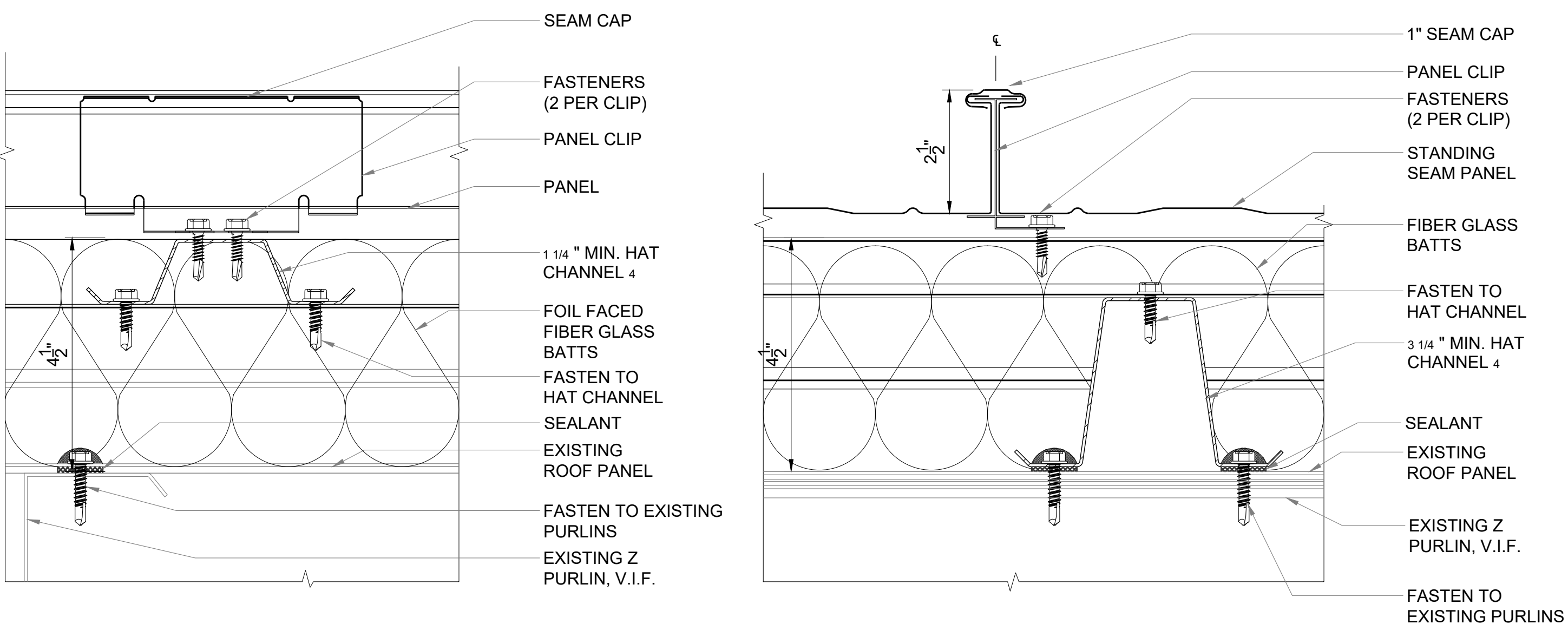
03 CLERESTORY WINDOWS REFLECTED CEILING PLAN  
SCALE: 3/8" = 1'-0"



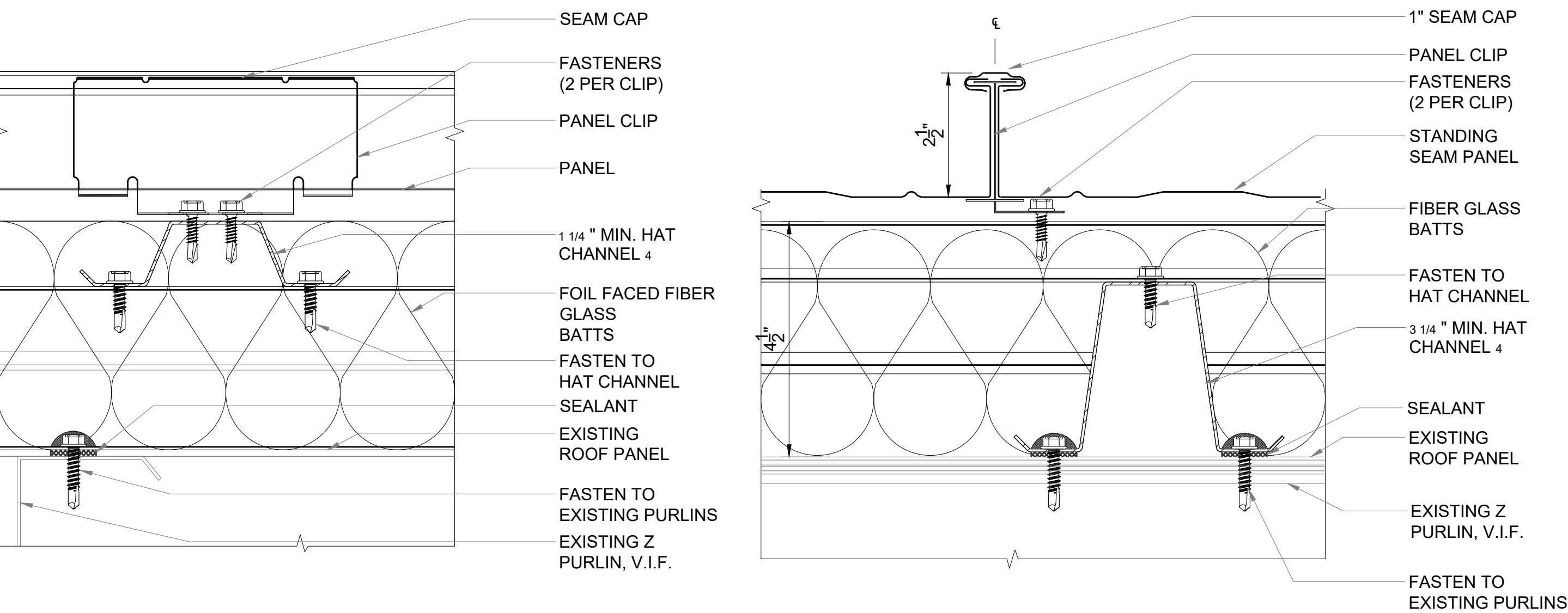
TYPICAL ROOF ASSEMBLY, TYPE-1



TYPICAL ROOF ASSEMBLY, TYPE-1 (ZONE 1)

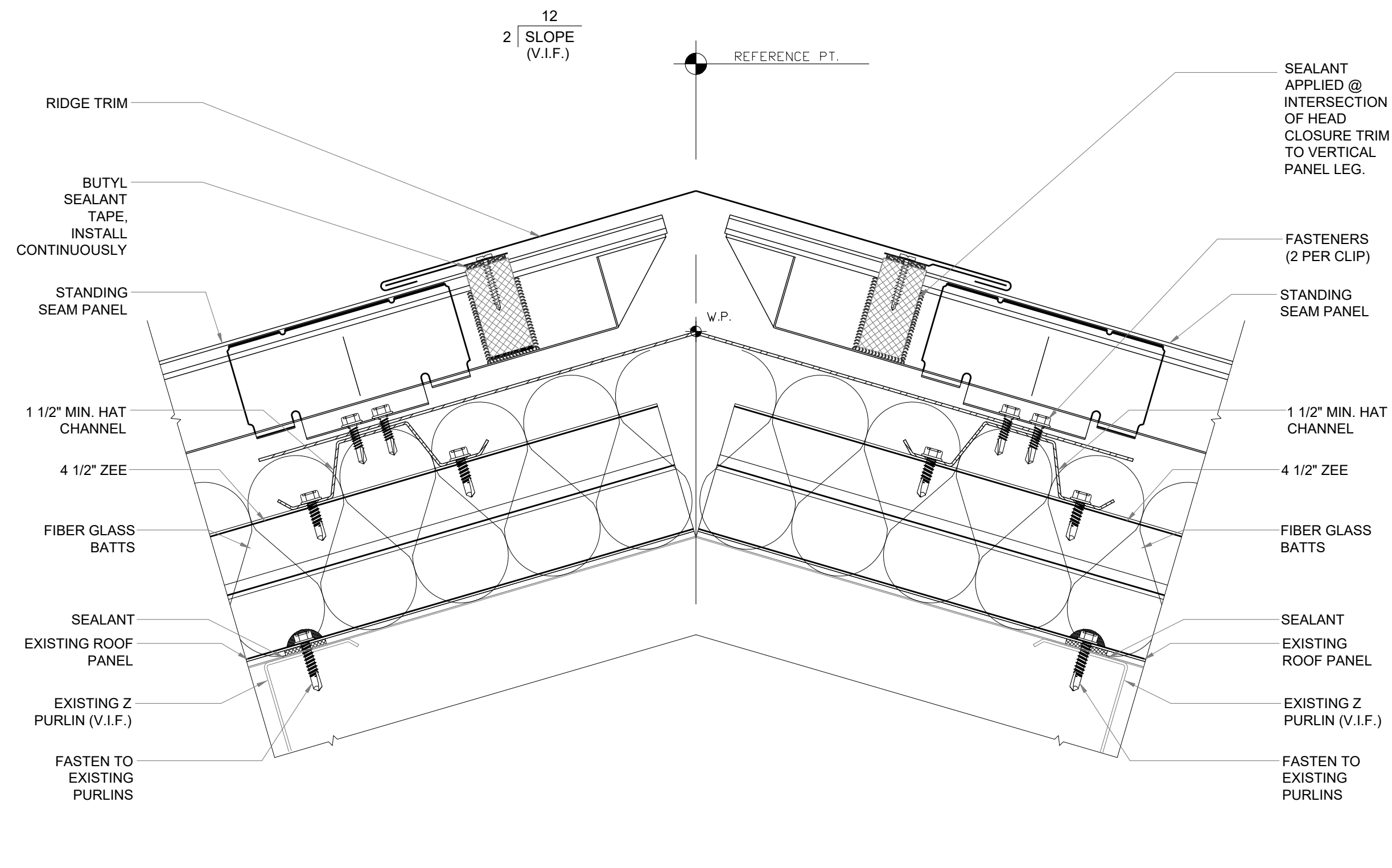


TYPICAL ROOF ASSEMBLY, TYPE-2 (ZONES 2N, 2R, 3E, 3R)

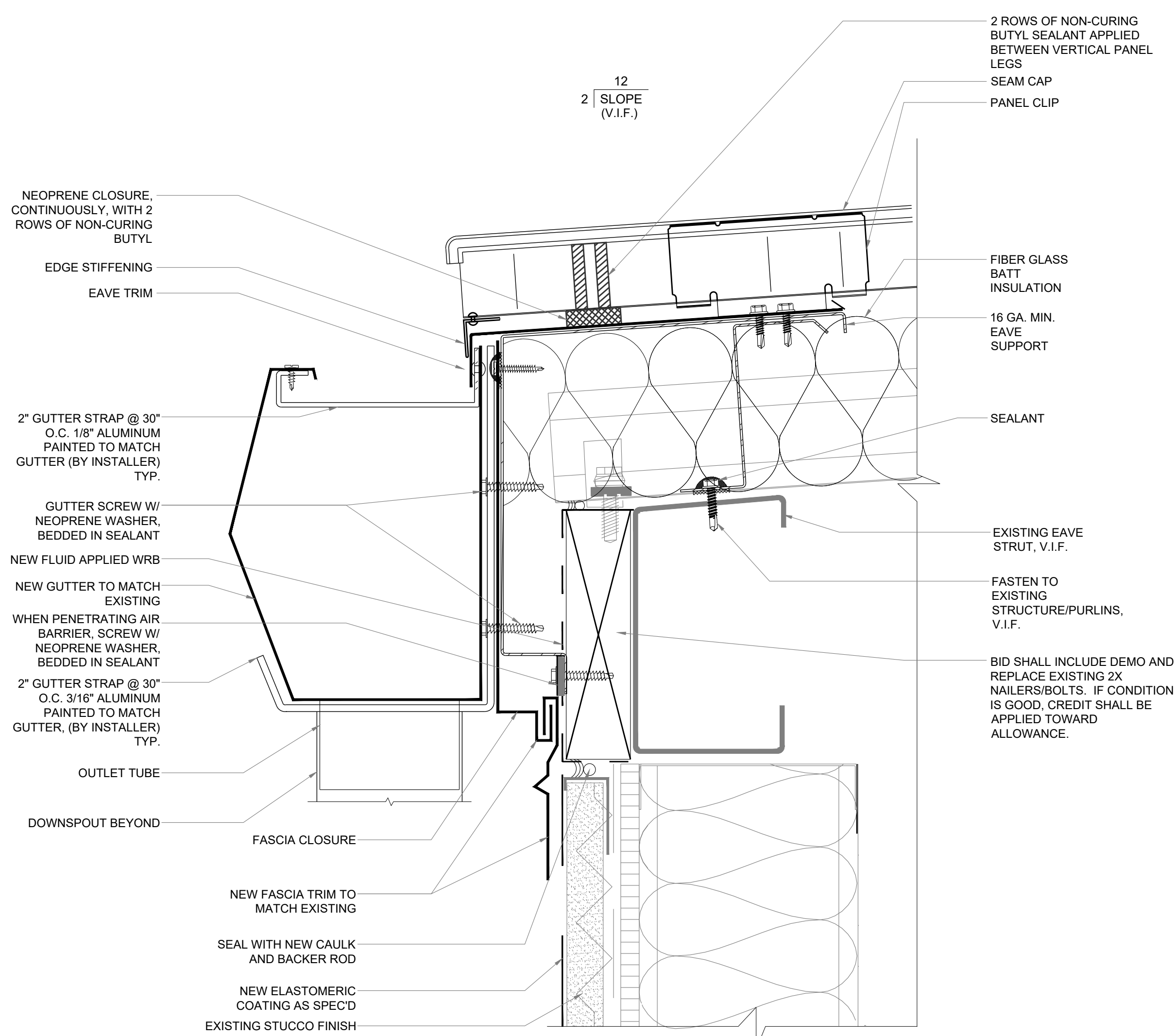


TYPICAL ROOF ASSEMBLY, TYPE-2 (ZONE 2E, 2R, 3)

