

December 4, 2024

IDEA PUBLIC SCHOOLS – Upper Valley Building Envelope

GMS ARCHITECTS
BROWNSVILLE, TEXAS 78526
(956) 546-0110

ADDENDUM NO. 4

A. PURPOSE AND INTENT

This addendum is issued for the purpose of modifying the plans and specifications for the Idea Public Schools – Upper Valley Building Envelope.

This addendum shall become part of the contract, and all CONTRACTORS shall be bound by its content. All aspects of the specifications and drawings not covered herein shall remain the same.

The General Conditions and the Special Conditions of the specifications shall govern all parts of the work and apply in full force to this addendum.

B. SCOPE

I. CLARIFICATION:

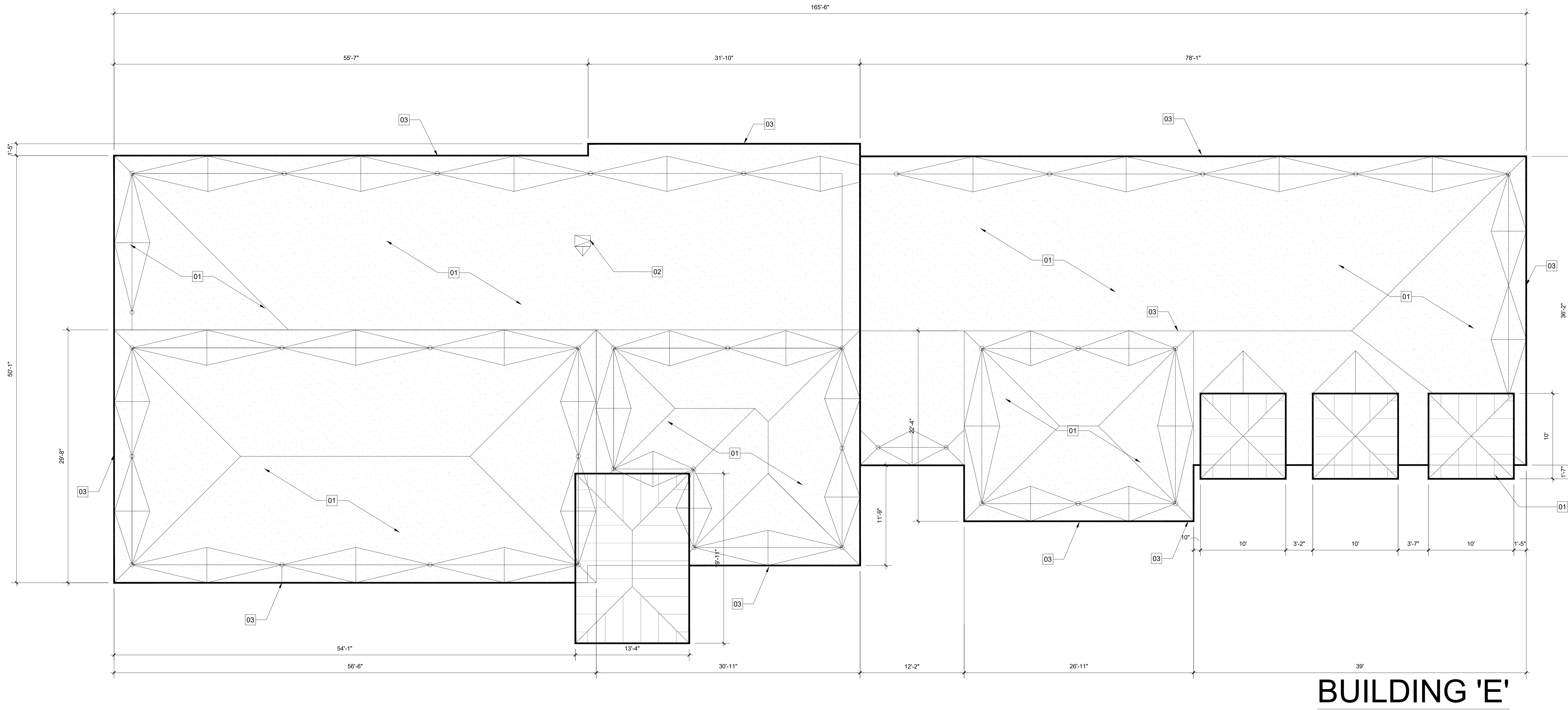
- Plans re-issued with corrections for IDEA Mission, IDEA McAllen, IDEA Edinburg. Please remove and replace the sheets in the current set with the sheets itemized below.

