

December 6, 2024

IDEA PUBLIC SCHOOLS – Upper Valley Building Envelope

GMS ARCHITECTS
BROWNSVILLE, TEXAS 78526
(956) 546-0110

ADDENDUM NO. 5

A. PURPOSE AND INTENT

This addendum is issued for the purpose of modifying the plans and specifications for the Idea Public Schools – Upper Valley Building Envelope.

This addendum shall become part of the contract, and all CONTRACTORS shall be bound by its content. All aspects of the specifications and drawings not covered herein shall remain the same.

The General Conditions and the Special Conditions of the specifications shall govern all parts of the work and apply in full force to this addendum.

B. SCOPE

I. CLARIFICATION:

General Questions and Revisions

- Revise “Alternate #1” name from Addendum # 4 to “Alternate #4”.
- Question: “Where we replace the gutter, downspout and fascia, are we to replace the gable end fascia also for color continuity”
Answer: Yes
- Question: “Will any roof curbs be replaced”
Answer: No, only re-flashing/sealing.
- Question: “The vertical control joints are called out to be replaced, since the metal coping is not being replaced, are we stopping just below the metal coping with the control joints?”
Answer: No, remove coping to replace control joints, and reinstall with new fasteners at locations of control joints. Provide unit pricing for replacement of coping if/when damaged.
- Question: “Are all under fascia metal trims beneath the gutter being replaced?”
Answer: Yes, replace fascia and trims
- Question: “Is the rake being replaced, notes only call out gutter?”
Answer: Yes
- School/Work Hours: Provide Alternate #2 for work to be performed after school hours and weekends.
- Additional dimensions shall be added to flat roof parapets.

IDEA Mission

- Leaking covered walkways pertain to degraded gutter/downspouts. Replace gutter/downspout at covered walkway.
- Add through wall scupper to wall/roof opposite of roof drains at Building E (modified roof).
- Campus buildings have bullet holes in them. Provide unit price for replacing roof panels.
- Dimensions have been corrected on modified roof building.

IDEA McAllen

- Question: "For IDEA McAllen, replace all stucco panel panels"
Answer: No, only replace Hardie panels where shaded panels are indicated. Stucco walls are to be repainted with NEW coating as indicated. Shaded areas on stucco walls or on corners need to be replaced/repainted, and glass block needs repointing at shaded areas on elevations.
- Add Alternate #3 to power wash and repaint all Hardi panels at College Prep building.
- Adjust gaps in wall panels at SW corner of kitchen at high roof.

IDEA Quest

- Repoint brick at edge fascia.

IDEA Edinburg

- Question: "...on the new bitumen roof on the IDEA Edinburg school where there are several RTUs, do we figure removing all the pitch pans and re-routing electrical & plumbing through new weather heads as specified in detail 02/A3.02?"
Answer: Yes, add or replace pitch pans and weather heads and re-route electrical and plumbing, typical.
- Replace gutters and downspouts for both Academy and College Prep buildings.
- Roof dimensions edited. Updated plans to be provided.
- Detail for transition from flat roof to metal roof to be provided.

II. SPECIFICATIONS:

- Delete bid form and see attached new bid form.

III. PLANS:

- Delete IDEA Mission Sheet A2.05 from construction documents and replace it with attached IDEA Mission Sheet 2.05.
- Delete IDEA Edinburg Sheet A3.01 from construction documents and replace it with attached IDEA Edinburg Sheet A3.01.

DOCUMENT 004100

PROPOSAL FORM

Name of Proposer: _____

Date of Proposal: _____

To: IDEA Public Schools (Owner)
2115 W. Pike Blvd. Weslaco, TX 78596

We, the undersigned, propose to enter into a Contract with the Owner, to furnish labor, material, tools, transportation, insurance, permits, and all incidentals necessary for the completion of the **IDEA UPPER-VALLEY BUILDING ENVELOPE, PROJECT NO. 34-UVE-0424** in accordance with the drawings and specifications **Dated 10/30/2024**, prepared by GMS Architects, Brownsville, Texas.

We have carefully reviewed and understand the "Instructions to Proposers", the drawings, the specifications, and have acquainted ourselves with the existing and anticipated conditions that might affect the Work.

We understand that if we are the Successful Proposer a Contract will be prepared, and we will furnish satisfactory payment and performance bonds each in the full amount of the Contract covering all parts of the Work.