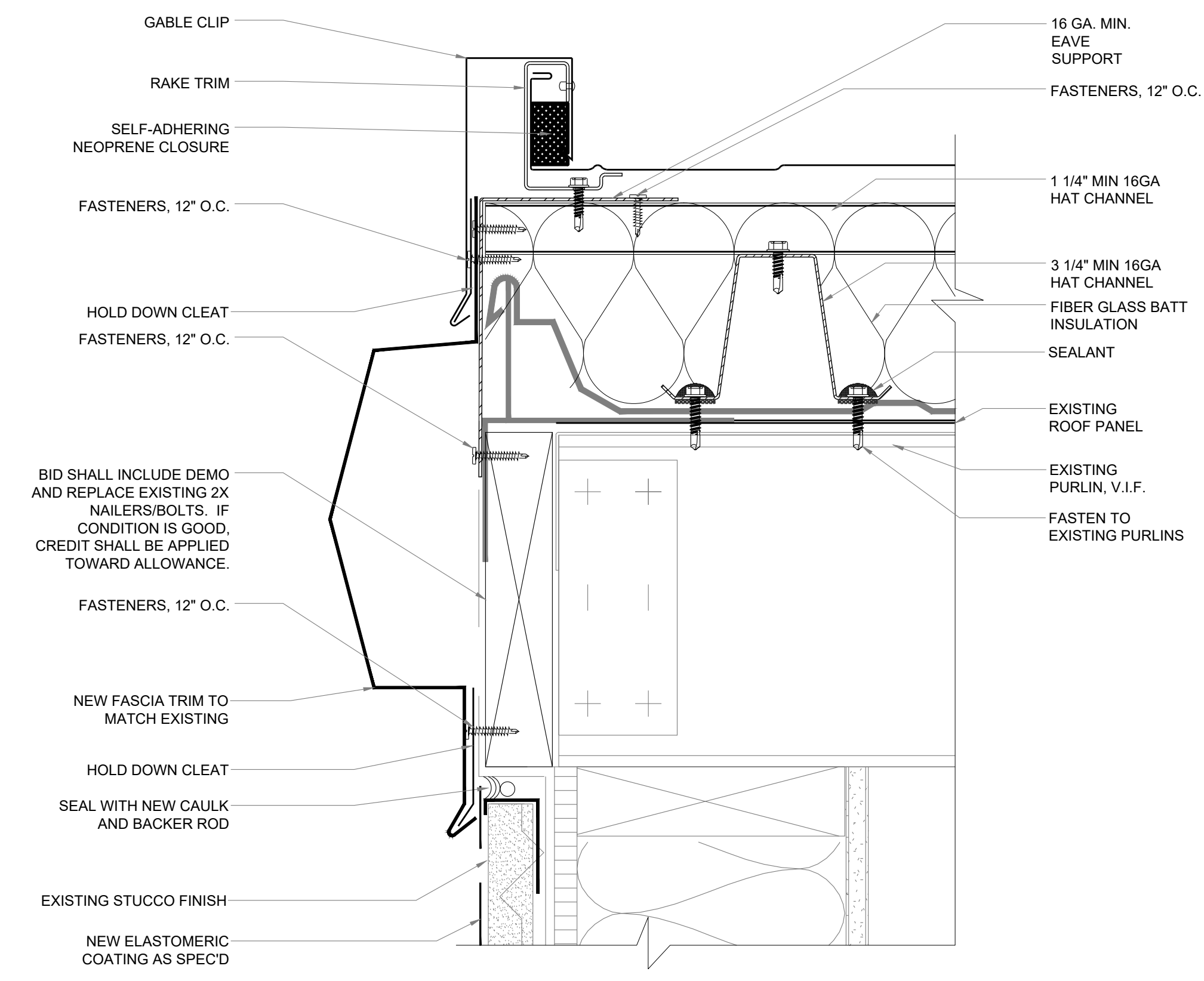




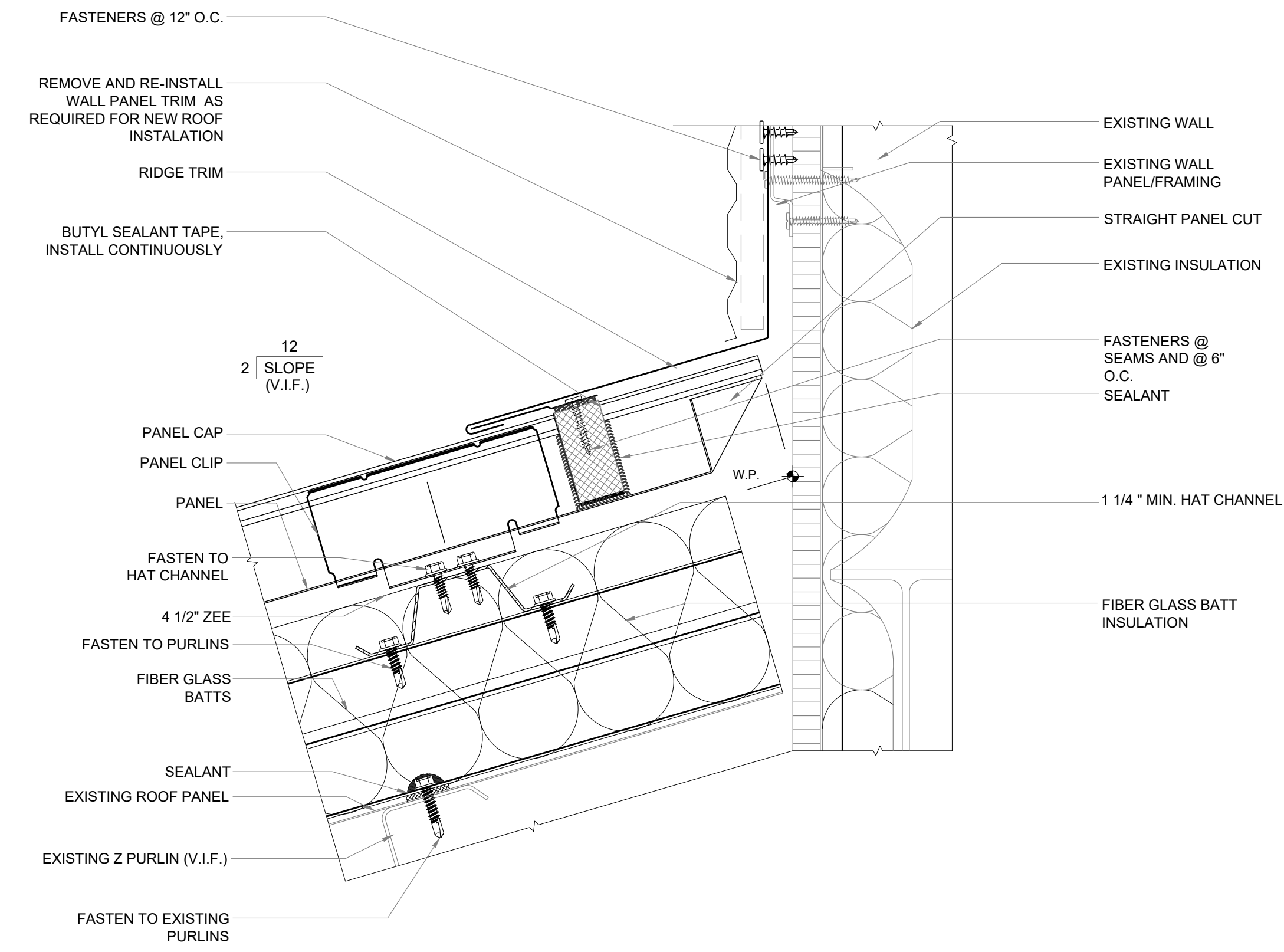
01 **FIXED RIDGE DETAIL**  
SCALE: NTS



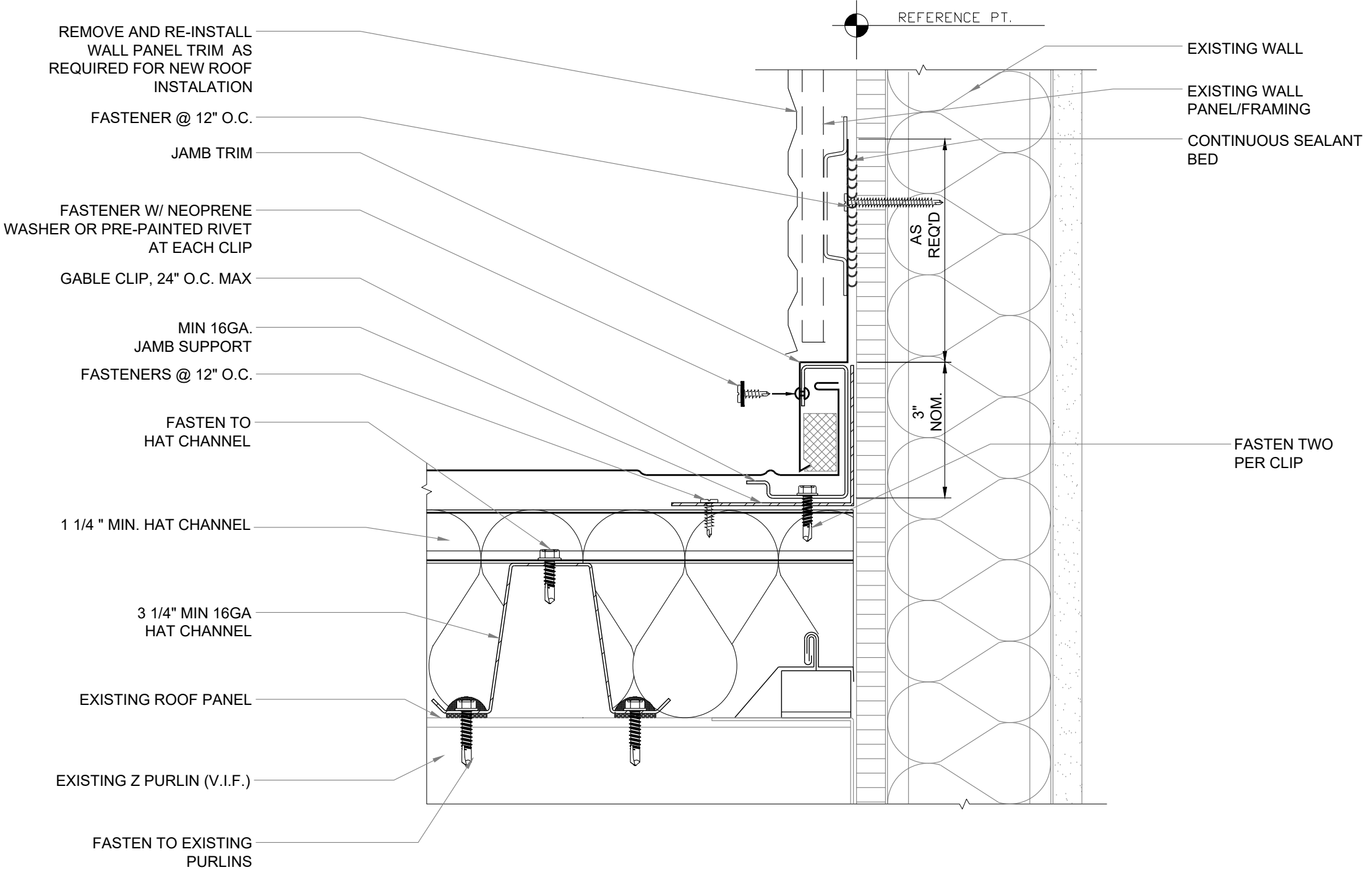
02 **EXPANDING EAVE WITH GUTTER DETAIL**  
SCALE: NTS



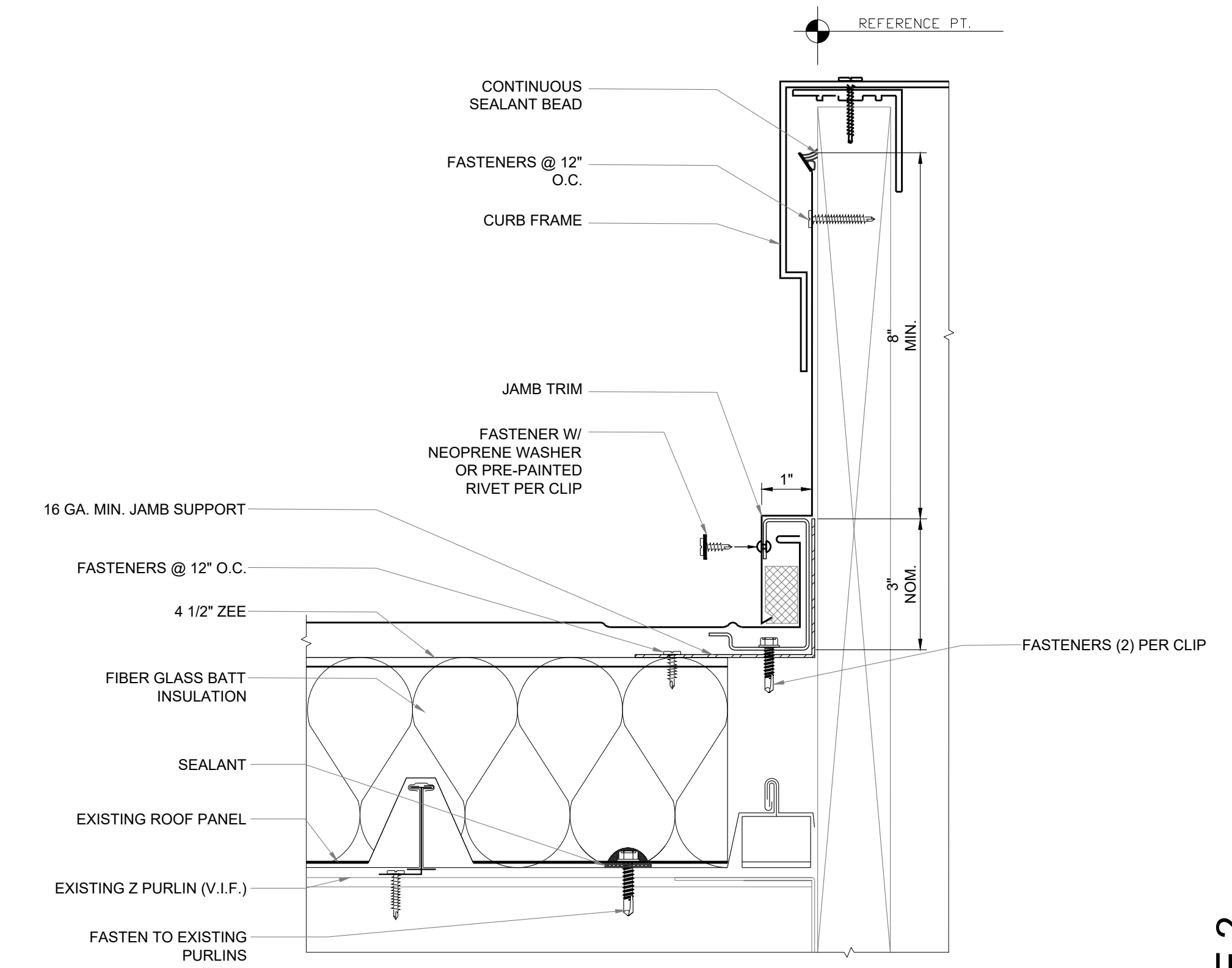
03 **RAKE DETAIL**  
SCALE: NTS



04 **FIXED HEAD DETAIL**  
SCALE: NTS




05 **SLOPING JAMB DETAIL**  
SCALE: NTS



06 **SLOPING JAMB DETAIL @ CURB**  
SCALE: NTS

No.	REVISIONS	BY




GMS ARCHITECTS

1150 Paredes Line Rd.  
Brownsville TX 78526  
(956) 546-0110  
fax (956) 546-0196

**IDEA PUBLIC SCHOOLS**

**EXTERIOR FACILITY IMPROVEMENTS**

**IDEA**  
DONNA, TEXAS  
Public Schools

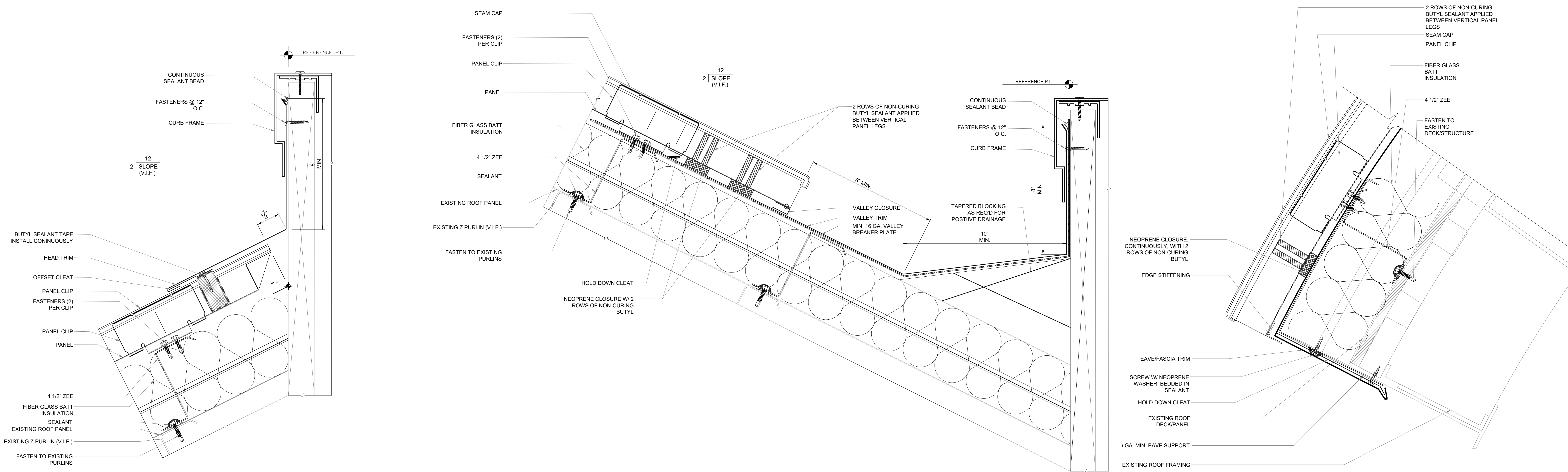


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Architects-Planners  
Interior Designers

Date: September 2025  
Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: CG RG  
Job No: IDEA FACILITIES  
Sheet: A3.02

IDEA DONNA PHASE 2

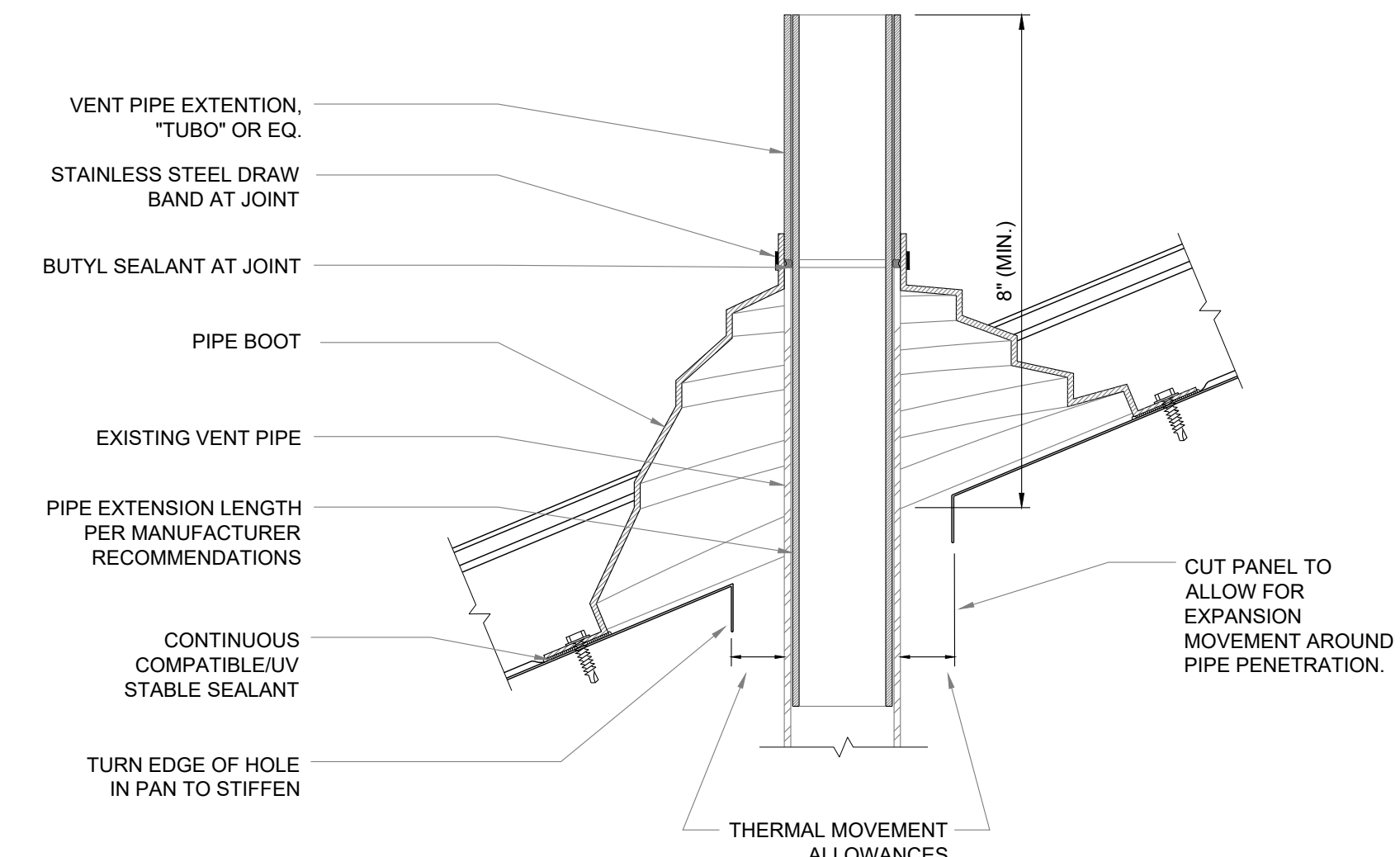




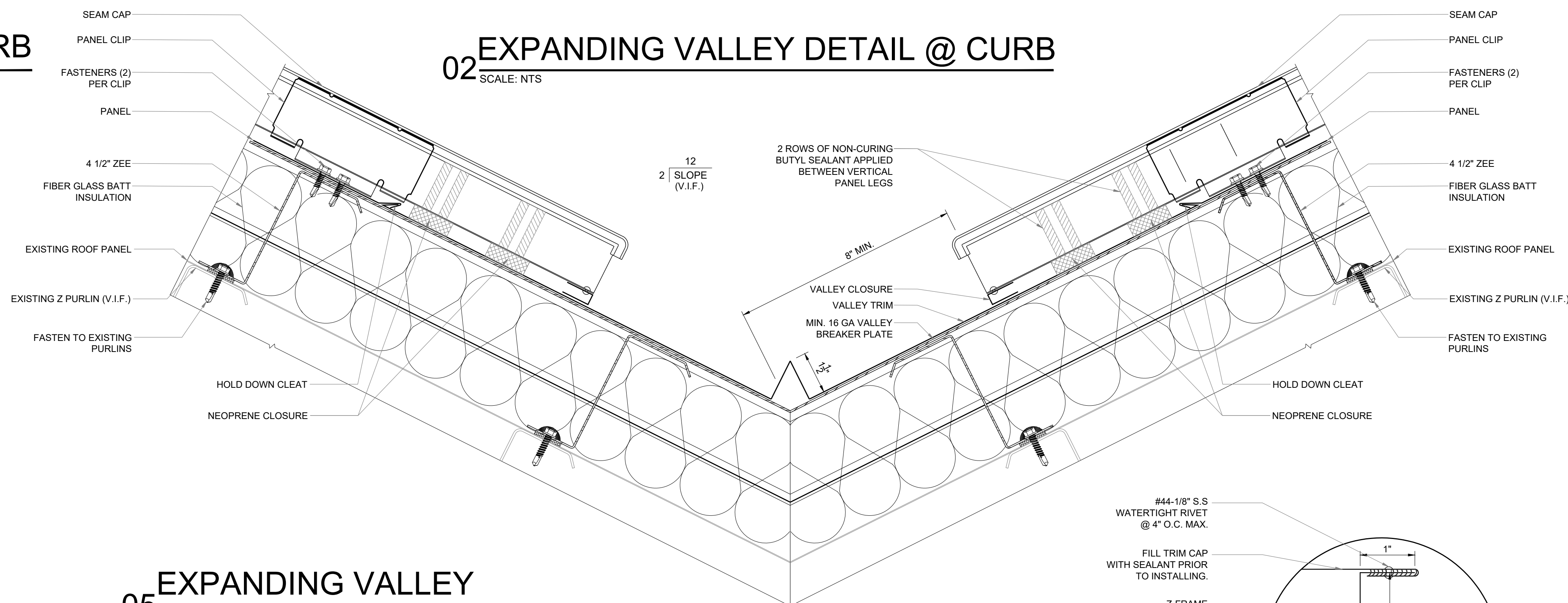
01 **FIXED HEAD DETAIL @ CURB**  
SCALE: NTS

02 **EXPANDING VALLEY DETAIL @ CURB**  
SCALE: NTS

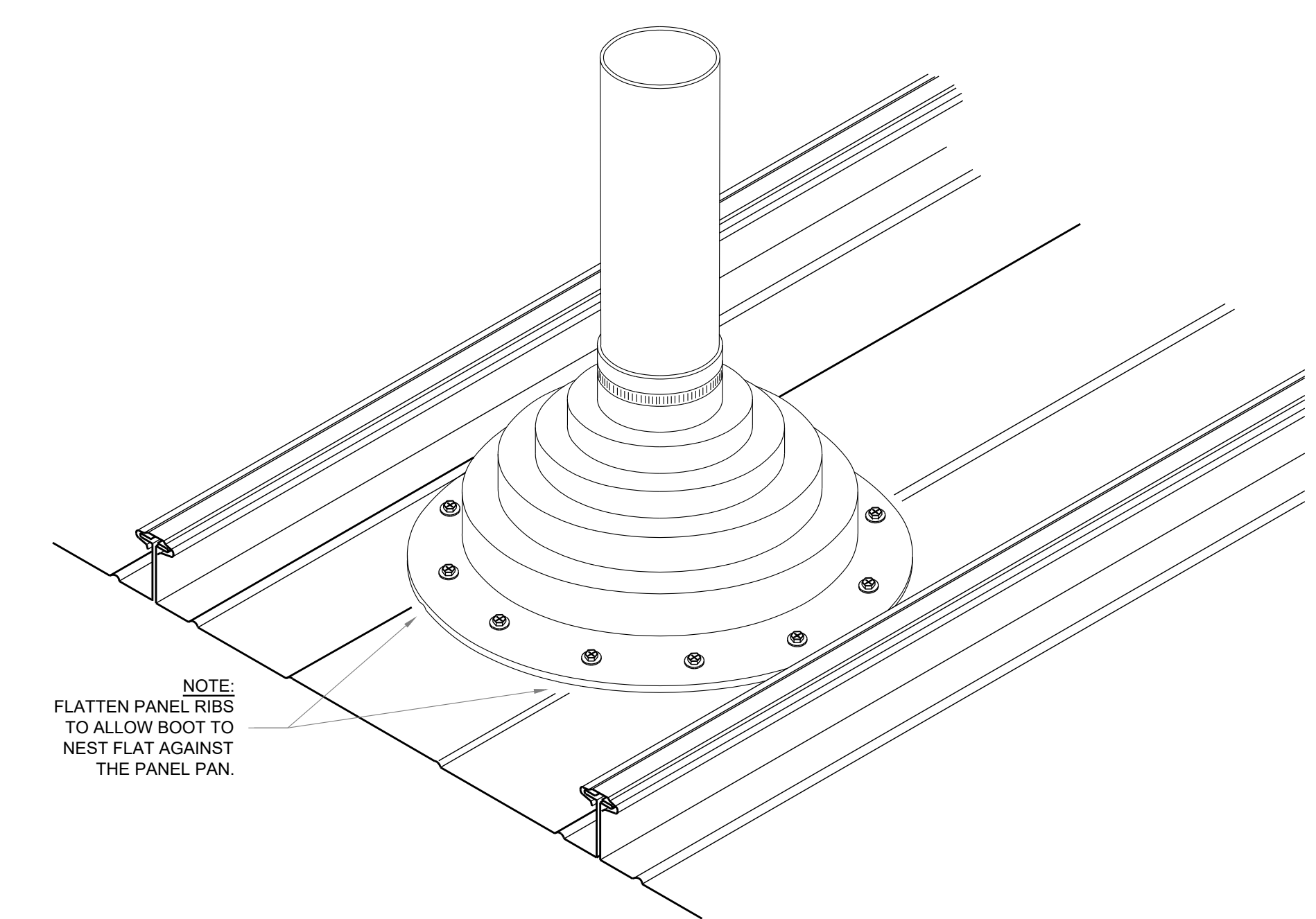
03 **EAVE AT CURVED ROOF**  
SCALE: NTS



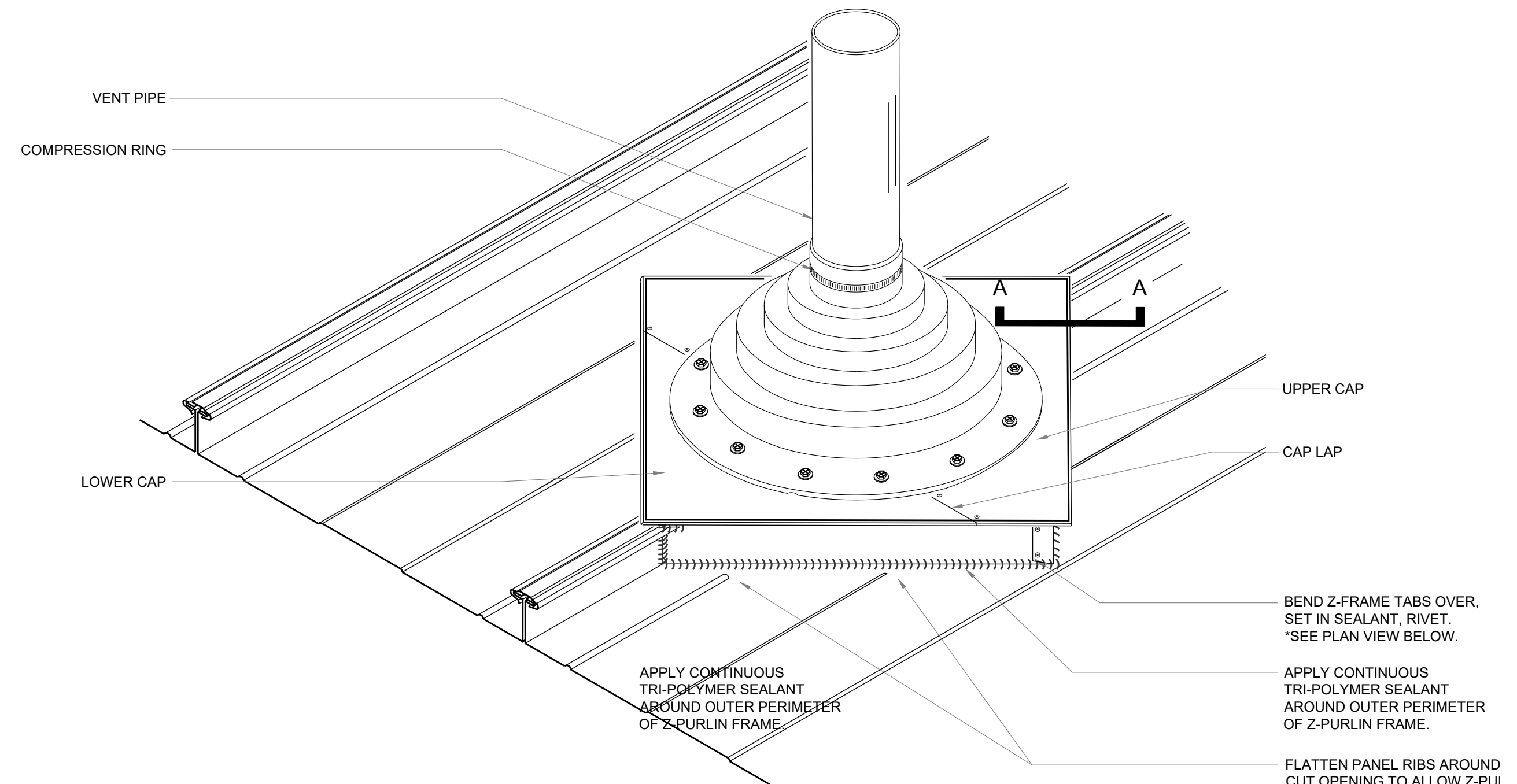
04 **PIPE EXTENSION/BOOT DETAIL**  
SCALE: NTS



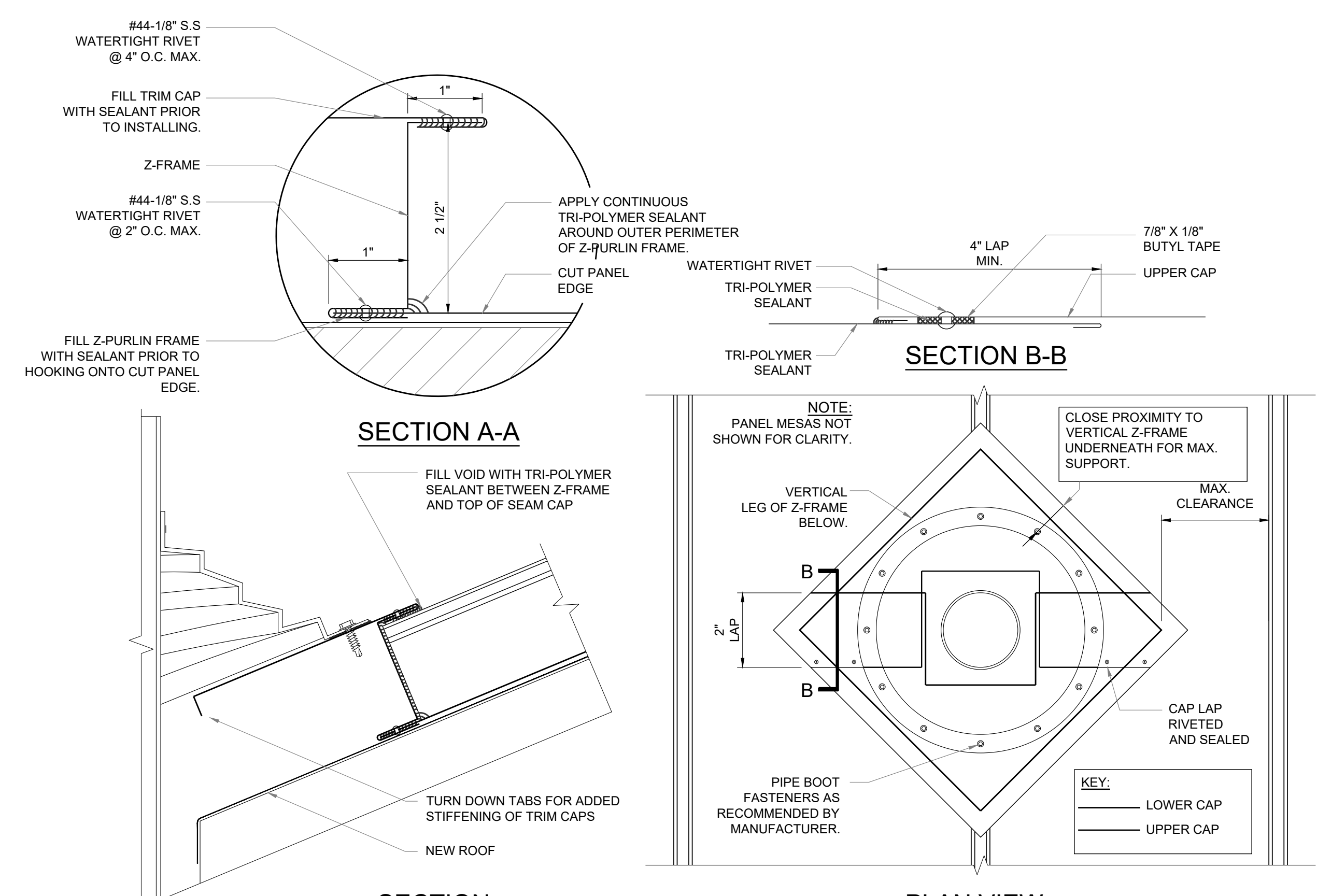
05 **EXPANDING VALLEY**  
SCALE: NTS



06 **PIPE BOOT THROUGH PANEL**  
SCALE: NTS

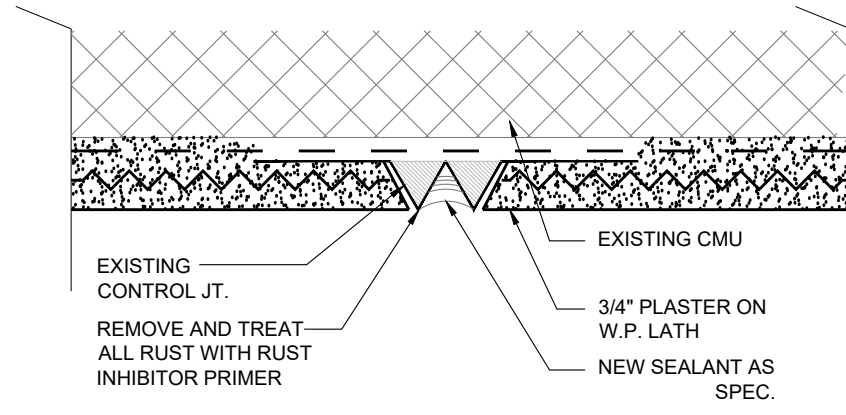


07 **PIPE BOOT THROUGH PANEL SEAM**  
SCALE: NTS



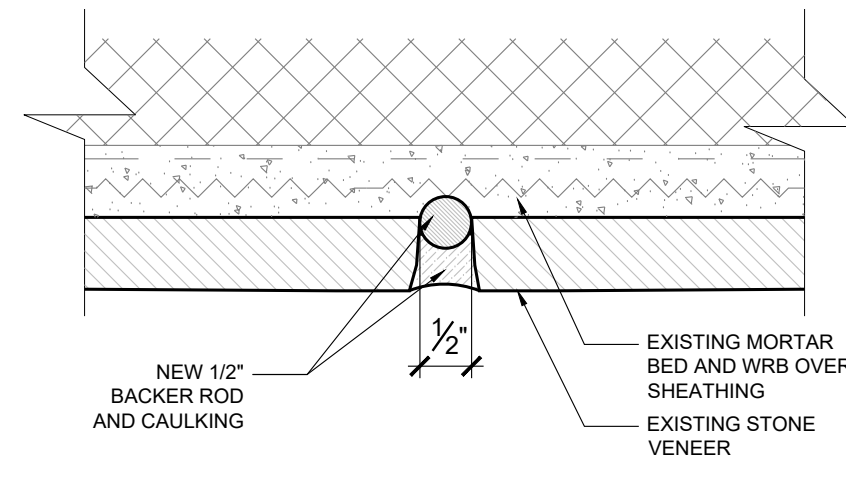
08 **PIPE BOOT DETAILS**  
SCALE: NTS





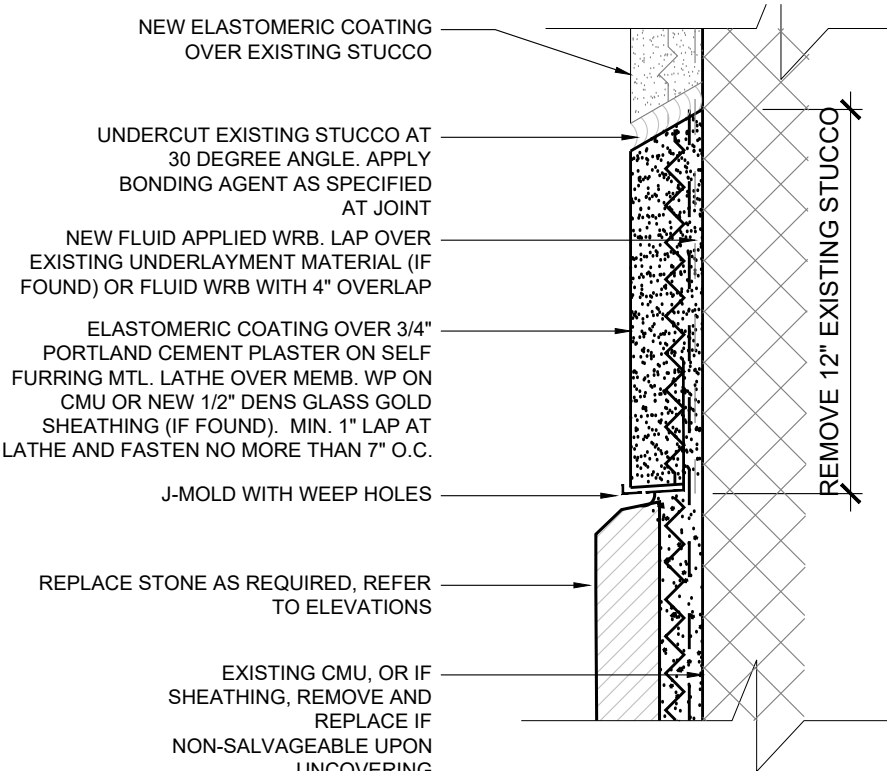
**TYPICAL VERTICAL CONTROL JOINT REPAIR @ PLASTER (HORIZONTAL SIMILAR)**

01  
SCALE: 6" = 1'-0"



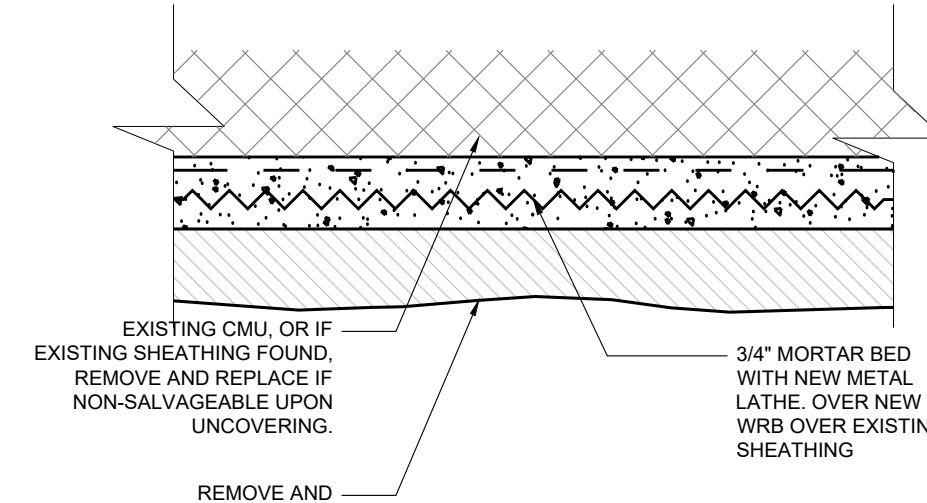
**TYPICAL VERTICAL CONTROL JOINT @ STONE**

02  
SCALE: 6" = 1'-0"



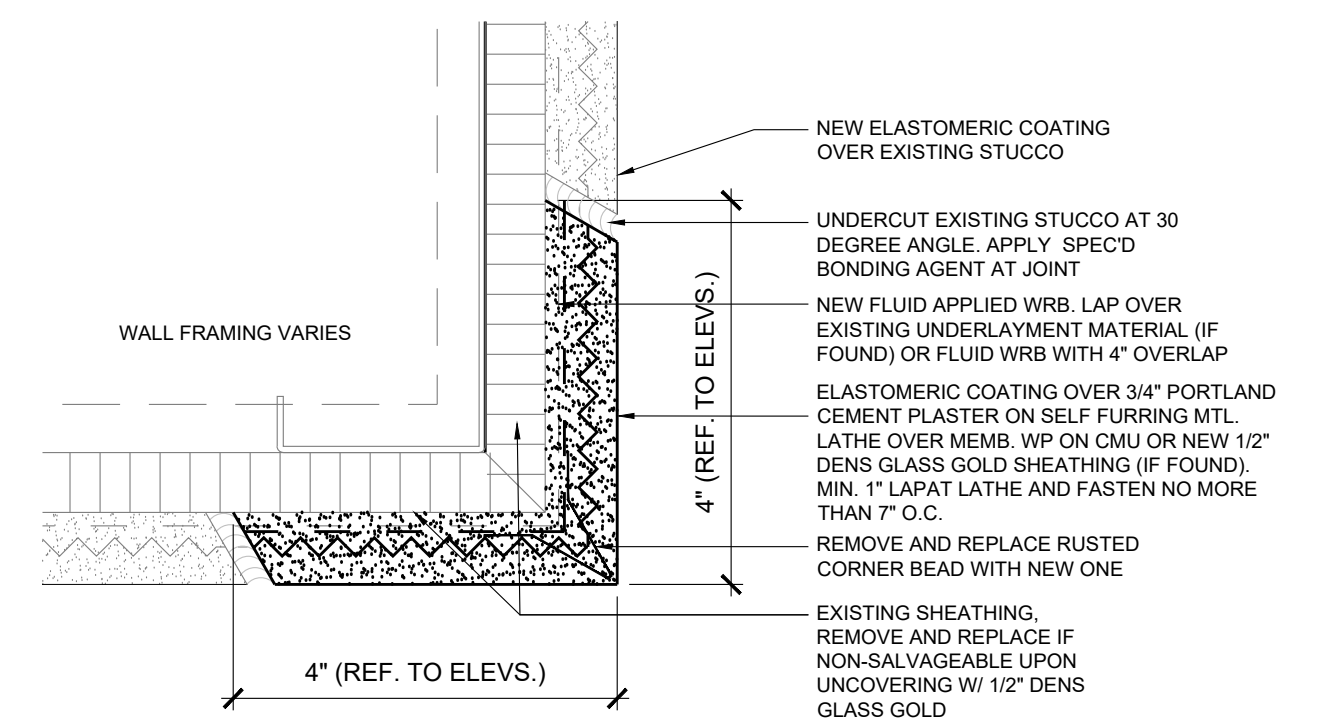
**TYPICAL TRANSITION REPAIR @ STUCCO/STONE**