The Proposal includes the following: Provide all items, articles, materials, operations of methods listed, mentioned or scheduled on the drawings and/or herein, including all labor, materials, equipment and incidentals necessary and required for the **IDEA UPPER-VALLEY BUILDING ENVELOPE - #34-UVE-0424** for the Owner.

Proposers shall include in the BASE PROPOSAL, the work described in attached Proposal Documents.

BASE PROPOSAL:

_____ Dollars (\$_____).

BID BREAKDOWN BY CAMPUS:

IDEA QUEST

_____ Dollars (\$_____).

IDEA EDINBURG

_____ Dollars (\$_____).

IDEA McALLEN

_____ Dollars (\$_____).

IDEA MISSION

_____ Dollars (\$_____).

ALLOWANCES:

The Undersigned acknowledges by initials _____ that the Allowances listed below and in Specification Section 012100 - Allowances are included in the Base Proposal amount. Reference Specification Section 012100 - Allowances for a complete description of each Allowance.

ALLOWANCE NO. 1: OWNER'S CONTINGENCY ALLOWANCE: Include the amount of \$50,000 for use according to the Owner's instructions.

UNIT PRICES:

The Undersigned acknowledges by initials _____ that the Unit Prices listed below and in Specification Section 012200 - Unit Prices are included in the Base Proposal amount. Reference Specification Section 012200 - Unit Prices for a complete description of each Unit Price. The Undersigned further agrees that in case of authorized variations of quantities from those shown or specified, the following Unit Prices will be used in adjusting the Contract Sum.

REMOVE AND REPLACE INDIVIDUAL STANDING SEAM ROOF PANELS– FULL LENGTH

_____ Dollars (\$ _____) per Panel.

ALTERNATES:

Proposers shall include in the PROPOSAL, the work described in attached Proposal Documents. Reference Specification Section 012300 - Alternates for a complete description of each Alternate.

Alternate #1 – Contractor to perform work on weekends and after 5pm on weekdays.

_____ Dollars (\$ _____).

Alternate #2 – Remove and replace insulation, recover board, modified bitumen roofing and metal fascia at IDEA McAllen Academy (Sheet A3.01).

_____ Dollars (\$ _____).

Alternate #3 – Clean and paint cement wall panels at IDEA McAllen College Preparatory Building (Sheet A2.02 and A2.03).

_____ Dollars (\$ _____).

DECLARATION

The Undersigned hereby declares that he has visited the site and has carefully examined the Drawings, Specifications, Contract Documents, and Proposal Documents related to the work covered by this Proposal.

DELAY COST

The Undersigned understands that delay costs will be incurred as defined in other portions of the Proposal Documents, will be included in the Contract, and the General Contractor will be bound thereto.

EXECUTION OF CONTRACT

Upon receipt of notice of acceptance of the Proposal, the Undersigned will immediately execute the formal Contract.

RECEIPT OF ADDENDA

I hereby acknowledge receipt of the following Addenda:

Addendum No. _____ dated _____

Addendum No. _____ dated _____

Addendum No. _____ dated _____

Addendum No. _____ dated _____

We have reviewed the A101 and A201 and the supplementals to the A101 and A201 and take no exceptions.

We have reviewed the proposed schedule completion duration, and we acknowledge that Substantial Completion of the Work can be completed within the duration specified.