03  
SCALE: 6" = 1'-0"



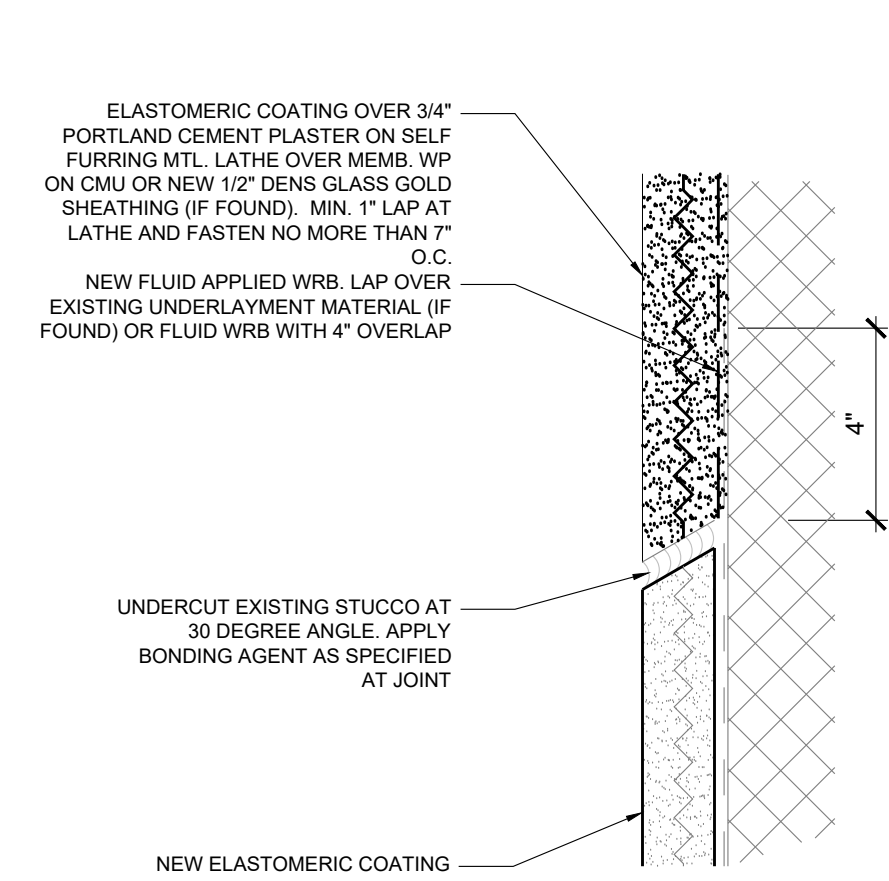
**TYPICAL STONE REPLACEMENT DETAIL**

04  
SCALE: 6" = 1'-0"



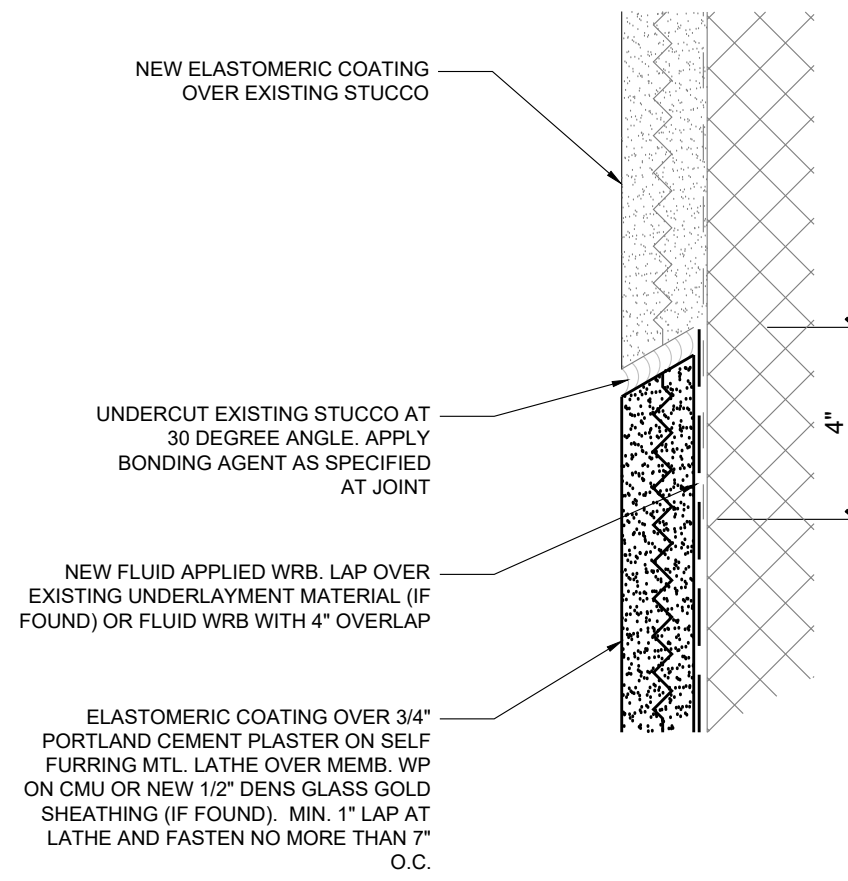
**TYPICAL DRIP DETAIL @ PLASTER**

05  
SCALE: 6" = 1'-0"



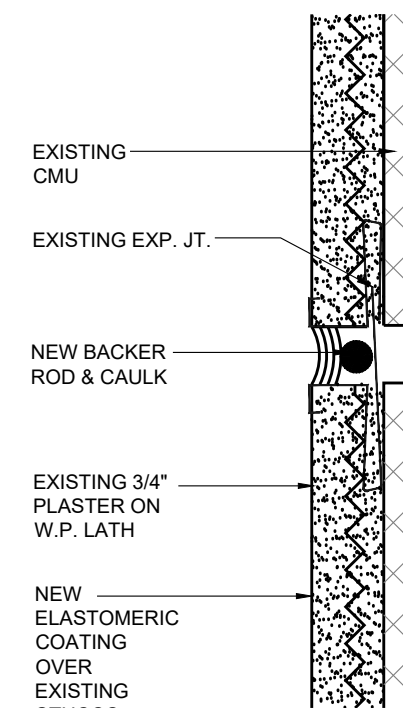
**PLASTER REPAIR DETAIL (TOP PORTION REMOVED)**

06  
SCALE: 6" = 1'-0"



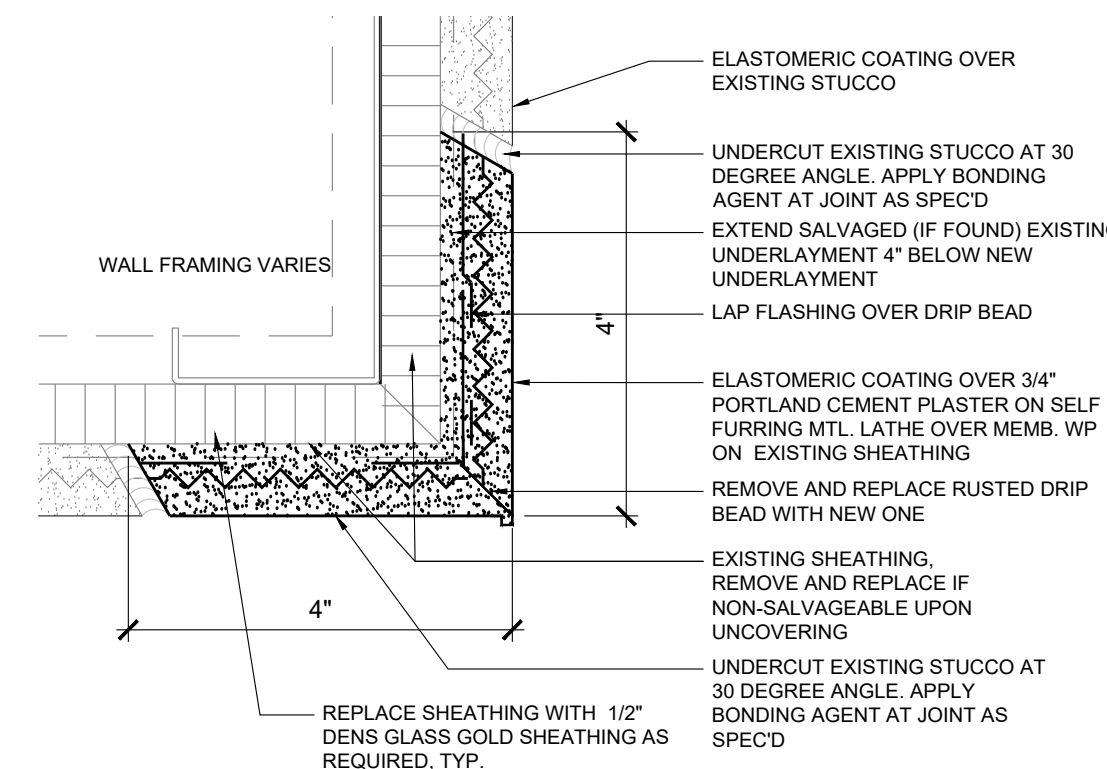
**PLASTER REPAIR DETAIL (BOTTOM PORTION REMOVED)**

07  
SCALE: 6" = 1'-0"



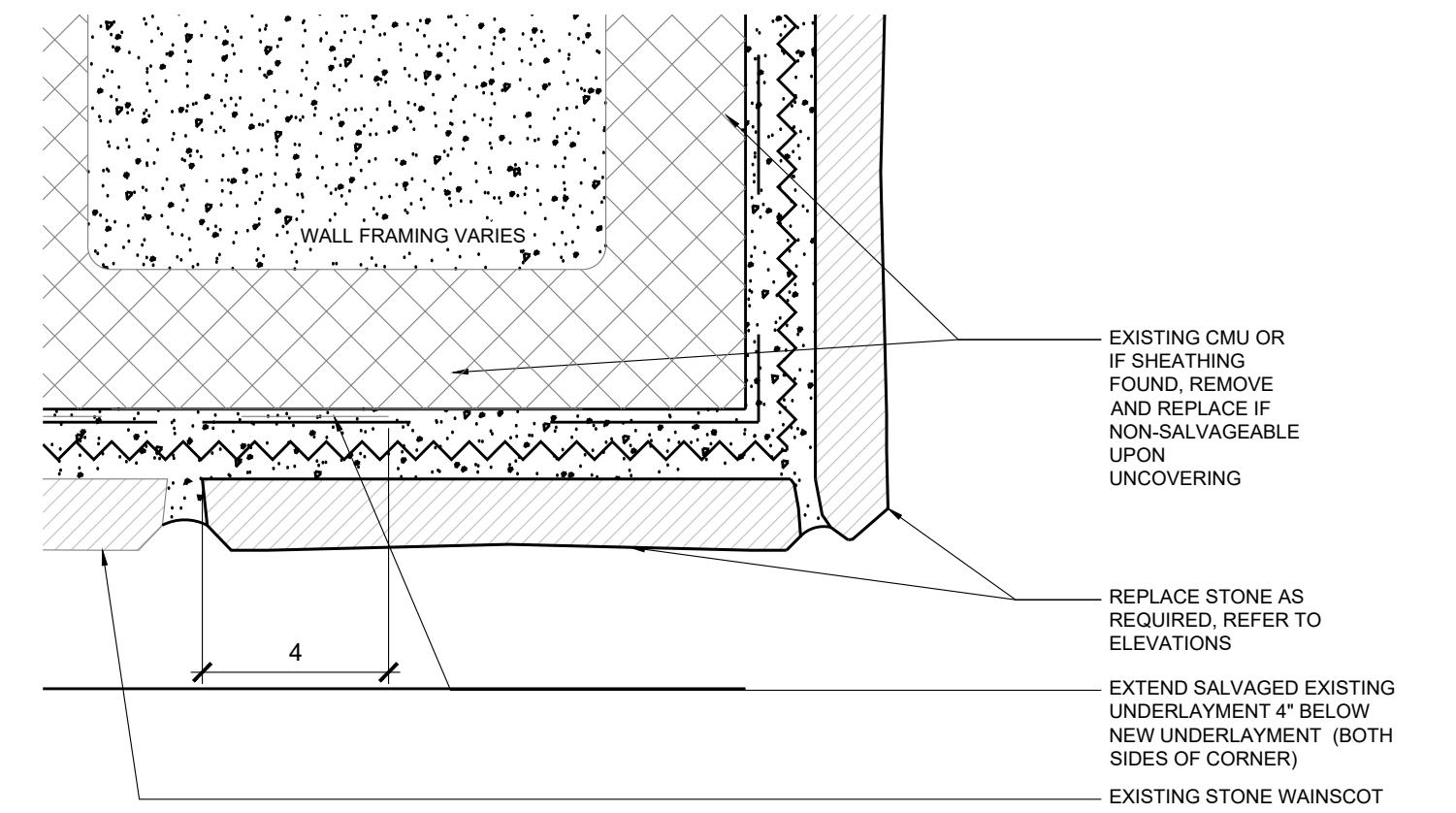
**EXPANSION JOINT @ STUCCO**

08  
SCALE: 6" = 1'-0"



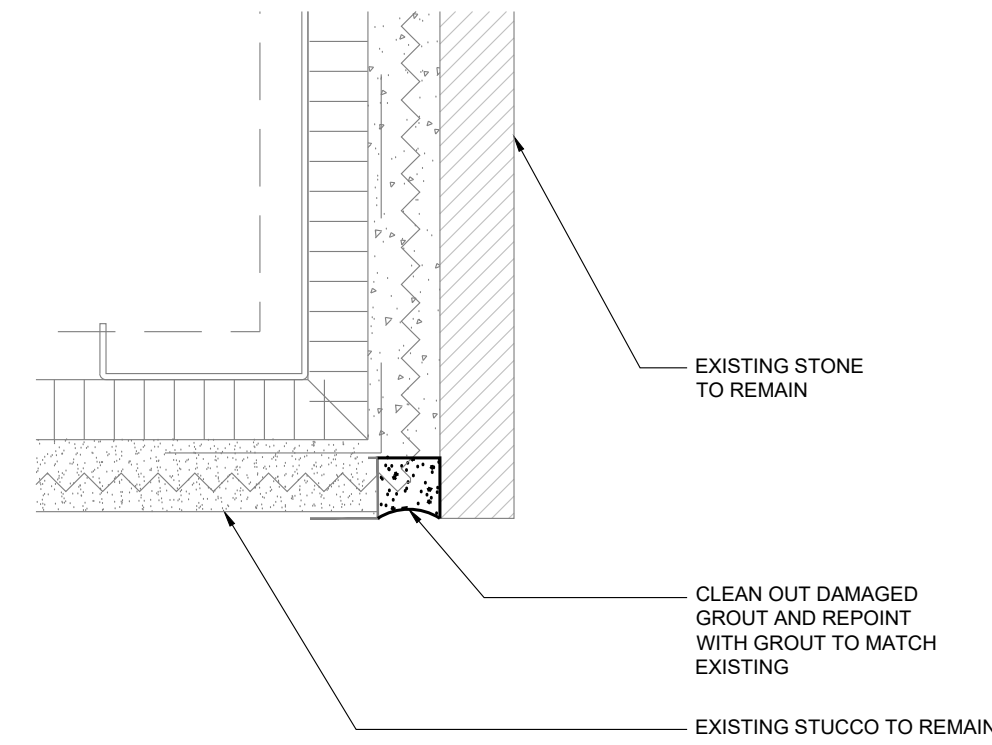
**TYPICAL CORNER DETAIL @ PLASTER**

09  
SCALE: 6" = 1'-0"



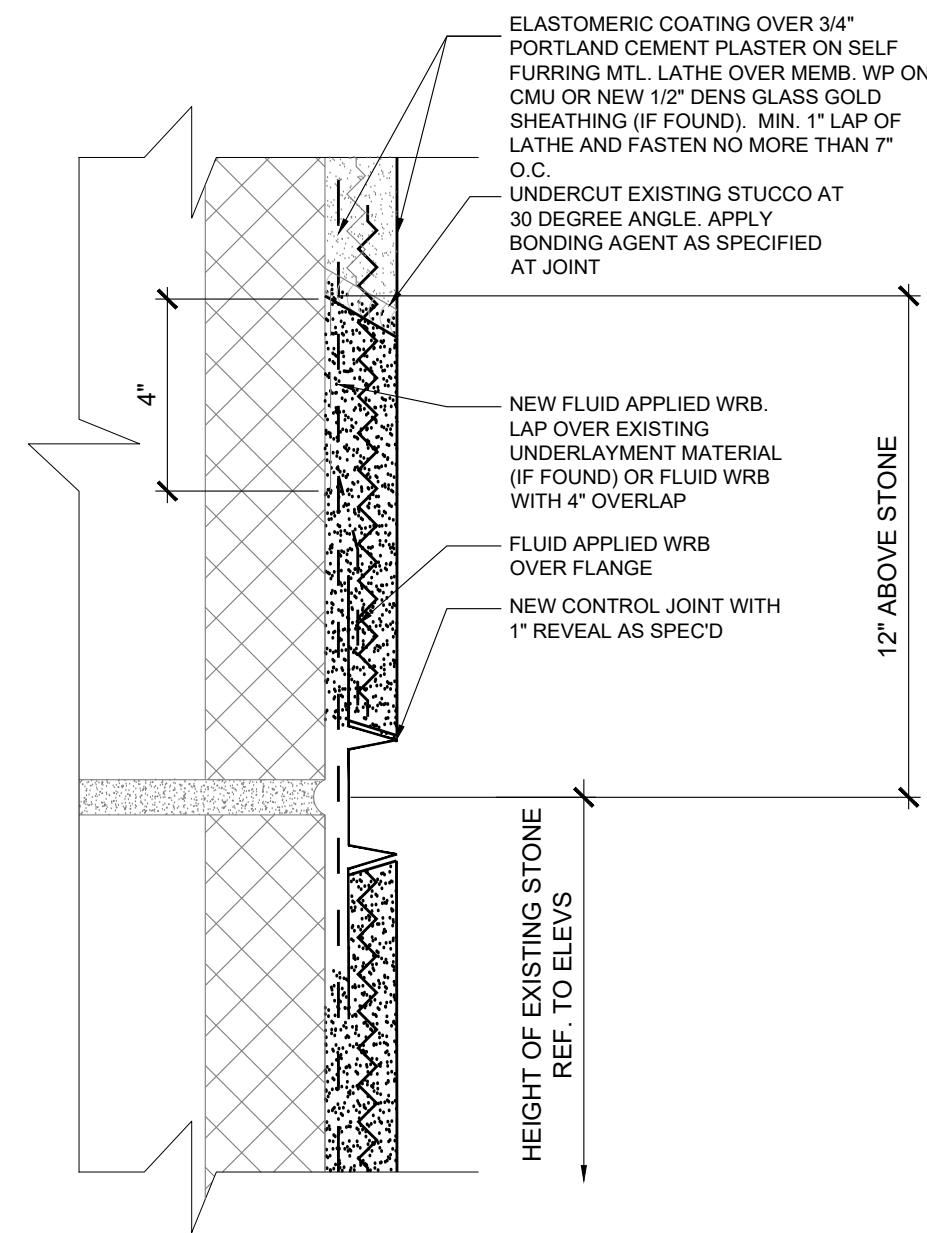
**TYPICAL CORNER DETAIL @ STONE**

10  
SCALE: 6" = 1'-0"



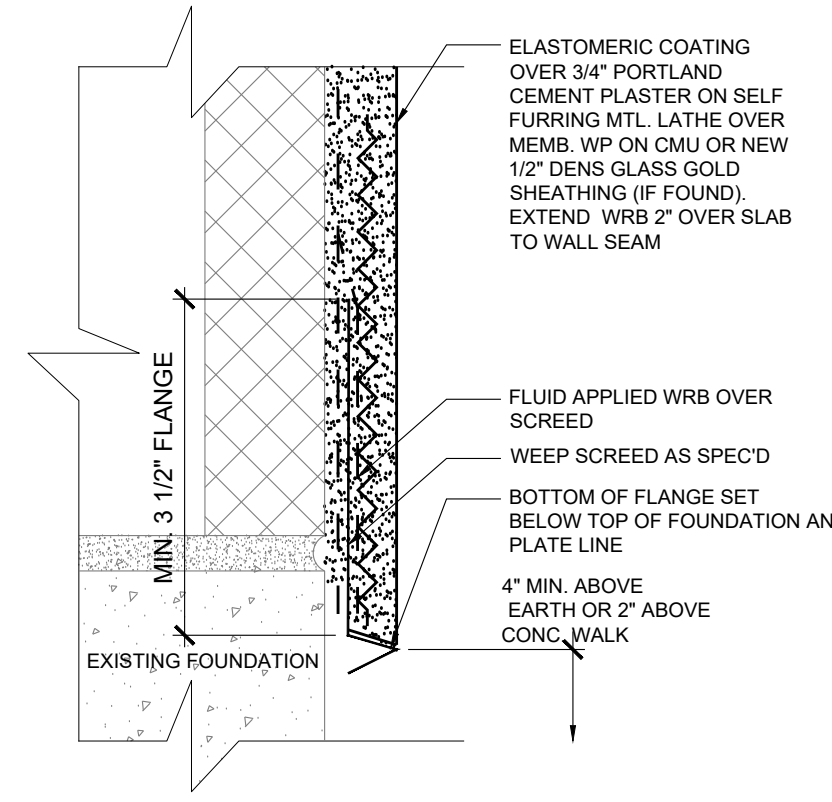
**TYPICAL REPOINTING DETAIL @ STONE TO STUCCO**

11  
SCALE: 6" = 1'-0"



**ALTERNATE 2: STUCCO REPLACEMENT @ WAINSCOT- SEAM**

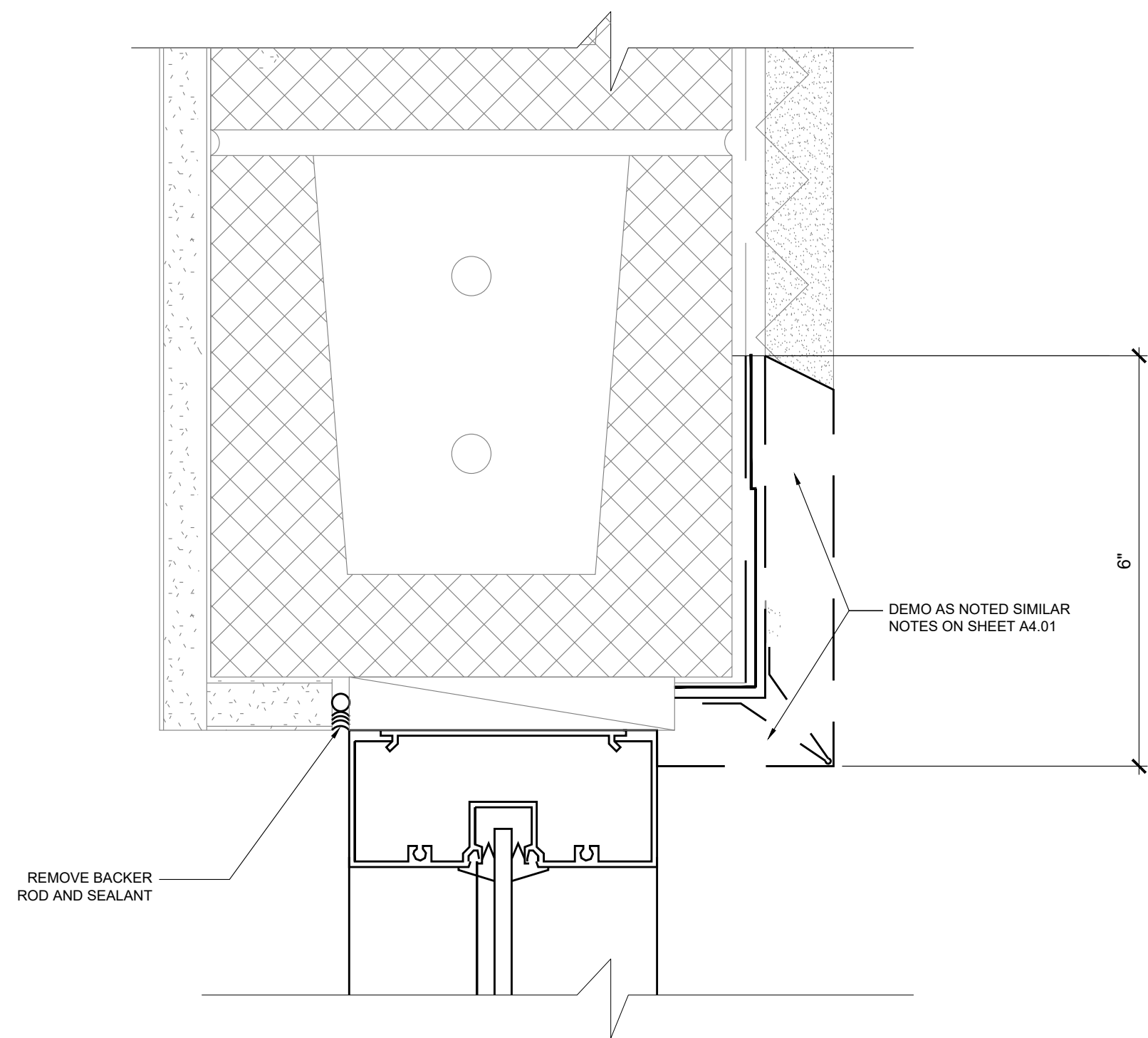
12  
SCALE: 6" = 1'-0"