Witness: _____

Proposer: _____

By: _____

Address: _____

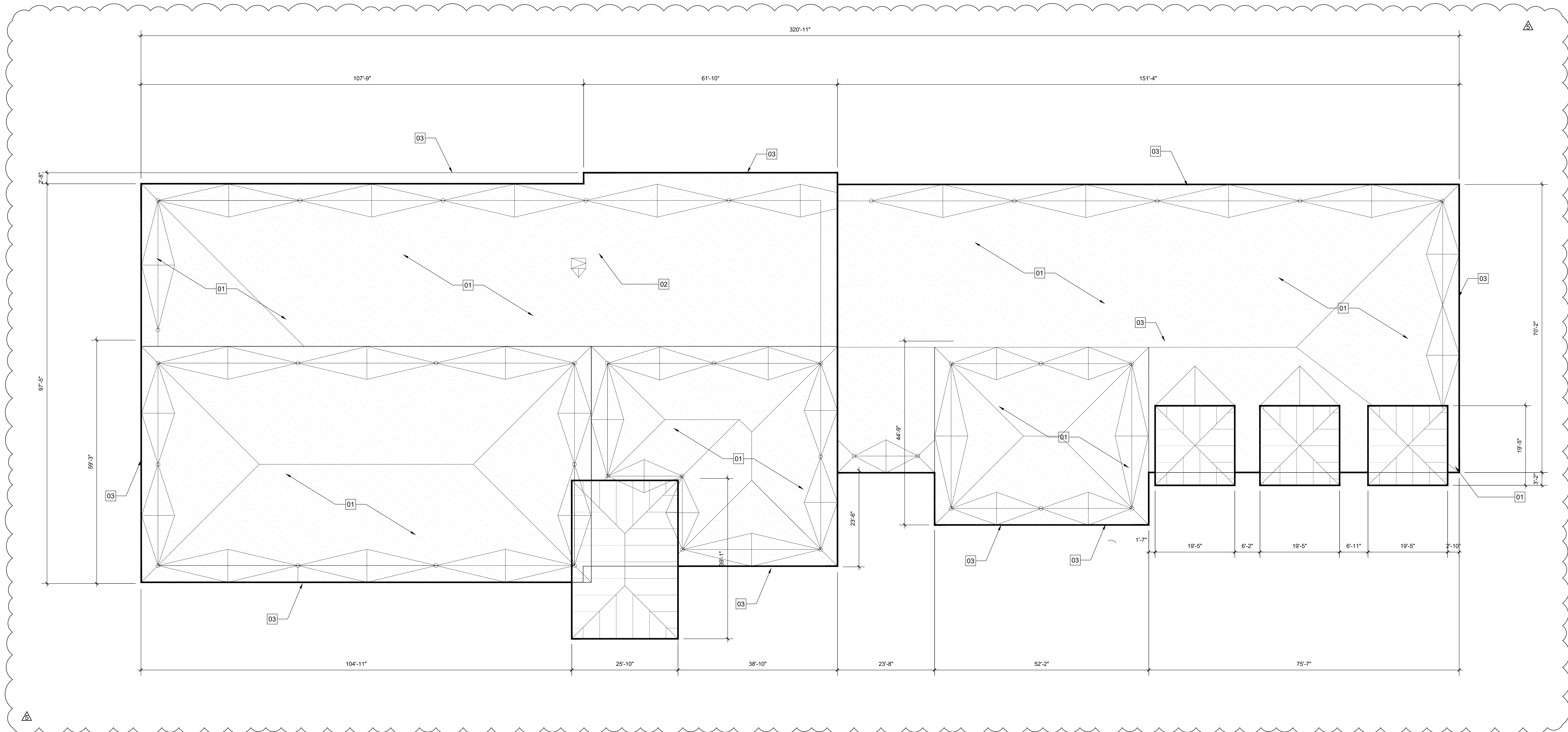
City: _____

Zip Code: _____

Telephone: _____

(SEAL - If bid is by a corporation)

END OF PROPOSAL FORM



- KEY NOTES:**
- 01 REPLACE MODIFIED BITUMEN ROOF
 - 02 EXISTING ROOF HATCH
 - 03 SCUPPER THROUGH ROOF. TYP. @ ALL PARAPET EDGE LOCATIONS. REFER TO DETAIL 10/A3.01

BUILDING A
ROOF PLAN
 SCALE: 3/16" = 1'-0"
 N 01

- ROOF: SCOPE OF WORK AT BUILDING 'E'**
1. TEAR OFF ROOFING TO DECK.
 2. INSTALL NEW MODIFIED BITUMEN ROOFING SYSTEM.
 3. REFER TO SHEET A3.01-3.02 FOR DETAILS
 4. PURGE DRAIN LINES FROM ROOF LEVEL TO DISCHARGE POINTS.
 5. PERFORM WATER TEST AT ALL ROOF DRAINS. IF LEAKS FOUND, REPLACE/REPAIR INTERNAL DRAIN. PRICE REPAIR ON LINEAR FOOT UNIT COST FOR REPAIRING 4" INTERNAL DRAINS AND/OR ROOF DRAIN.
 6. INSTALL NEW CAP FASCIA AND ACCESSORIES.
 7. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS.
 8. VERIFY FASTENER SIZE IS SUFFICIENT FOR NEW ROOF
 9. PROVIDE WALK PADS TO ALL ROOF HATCHES, MECHANICAL UNITS, AND ACCESS LADDERS
 10. REMOVE AND REPLACE CURBS FOR EXISTING MECHANICAL UNITS
 11. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS WHEN MISSING.
 12. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS IN INSIDE CLOSURES.
 13. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS.

GENERAL ROOFING NOTES:

WHERE APPLICABLE, THE RE-ROOFING PORTION OF THIS PROJECT HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE (LATEST EDITION). THE SPECIFIED ROOFING SYSTEM MEETS FACTORY MUTUAL RESEARCH CORPORATION STANDARD 4470 APPROVAL REQUIREMENTS FOR CLASS 1 FIRE AND 1-90 WINDSTORM CLASSIFICATION AND CLASS 1-SH HAIL RATING.

AT ALL NEW ROOF WORK AREAS AND PRIOR TO CONSTRUCTION, WALK THROUGH EVERY ROOM IN BUILDINGS WITH OWNER'S REPRESENTATIVE AND IDENTIFY WATER DAMAGED CEILINGS, WALLS, ETC. TO DETERMINE LOCATION & AMOUNTS OF INTERIOR WATER DAMAGE. PROVIDE COPY OF THIS LIST TO ARCHITECT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING.

INSPECT ALL DECK AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND. PROVIDE UNIT COST FOR DECK REPAIR.

EXTEND ALL DUCTS, PIPES, CONDUIT, WIRE AND ETC., AS REQUIRED TO ACCOMMODATE NEW ROOF SYSTEM.

AT ALL EXISTING UTILITY PIPING, CONDUIT, ETC. PROVIDE PROPER SIZED PIPE STANDS AS SPECIFIED, UNDER ALL PIPES AND CONDUIT, AT 8'-0" O.C. UNLESS A NARROWER SPACING IS REQUIRED FOR PROPER SUPPORT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTOR CAREFULLY REMOVE, RAISE OR MODIFY AND CAREFULLY REINSTALL EXISTING OPERATING MECHANICAL, ELECTRICAL, PLUMBING AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.

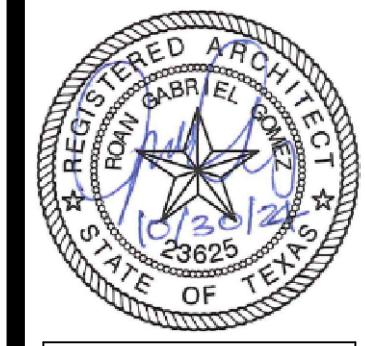
THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

AT THE COMPLETION OF ALL ROOFING WORK AT EACH BUILDING, ALL EXISTING ROOF DRAINS AND RELATED PIPING SHALL BE WATER TESTED, CHECKED AND CERTIFIED BY A LICENSED PLUMBING CONTRACTOR TO BE OPERATIONAL AND LEAK FREE.

PROVIDE POSITIVE DRAINAGE, BY USE OF CRICKETS, IN AND AROUND ALL ROOF TOP EQUIPMENT TO AREA ROOF DRAINS.

PROVIDE ALLOWANCE FOR CEILING TILE REPLACEMENTS AS REQUIRED FOR ROOF LEAK TESTING.