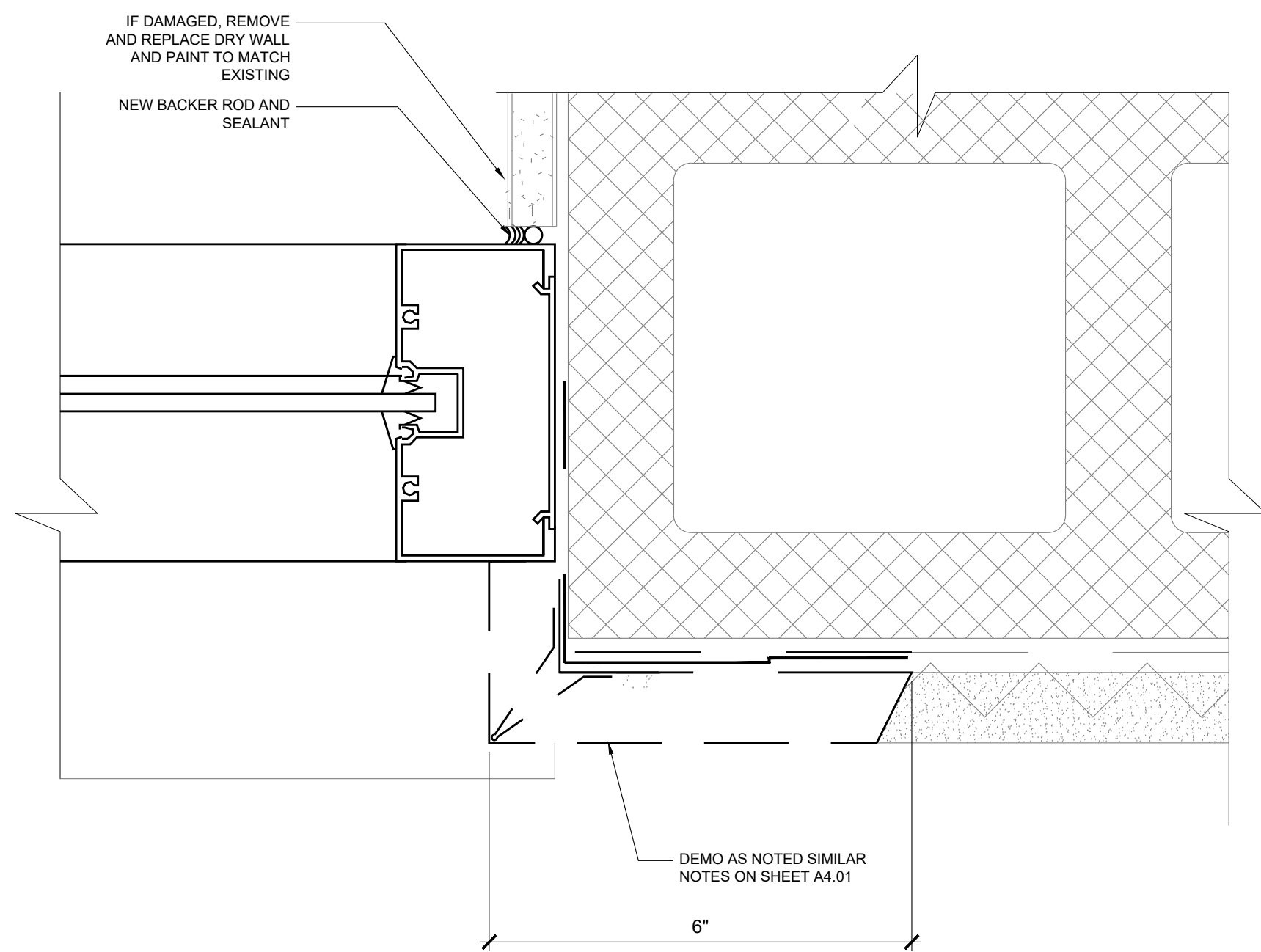
**ALTERNATE 2: STUCCO REPLACEMENT @ WAINSCOT- BASE**

13  
SCALE: 6" = 1'-0"

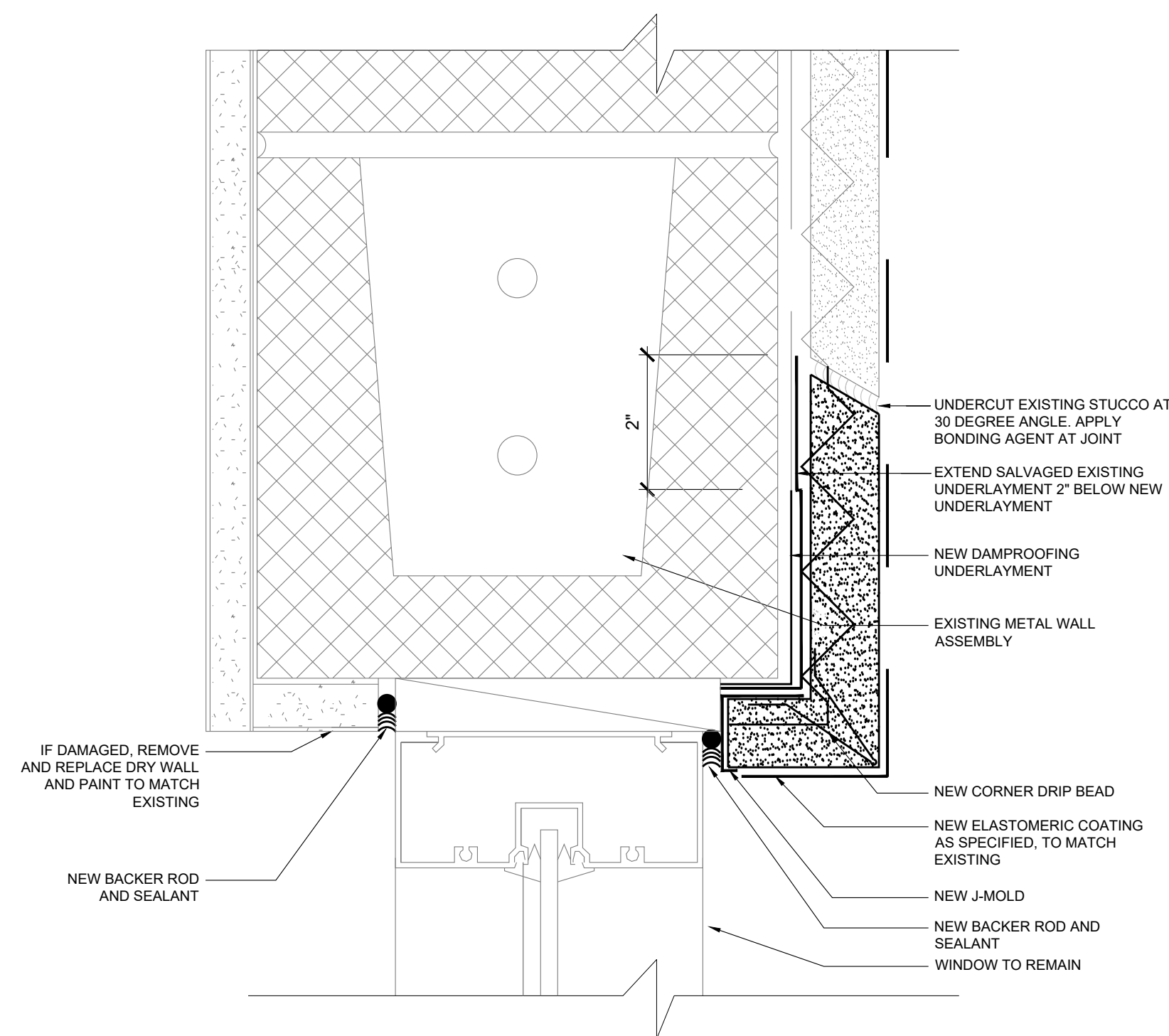




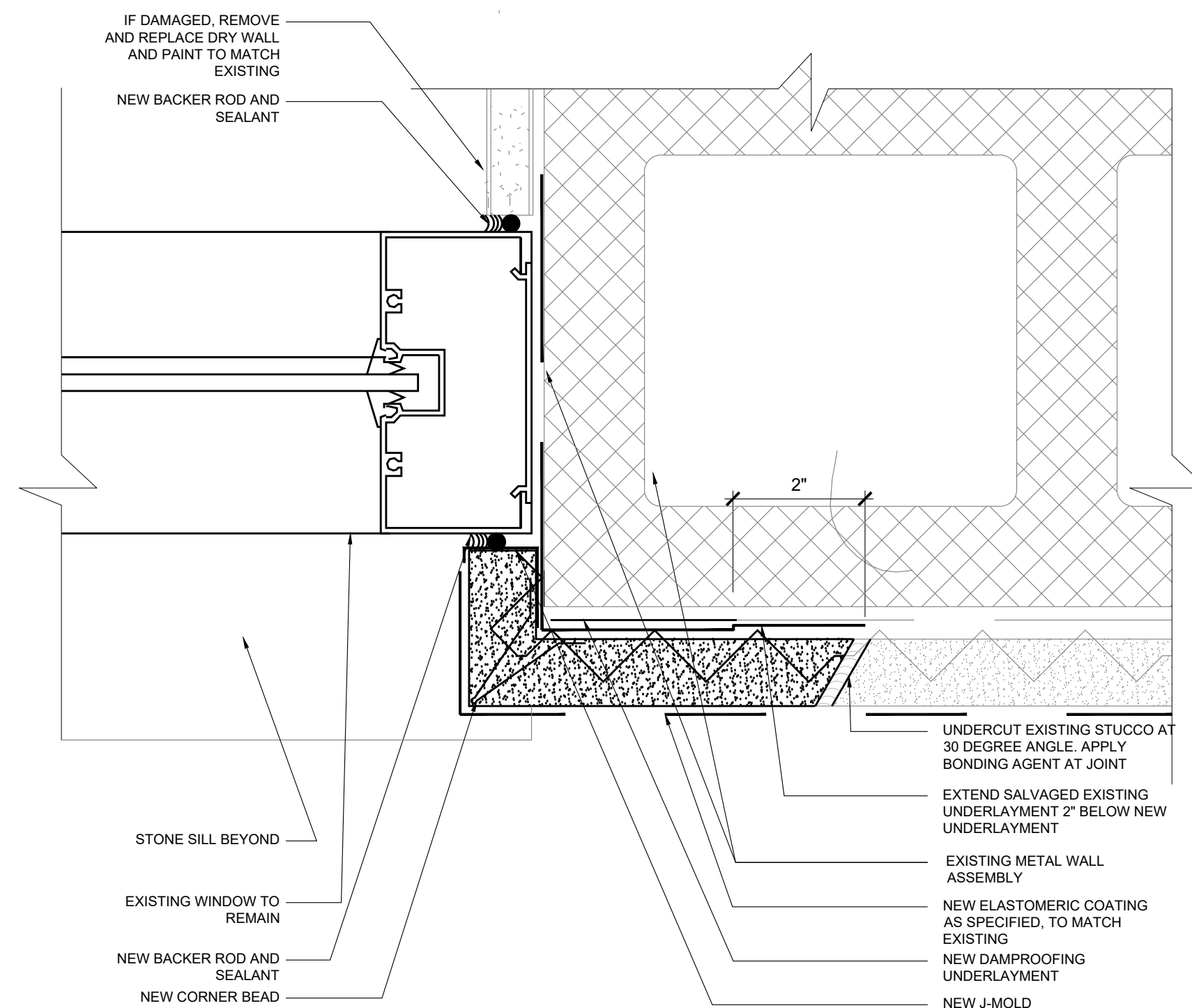
01 TYPICAL STUCCO REPAIR @ WINDOW  
HEADER - DEMOLITION  
SCALE: 6" = 1'-0"



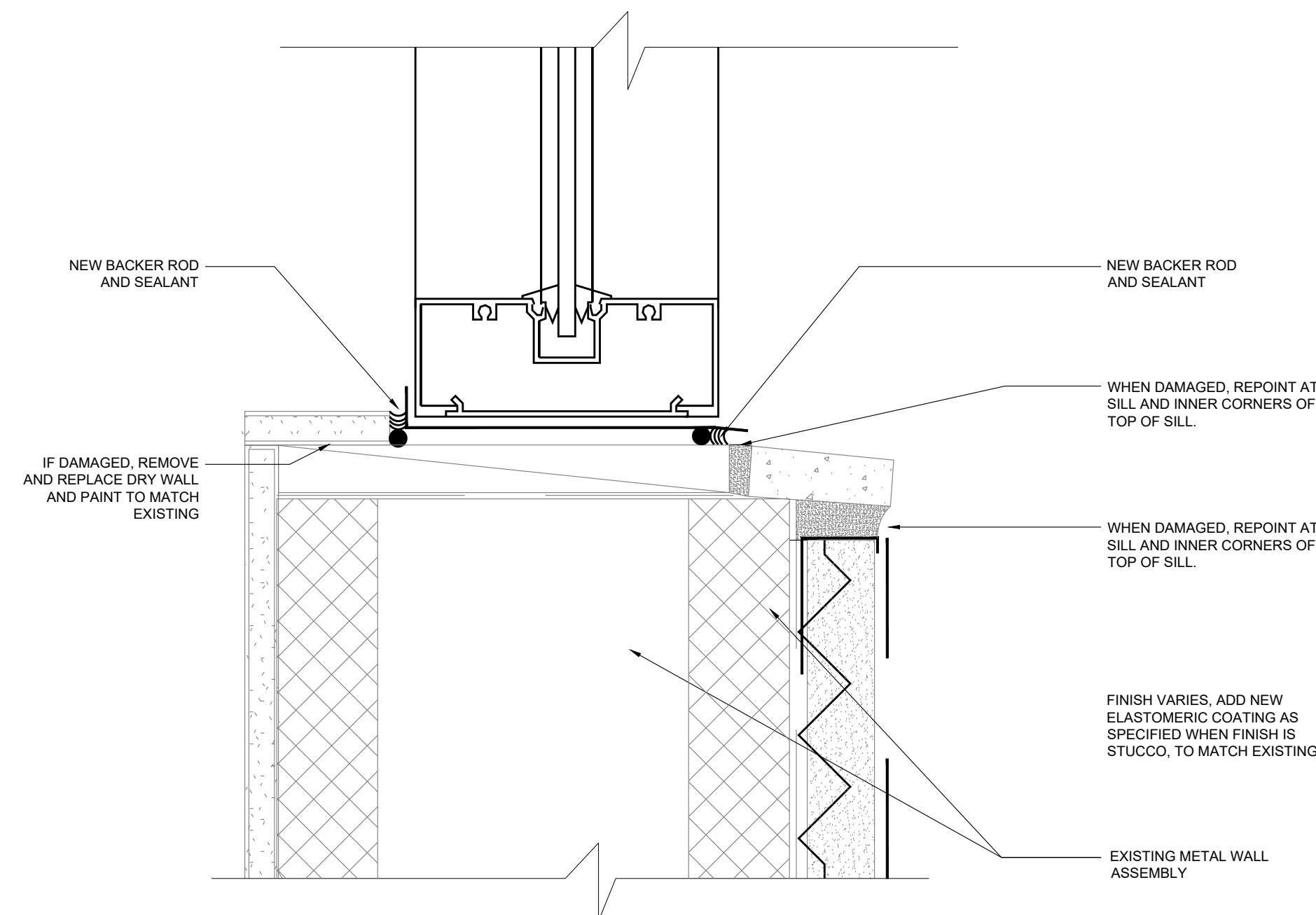
03 TYPICAL STUCCO REPAIR @ WINDOW  
JAMB - DEMOLITION  
SCALE: 6" = 1'-0"