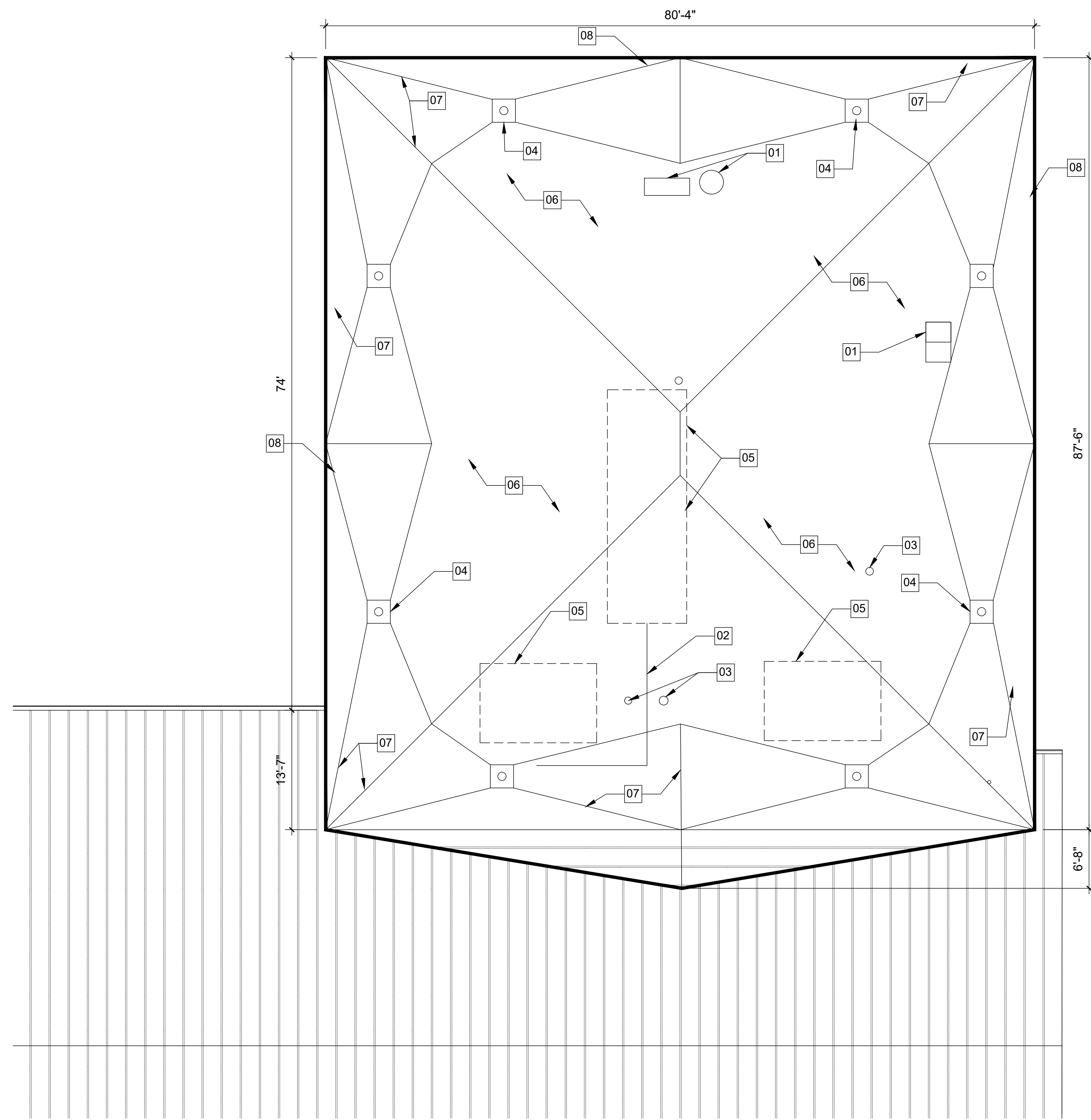
IDEA Public Schools - Exterior Envelope Repairs
IDEA Mission
 Mission, Texas



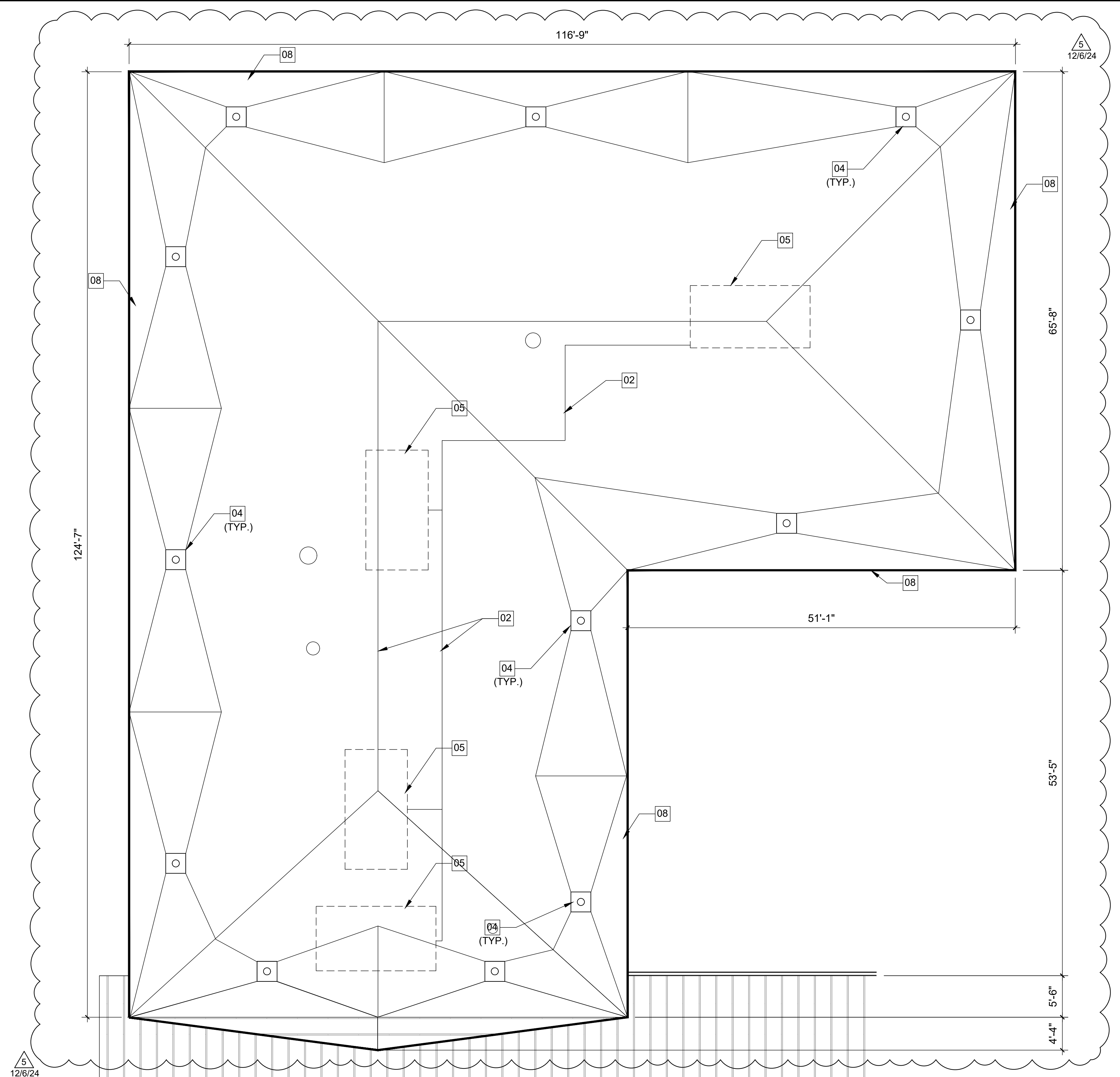
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 Gomez Mendez Saenz Inc.
 Architects-Planners
 Interior Designers
 Date: AUGUST 2024
 Scale: As Noted
 Project Architect: Roan Gomez, AIA
 Drawn By: RG, CC
 Job No: Exterior Envelope
 Sheet:

IDEA MISSION

A2.05



ACADEMY
01 ROOF PLAN
 SCALE: 1/8" = 1'-0"



COLLEGE PREP
02 ROOF PLAN
 SCALE: 1/8" = 1'-0"

GENERAL ROOFING NOTES:

WHERE APPLICABLE, THE RE-ROOFING PORTION OF THIS PROJECT HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE (LATEST EDITION), THE SPECIFIED ROOFING SYSTEM MEETS FACTORY MUTUAL RESEARCH CORPORATION STANDARD 4470 APPROVAL REQUIREMENTS FOR CLASS 1 FIRE AND 1-90 WINDSTORM CLASSIFICATION AND CLASS 1-SH HAIL RATING.

AT ALL NEW ROOF WORK AREAS AND PRIOR TO CONSTRUCTION, WALK THROUGH EVERY ROOM IN BUILDINGS WITH OWNER'S REPRESENTATIVE AND IDENTIFY WATER DAMAGED CEILINGS, WALLS, ETC. TO DETERMINE LOCATION & AMOUNTS OF INTERIOR WATER DAMAGE. PROVIDE COPY OF THIS LIST TO ARCHITECT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING.