02 TYPICAL STUCCO REPAIR @ WINDOW  
HEADER  
SCALE: 6" = 1'-0"

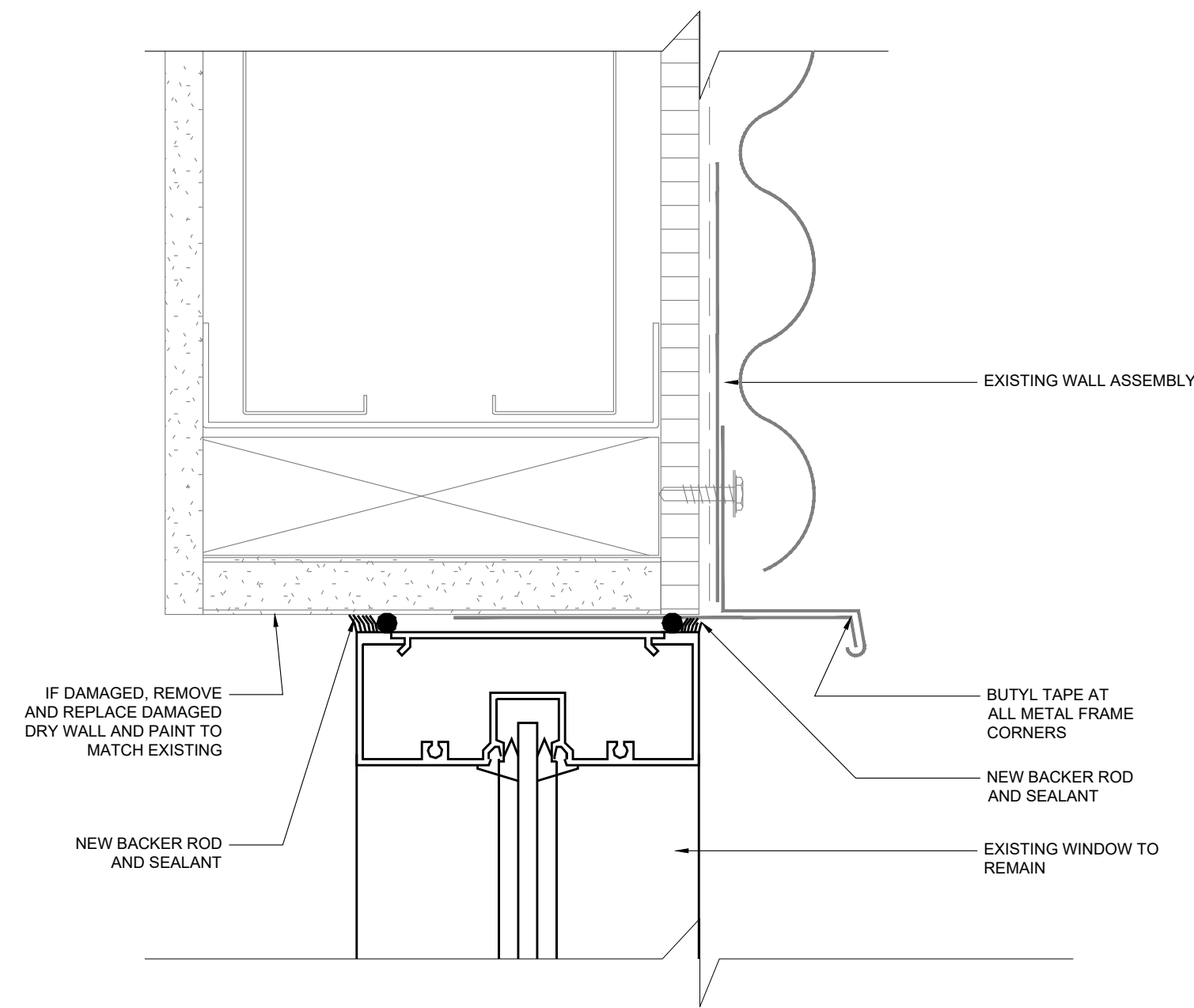


04 TYPICAL STUCCO REPAIR @ WINDOW  
JAMB  
SCALE: 6" = 1'-0"

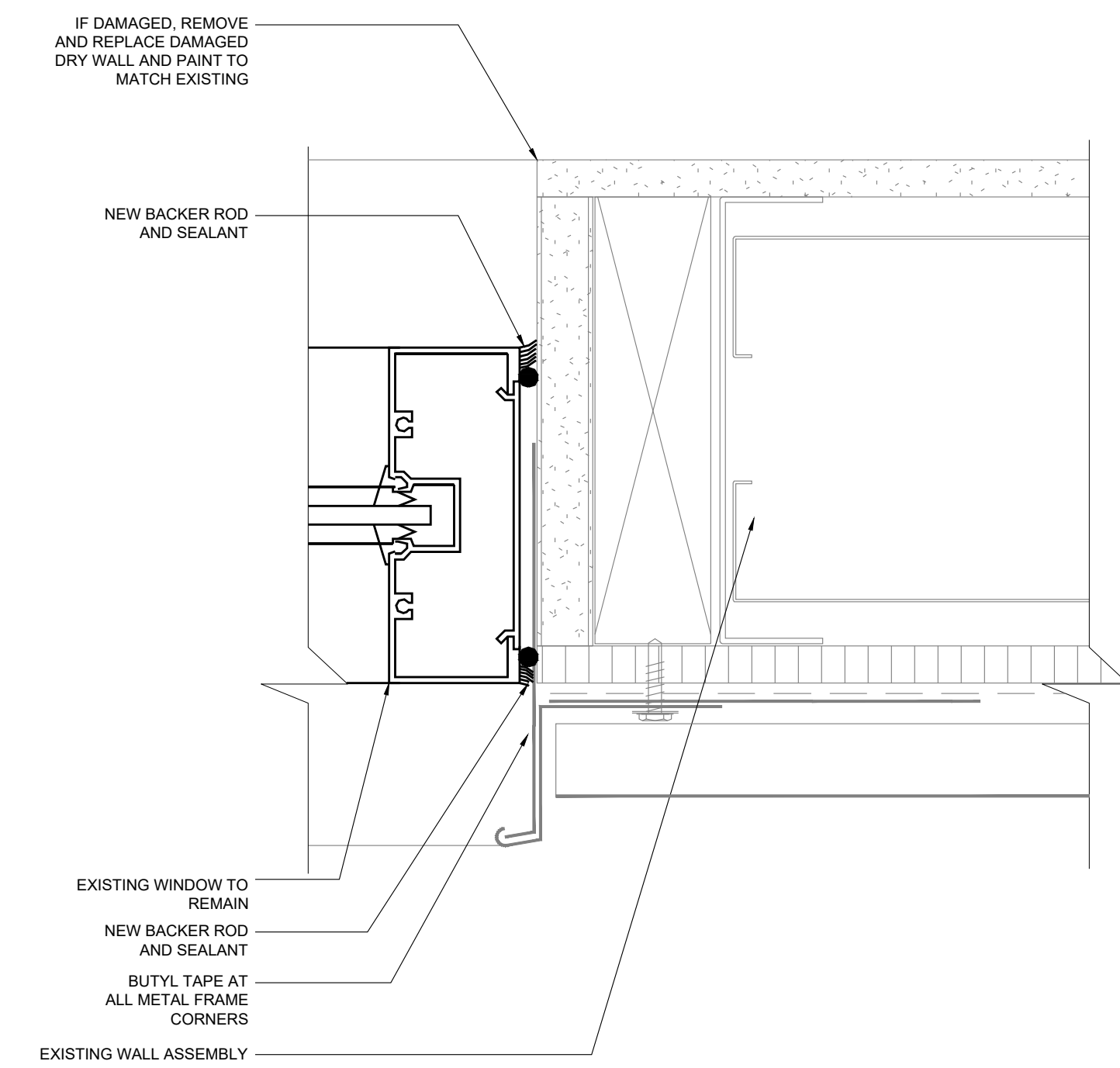


05 TYPICAL REPAIR @ STONE SILL (HEAD  
AND JAMB SIM.)  
SCALE: 6" = 1'-0"

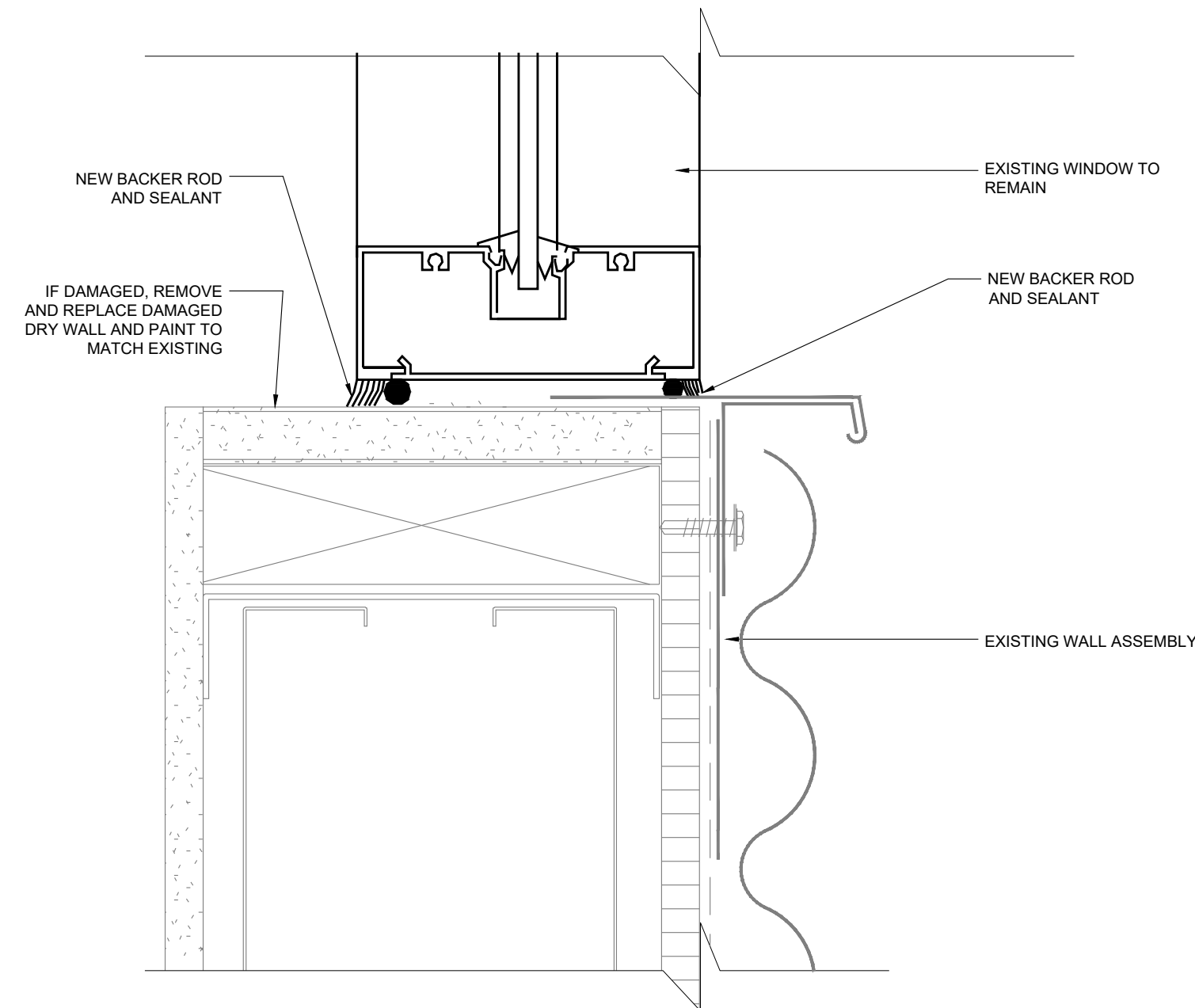




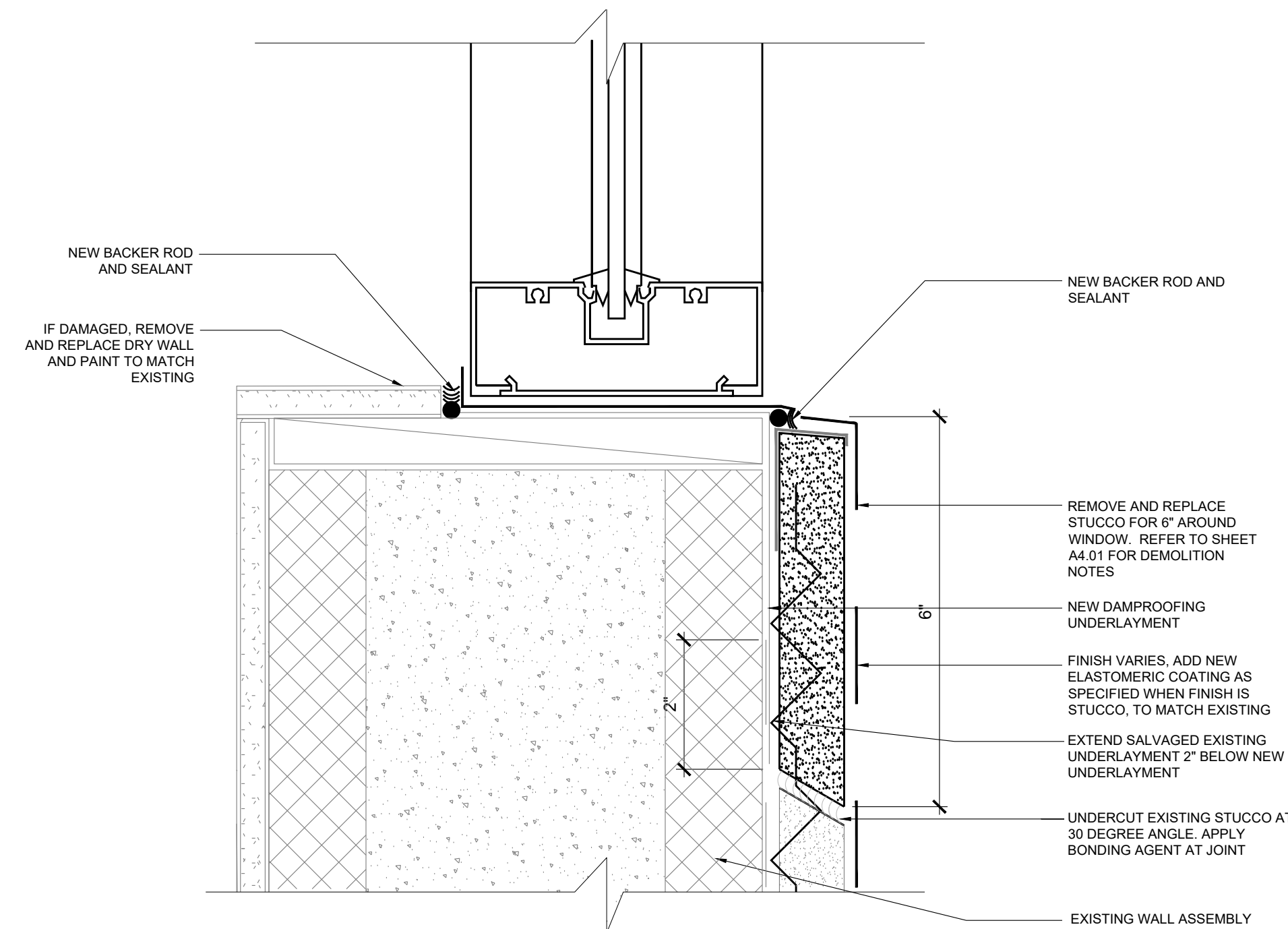
01 **TYPICAL STOREFRONT SEALANT REPAIR @ WINDOW HEAD**  
SCALE: 6" = 1'-0"



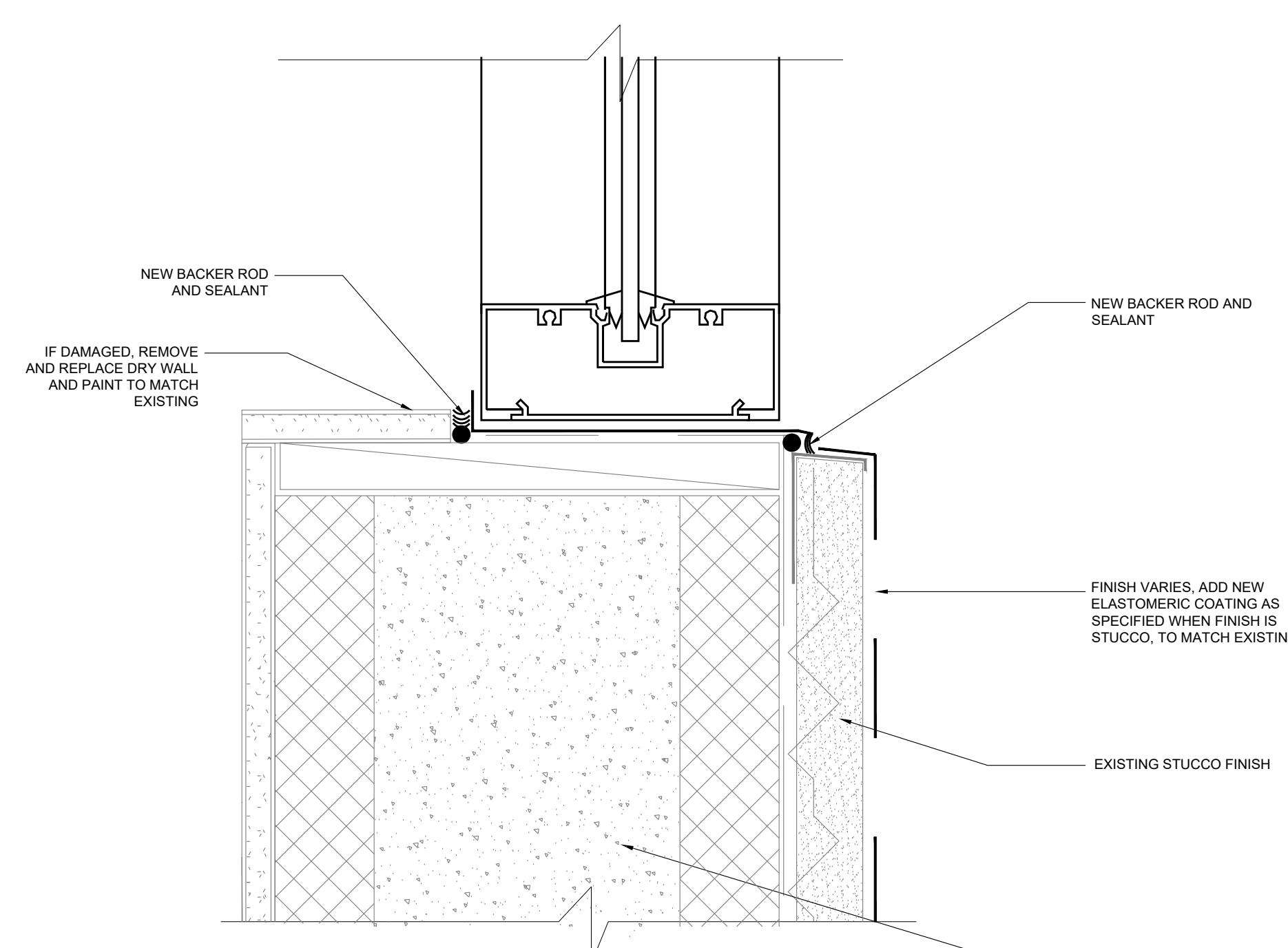
03 **TYPICAL STOREFRONT SEALANT REPAIR @ WINDOW JAMB**  
SCALE: 6" = 1'-0"



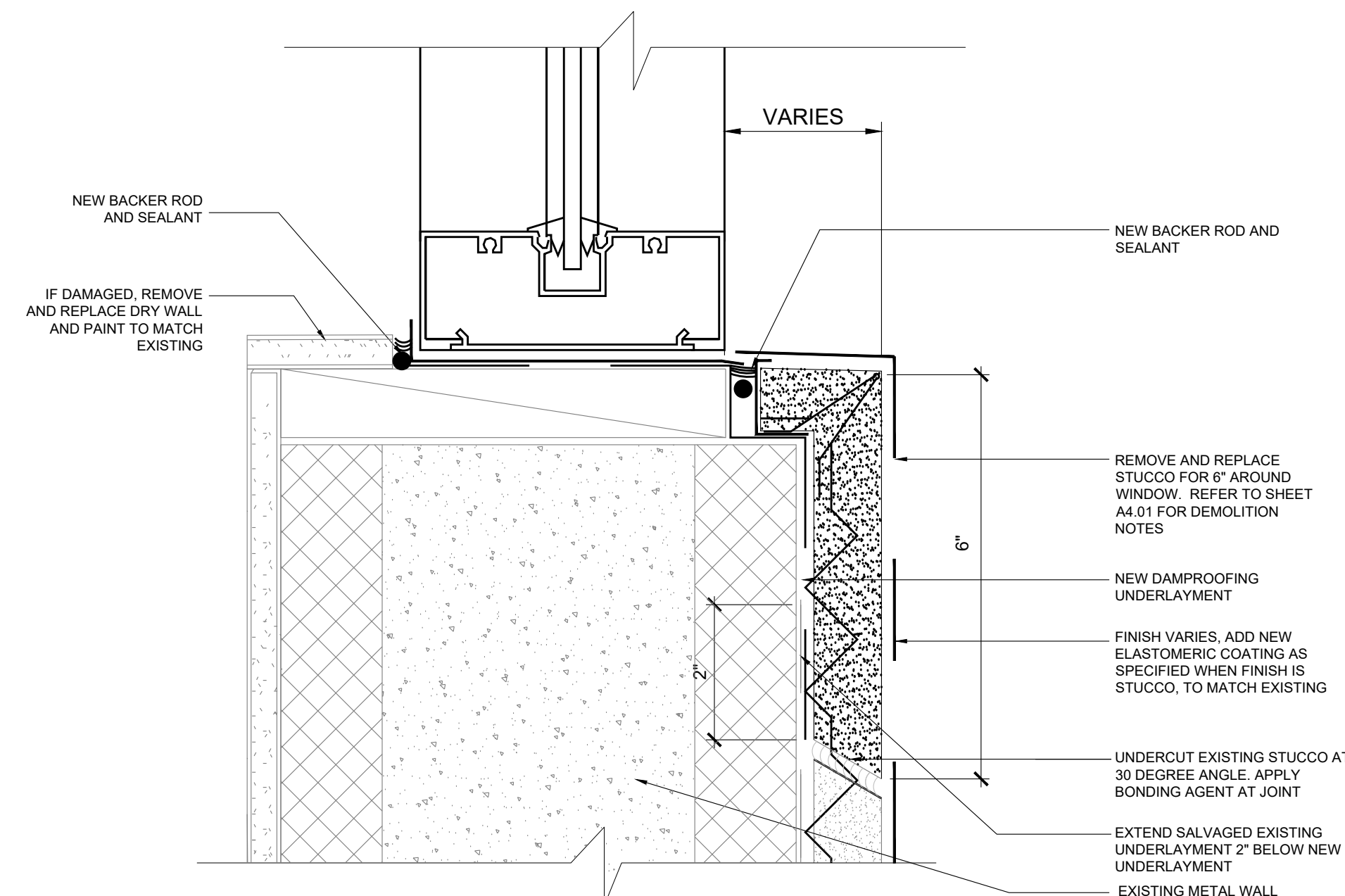
05 **TYPICAL STOREFRONT SEALANT REPAIR @ WINDOW SILL**  
SCALE: 6" = 1'-0"



02 **STUCCO REPAIR @ STOREFRONT - WINDOW SILL**  
SCALE: 6" = 1'-0"



04 **TYPICAL SEALANT REPAIR @ STOREFRONT - WINDOW SILL**  
SCALE: 6" = 1'-0"

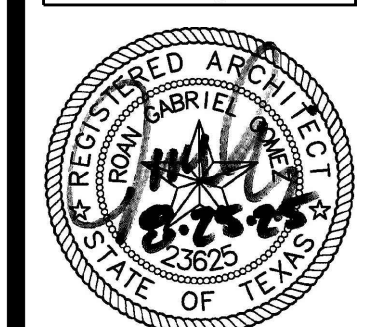


06 **STUCCO REPAIR @ STOREFRONT - WINDOW SILL**  
SCALE: 6" = 1'-0"

No.	REVISIONS	BY

**GMS ARCHITECTS**  
1150 Paredes Line Rd.  
Brownsville TX 78526  
(956) 546-0110  
fax (956) 546-0196

**IDEA PUBLIC SCHOOLS**  
**EXTERIOR FACILITY IMPROVEMENTS**  
DONNA, TEXAS

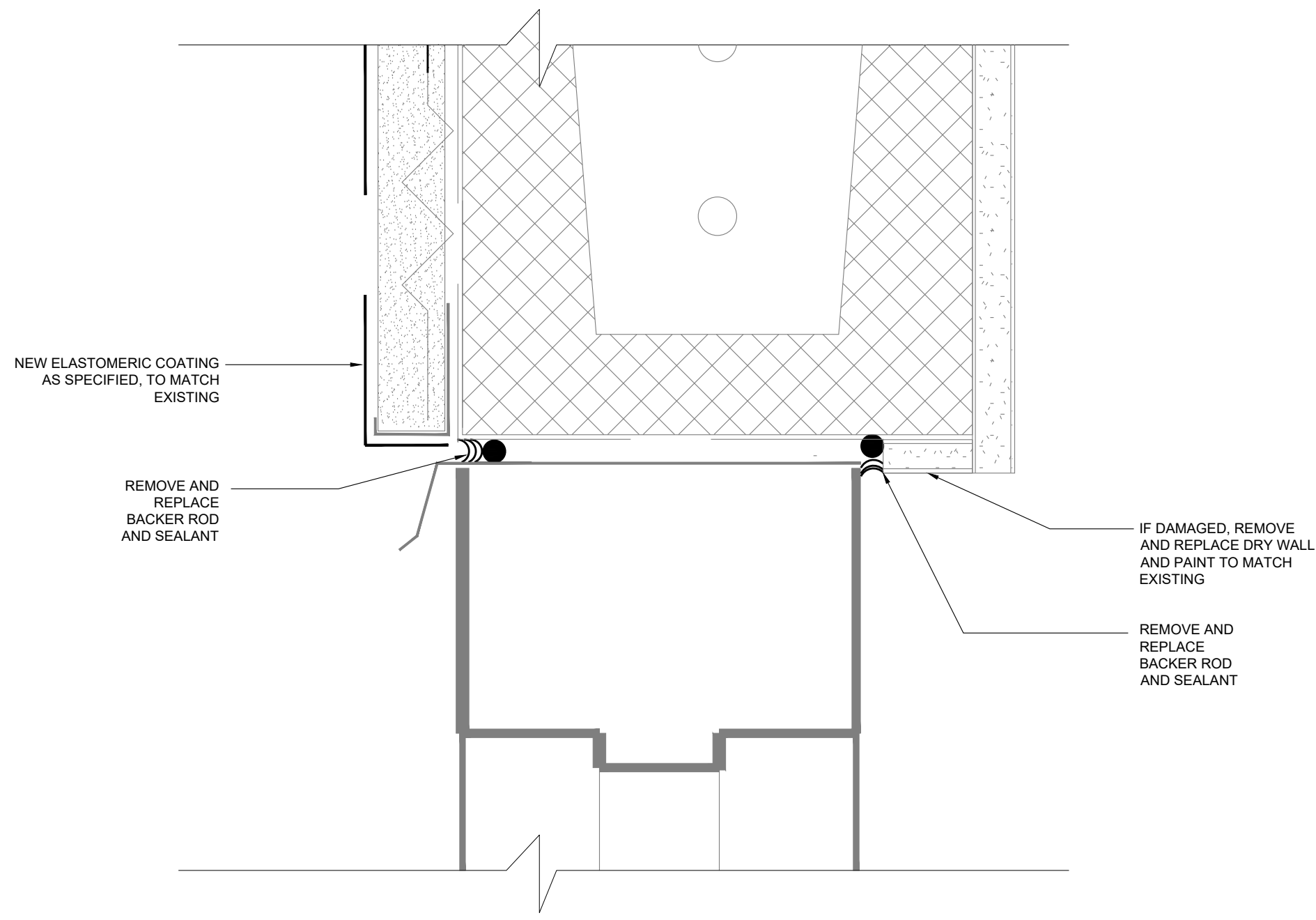


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Architects-Planners  
Interior Designers  
Date: September 2025  
Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: CG RG  
Job No: IDEA FACILITIES  
Sheet: A4.03

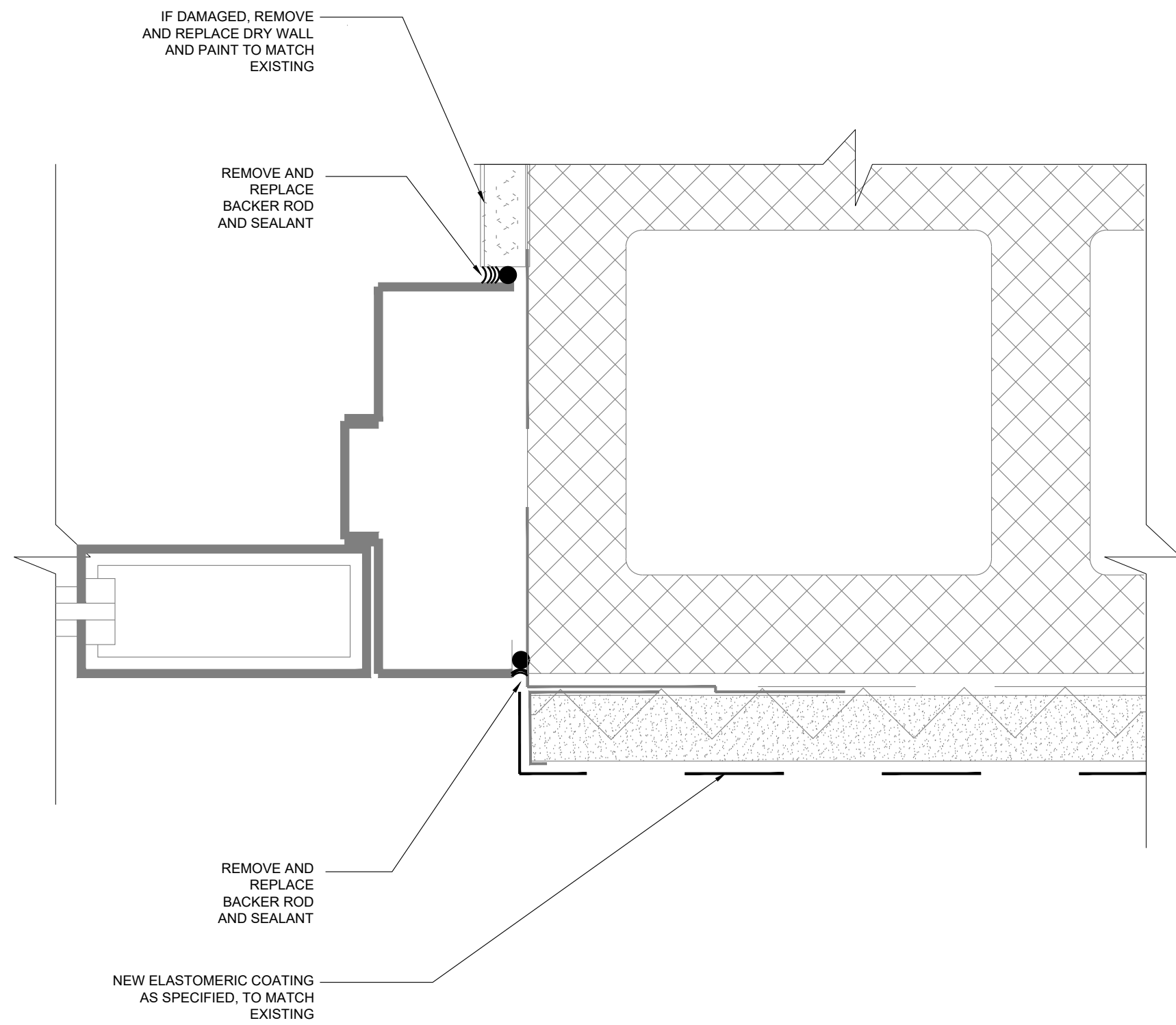
IDEA DONNA PHASE 2

**A4.03**

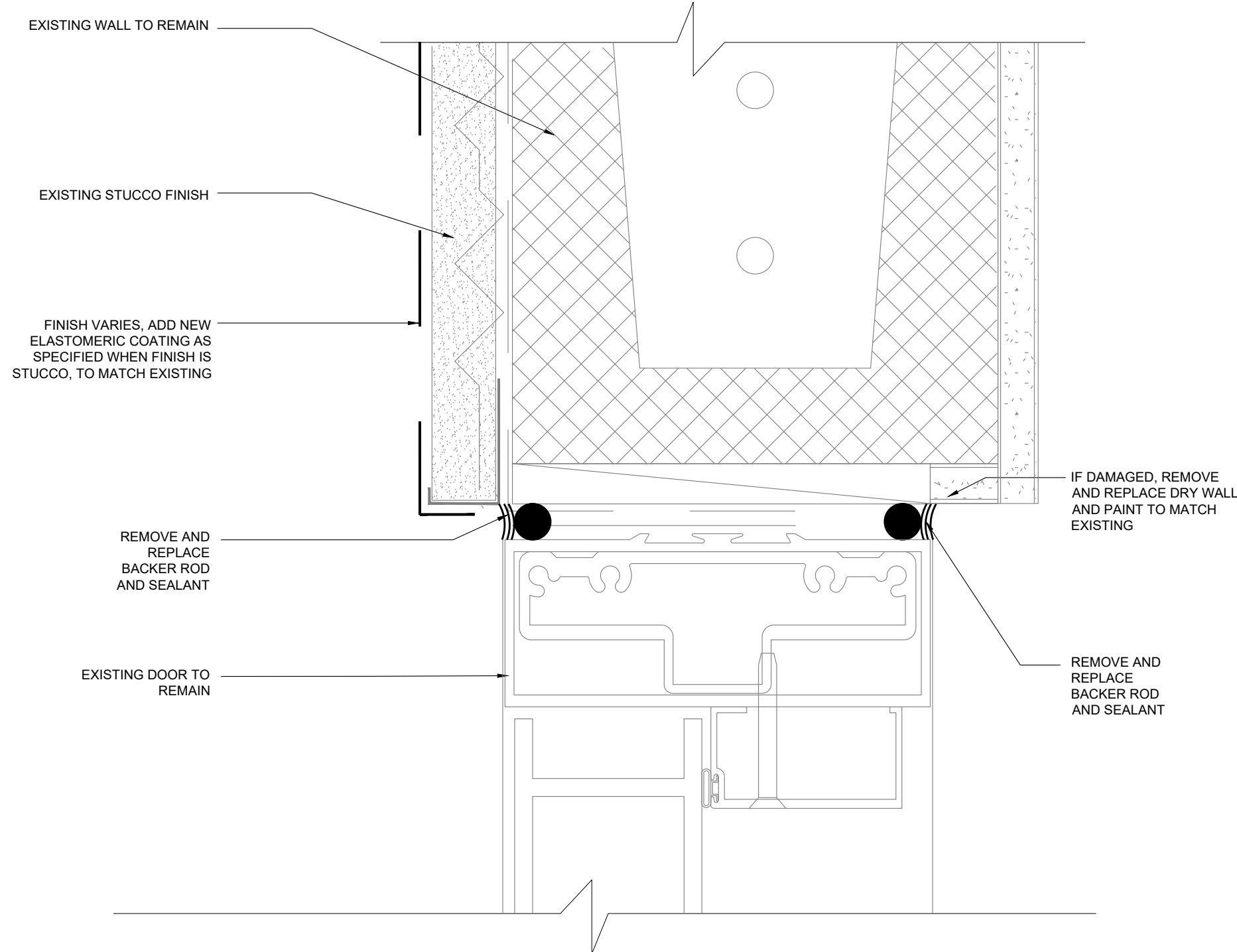




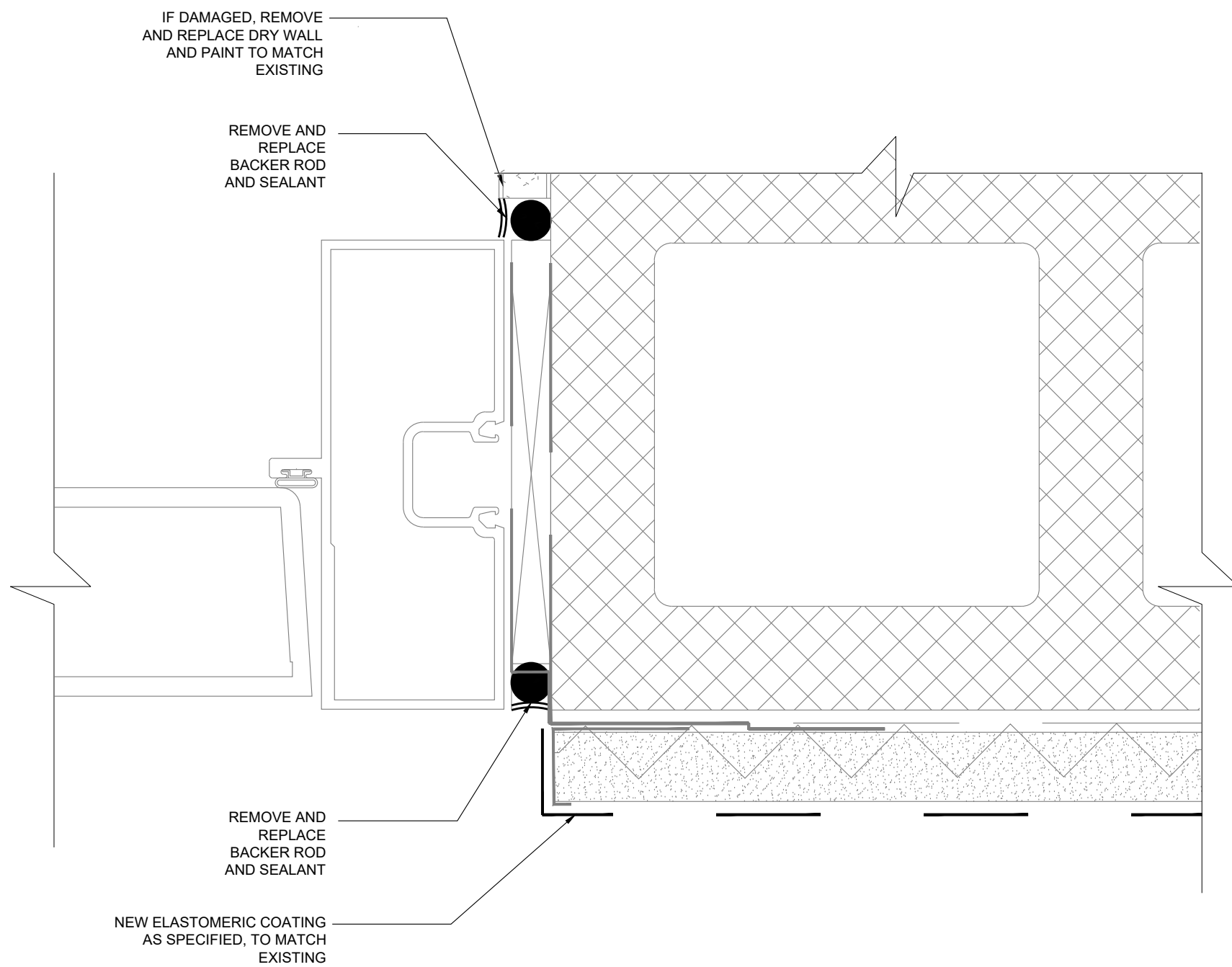
TYPICAL SEALANT AT METAL DOOR  
01 @ STUCCO (HEADER VIEW)  
SCALE: 6" = 1'-0"



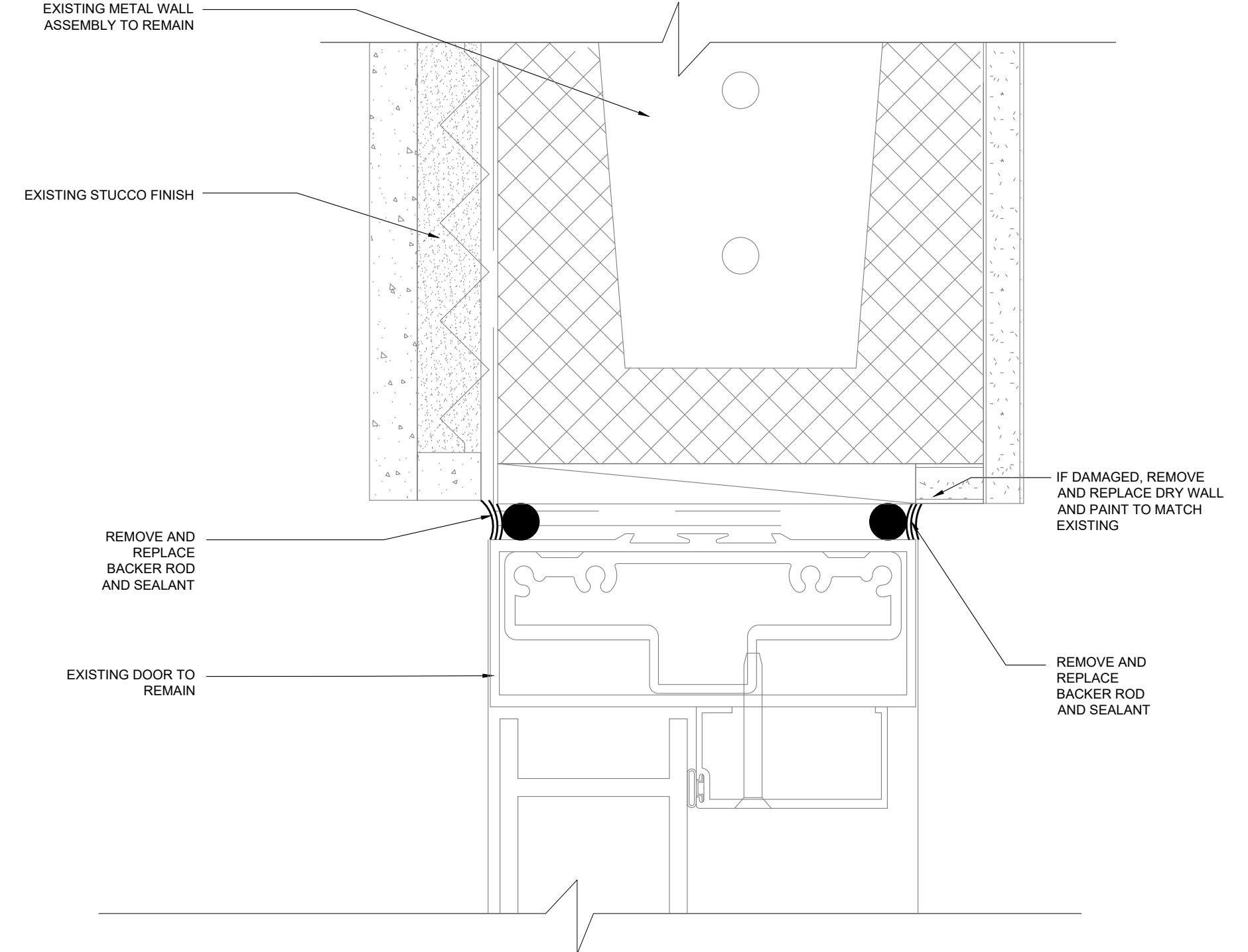
TYPICAL SEALANT AT METAL DOOR  
04 @ STUCCO (JAMB VIEW)  
SCALE: 6" = 1'-0"



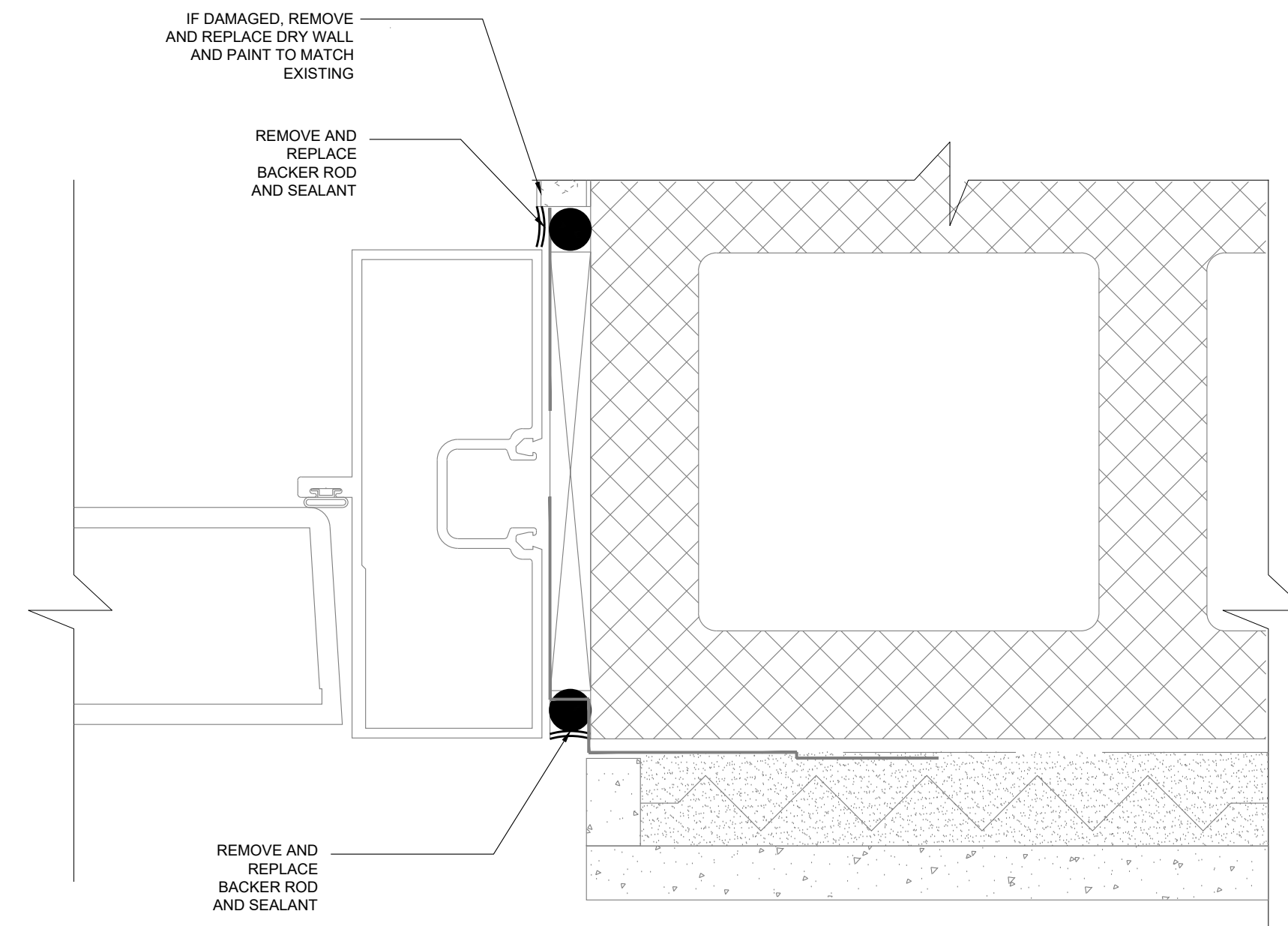
TYPICAL SEALANT AT STOREFRONT  
02 DOOR @ STUCCO (HEADER VIEW)  
SCALE: 6" = 1'-0"



TYPICAL SEALANT AT STOREFRONT  
05 DOOR @ STUCCO (JAMB VIEW)  
SCALE: 6" = 1'-0"



TYPICAL SEALANT AT STOREFRONT  
03 DOOR @ STONE (HEADER VIEW)  
SCALE: 6" = 1'-0"