INSPECT ALL DECK AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND.

REPLACE ALL LEAD ROOF JACKS VENTS WITH NEW LEADS.

INSTALL NEW DOUBLE-WALL HEATER VENTS AND EXTEND FLUES TO MATCH EXISTING AS REQUIRED TO ACCOMMODATE NEW ROOF THICKNESS AND TO PROVIDE A MINIMUM 12-INCH HEIGHT FROM THE NEW ROOF SURFACE TO THE BOTTOM OF THE VENT CAP.

EXTEND ALL DUCTS, PIPES, CONDUIT, WIRE AND ETC., AS REQUIRED TO ACCOMMODATE NEW ROOF SYSTEM.

AT ALL EXISTING UTILITY PIPING, CONDUIT, ETC. PROVIDE PROPER SIZED PIPE STANDS AS SPECIFIED, UNDER ALL PIPES AND CONDUIT, AT 8'-0" O.C. UNLESS A NARROWER SPACING IS REQUIRED FOR PROPER SUPPORT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTOR CAREFULLY REMOVE, RAISE OR MODIFY AND CAREFULLY REINSTALL EXISTING OPERATING MECHANICAL, ELECTRICAL, PLUMBING AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.

THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

AT THE COMPLETION OF ALL ROOFING WORK AT EACH BUILDING, ALL EXISTING ROOF DRAINS AND RELATED PIPING SHALL BE WATER TESTED, CHECKED AND CERTIFIED BY A LICENSED PLUMBING CONTRACTOR TO BE OPERATIONAL AND LEAK FREE.

PROVIDE POSITIVE DRAINAGE, BY USE OF CRICKETS, IN AND AROUND ALL ROOF TOP EQUIPMENT TO AREA ROOF DRAINS.

PROVIDE SEALANT

PROVIDE ALLOWANCE FOR CEILING TILE REPLACEMENTS AS REQUIRED FOR ROOF LEAK TESTING.

KEYED NOTES

- | | |
|---|--|
| 01 PROVIDE NEW FLASHING/SEALANT AROUND ROOF PENETRATION (TYP.) REFER TO SHEET A3.02 | 07 PROVIDE NEW TAPERED RIGID POLYISO TO PROVIDE POSITIVE DRAINAGE (TYP.) |
| 02 REINSTALL CONDENSATE LINES (TYP.) | 08 PROVIDE NEW COPING AT ROOF EDGE (TYP.) |
| 03 PROVIDE NEW FLASHING/SEALANT AROUND VENTS/EXHAUST (TYP.) | |
| 04 PROVIDE NEW FLASHING/SEALANT AROUND ROOF DRAIN (TYP.) | |
| 05 PROVIDE NEW CURBS AND FLASHING/SEALANT AROUND EXISTING MECHANICAL EQUIPMENT (TYP.) | |
| 06 NEW BITUMEN ROOF OVER NEW RECOVERY BOARD OVER NEW TAPERED RIGID INSULATION | |

ROOF: SCOPE OF WORK

- REMOVE ROOFING MEMBRANE TO DECK.
- REPLACE INSULATION AS REQUIRED TO PROVIDE POSITIVE SLOPE TO ROOF DRAINS
- REPAIR LOW AREA WHERE PONDING OCCURS.
- INSTALL NEW CANT AND PARAPET FLASHING.
- INSTALL NEW MODIFIED BITUMEN ROOFING SYSTEM.
- REFER TO SHEET A3.02 FOR DETAILS
- PURGE DRAIN LINES FROM ROOF LEVEL TO DISCHARGE POINTS.
- PERFORM WATER TEST AT ALL ROOF DRAINS.
- REPAIR DRAIN LINES AND RE-SEAT ROOF DRAINS.
- REPAIR ELECTRICAL AND MECHANICAL ROOF PENETRATIONS
- INSTALL NEW CAP FASCIA AND ACCESSORIES.
- INSTALL WALKWAY SYSTEM AT ALL ROOFTOP EQUIPMENT.
- PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS.
- RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS IN INSIDE CLOSURES
- REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS
- PROVIDE WALKWAY SYSTEM TO AND AROUND MECHANICAL EQUIPMENT, ROOF ACCESS LADDERS AND ROOF HATCHES ON BITUMEN ROOFS