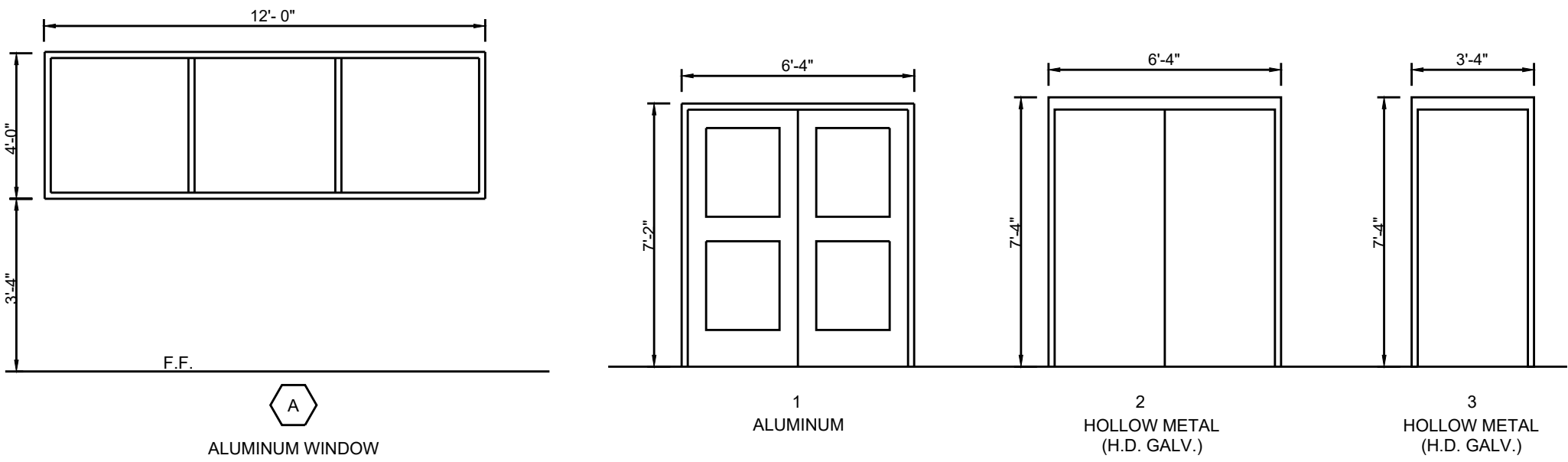


TYPICAL SEALANT AT STOREFRONT  
06 DOOR @ STONE (JAMB VIEW)  
SCALE: 6" = 1'-0"



DOOR & WINDOW ELEVATIONS

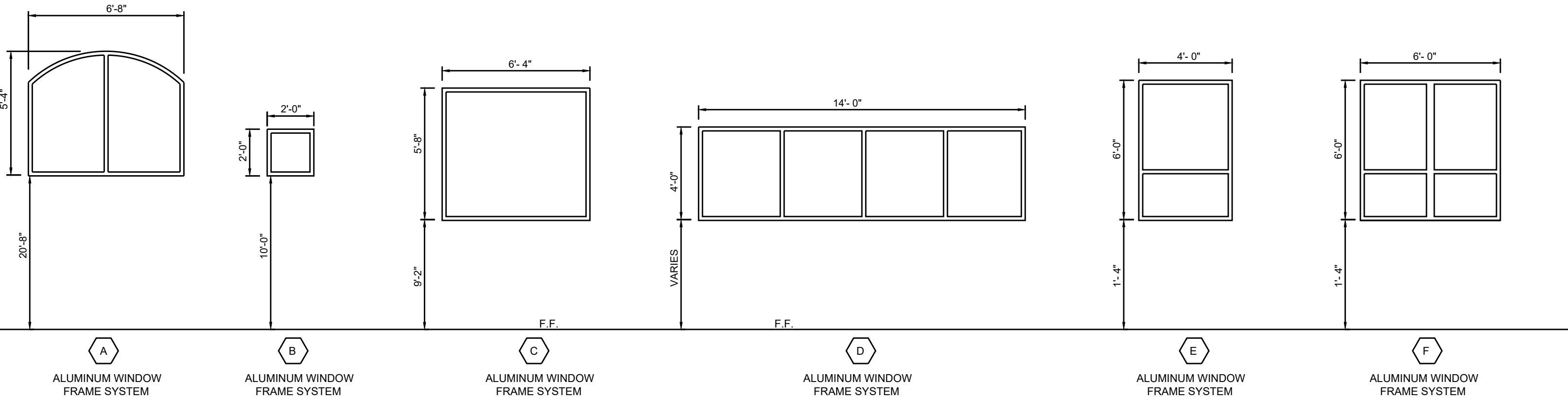
BUILDING B



WINDOW ELEVATIONS  
SCALE 1/4" = 1'-0"

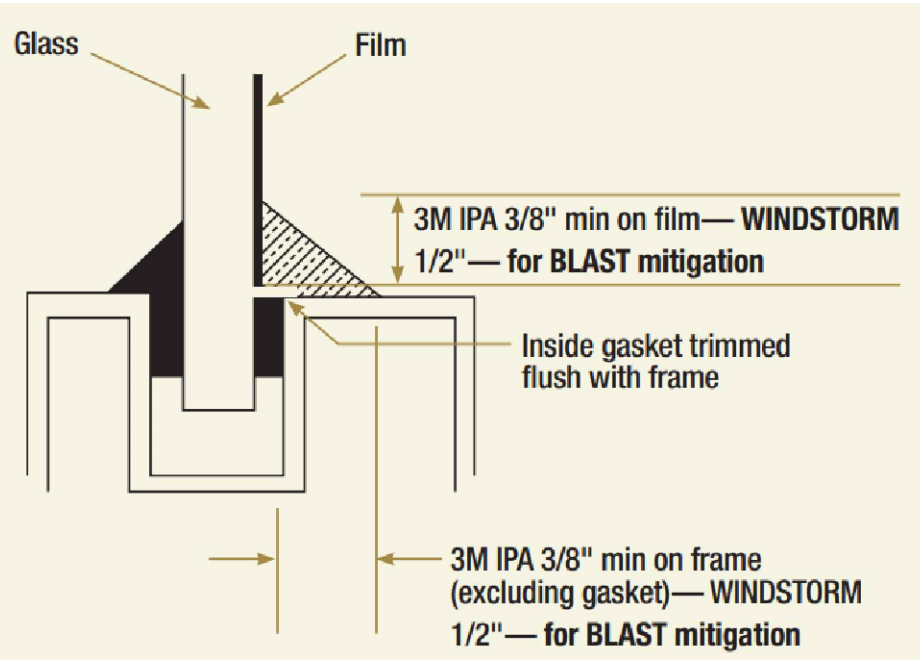
DOOR FRAME ELEVATIONS  
SCALE 1/4" = 1'-0"

BUILDING B, D



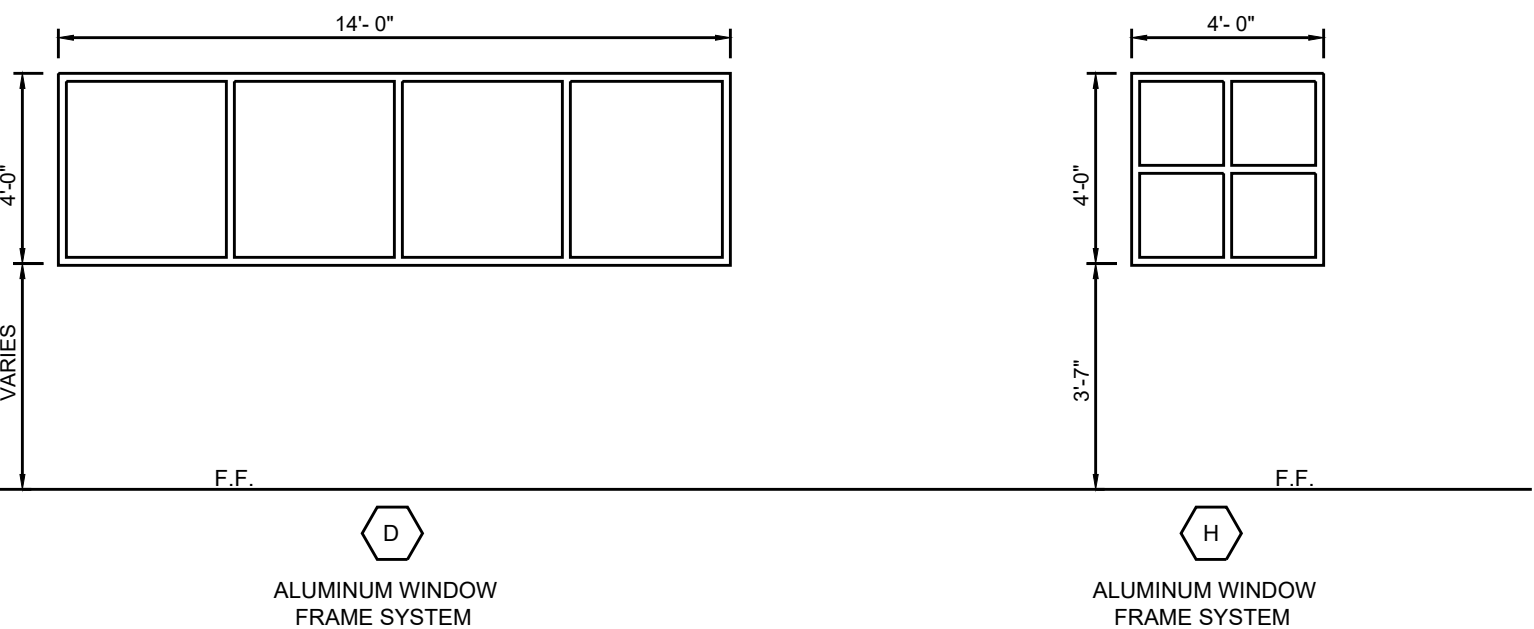
WINDOW ELEVATIONS  
SCALE 1/4" = 1'-0"

DOOR FRAME ELEVATIONS  
SCALE 1/4" = 1'-0"

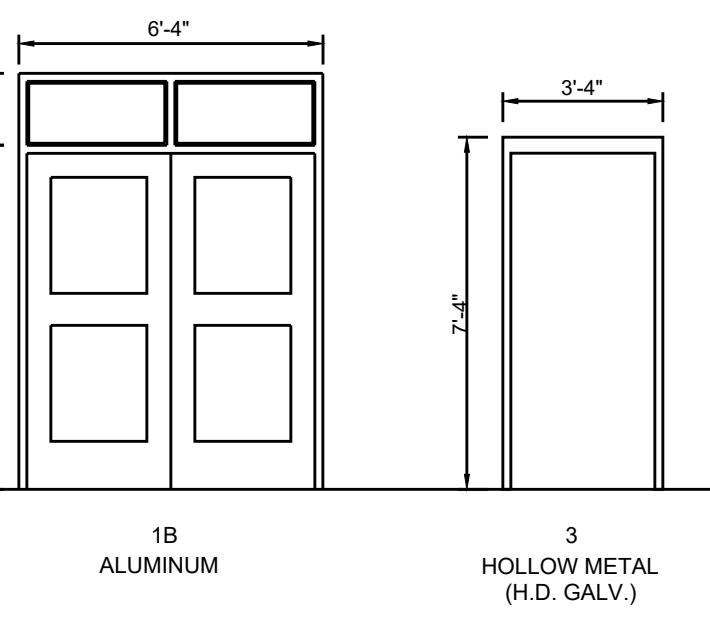


ALTERNATE 1:  
3M SAFETY AND SECURITY WINDOW FILM ULTRA 800  
WITH IPS (INTERIOR SIDE ALL WINDOWS)  
SCALE: "NOT TO SCALE"

BUILDING C

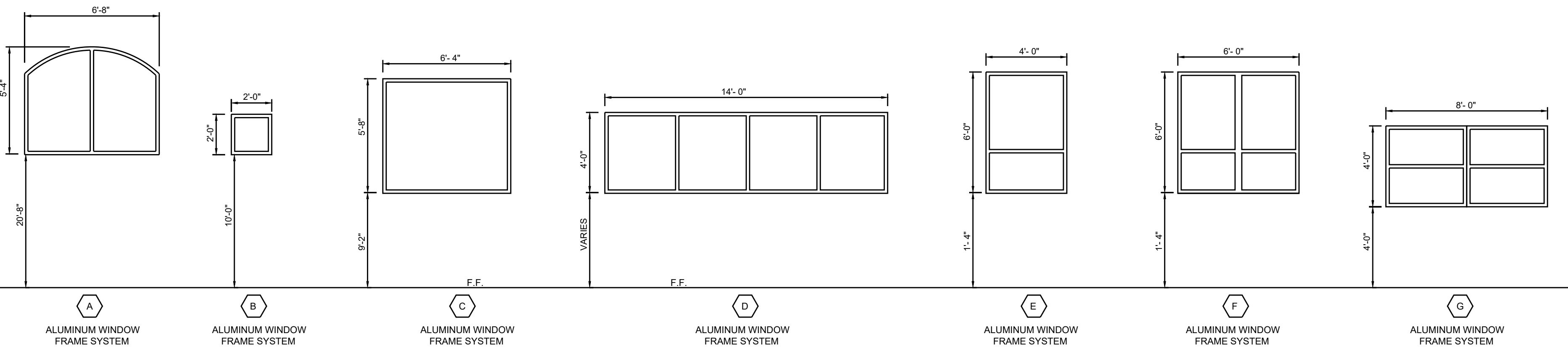


WINDOW ELEVATIONS  
SCALE 1/4" = 1'-0"



DOOR FRAME ELEVATIONS  
SCALE 1/4" = 1'-0"

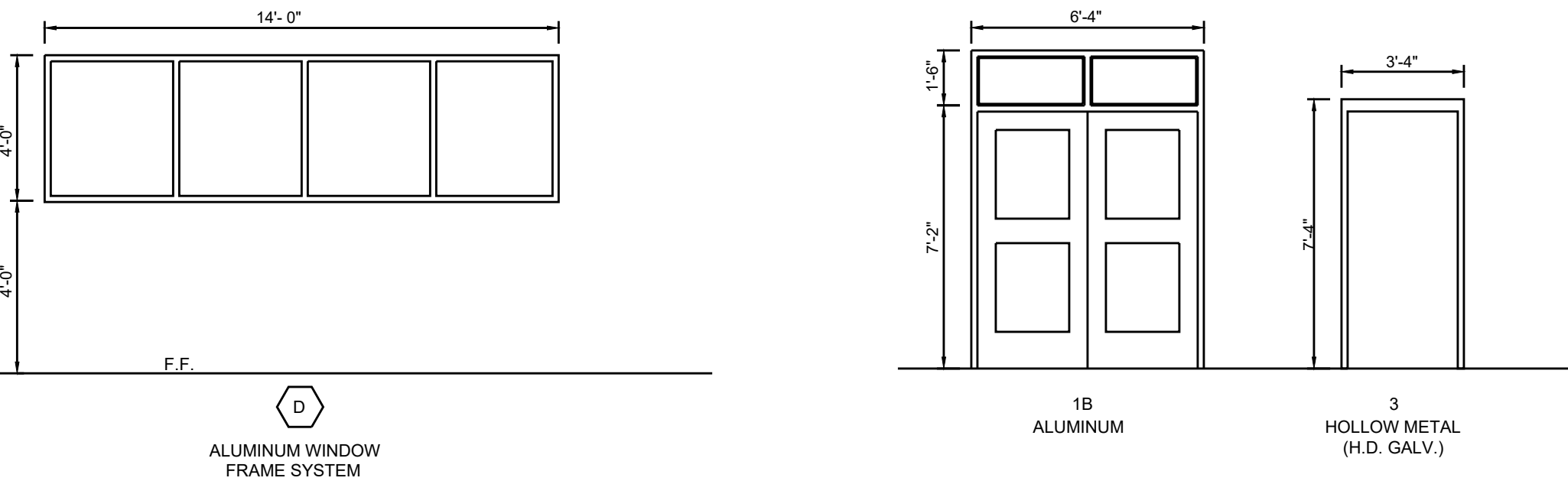
BUILDING D



WINDOW ELEVATIONS  
SCALE 1/4" = 1'-0"

DOOR FRAME ELEVATIONS  
SCALE 1/4" = 1'-0"

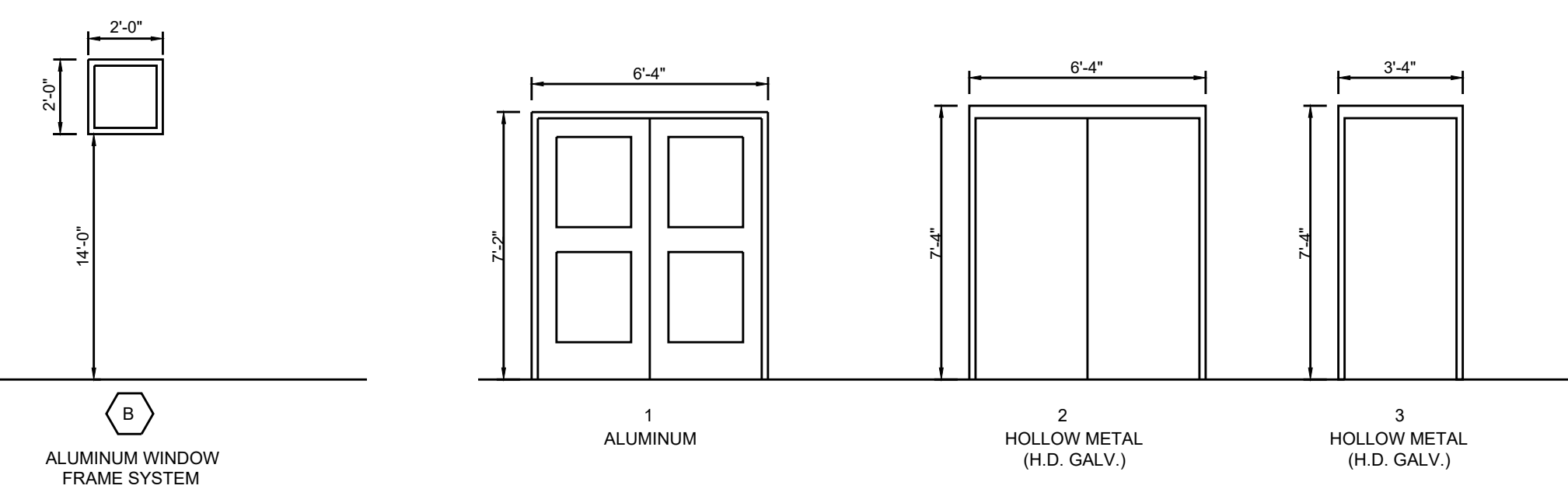
BUILDING E



WINDOW ELEVATIONS  
SCALE 1/4" = 1'-0"

DOOR FRAME ELEVATIONS  
SCALE 1/4" = 1'-0"

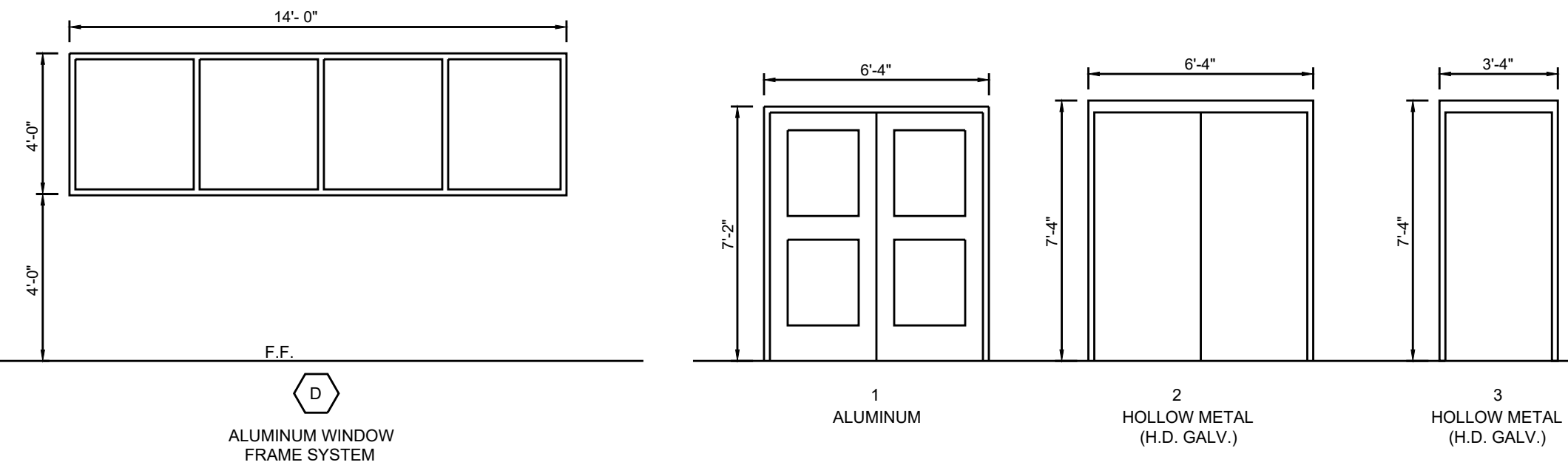
BUILDING F



WINDOW ELEVATIONS  
SCALE 1/4" = 1'-0"

DOOR FRAME ELEVATIONS  
SCALE 1/4" = 1'-0"

BUILDING G



WINDOW ELEVATIONS  
SCALE 1/4" = 1'-0"

DOOR FRAME ELEVATIONS  
SCALE 1/4" = 1'-0"