II. SPECIFICATIONS:

- N/A

III. PLANS:

- IDEA Mission sheets: A2.05 - Remove and replace flashing on curbs only.
- IDEA McAllen sheets:
 - COVER - New A3.02 sheet added
 - A3.01 - Add Alternate 1 to estimate for re-roof of modified roof
 - A3.02 - Roof details for Alternate 1
- IDEA Edinburg sheets: A3.01 - Remove and replace flashing on curbs only.



BUILDING 'E'

KEY NOTES:

- 01 REPLACE MODIFIED BITUMEN ROOF
- 02 EXISTING ROOF HATCH
- 03 SCUPPER THROUGH ROOF. TYP. @ ALL PARAPET EDGE LOCATIONS. REFER TO DETAILS 1-4/A3.02

01 ROOF PLAN
SCALE: 1/4" = 1'-0"

GENERAL ROOFING NOTES:

WHERE APPLICABLE, THE RE-ROOFING PORTION OF THIS PROJECT HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE (LATEST EDITION). THE SPECIFIED ROOFING SYSTEM MEETS FACTORY MUTUAL RESEARCH CORPORATION STANDARD 4470 APPROVAL REQUIREMENTS FOR CLASS 1 FIRE AND 1-90 WINDSTORM CLASSIFICATION AND CLASS 1-SH HAIL RATING.

AT ALL NEW ROOF WORK AREAS AND PRIOR TO CONSTRUCTION, WALK THROUGH EVERY ROOM IN BUILDINGS WITH OWNER'S REPRESENTATIVE AND IDENTIFY WATER DAMAGED CEILINGS, WALLS, ETC. TO DETERMINE LOCATION & AMOUNTS OF INTERIOR WATER DAMAGE. PROVIDE COPY OF THIS LIST TO ARCHITECT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING.

INSPECT ALL DECK AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND. PROVIDE UNIT COST FOR DECK REPAIR.

EXTEND ALL DUCTS, PIPES, CONDUIT, WIRE AND ETC., AS REQUIRED TO ACCOMMODATE NEW ROOF SYSTEM.

AT ALL EXISTING UTILITY PIPING, CONDUIT, ETC. PROVIDE PROPER SIZED PIPE STANDS AS SPECIFIED, UNDER ALL PIPES AND CONDUIT, AT 8'-0" O.C. UNLESS A NARROWER SPACING IS REQUIRED FOR PROPER SUPPORT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED MECHANICAL, ELECTRICAL, PLUMBING AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.

THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

AT THE COMPLETION OF ALL ROOFING WORK AT EACH BUILDING, ALL EXISTING ROOF DRAINS AND RELATED PIPING SHALL BE WATER TESTED, CHECKED AND CERTIFIED BY A LICENSED PLUMBING CONTRACTOR TO BE OPERATIONAL AND LEAK FREE.

PROVIDE POSITIVE DRAINAGE, BY USE OF CRICKETS, IN AND AROUND ALL ROOF TOP EQUIPMENT TO AREA ROOF DRAINS.

PROVIDE ALLOWANCE FOR CEILING TILE REPLACEMENTS AS REQUIRED FOR ROOF LEAK TESTING.

ROOF: SCOPE OF WORK AT BUILDING 'E'

1. TEAR OFF ROOFING TO DECK.
2. INSTALL NEW MODIFIED BITUMEN ROOFING SYSTEM.
3. REFER TO SHEET A3.01-3.02 FOR DETAILS
4. PURGE DRAIN LINES FROM ROOF LEVEL TO DISCHARGE POINTS.
5. PERFORM WATER TEST AT ALL ROOF DRAINS. IF LEAKS FOUND, REPLACE/REPAIR INTERNAL DRAIN. PRICE REPAIR ON LINEAR FOOT UNIT COST FOR REPAIRING 4" INTERNAL DRAINS AND/OR ROOF DRAIN.
6. INSTALL NEW CAP FASCIA AND ACCESSORIES.
7. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS.
8. VERIFY FASTENER SIZE IS SUFFICIENT FOR NEW ROOF
9. PROVIDE WALK PADS TO ALL ROOF HATCHES, MECHANICAL UNITS, AND ACCESS LADDERS
10. REMOVE AND REPLACE FLASHING AT ROOF CURBS.
11. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS WHEN MISSING.
12. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS IN INSIDE CLOSURES.
13. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS.

IDEA PUBLIC SCHOOLS ENVELOPE IMPROVEMENTS McALLEN - RIO GRANDE VALLEY

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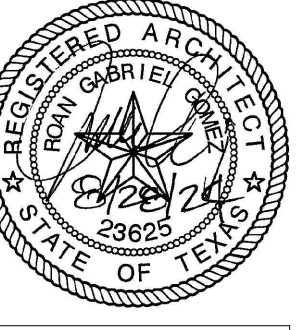
D R A W I N G I N D E X

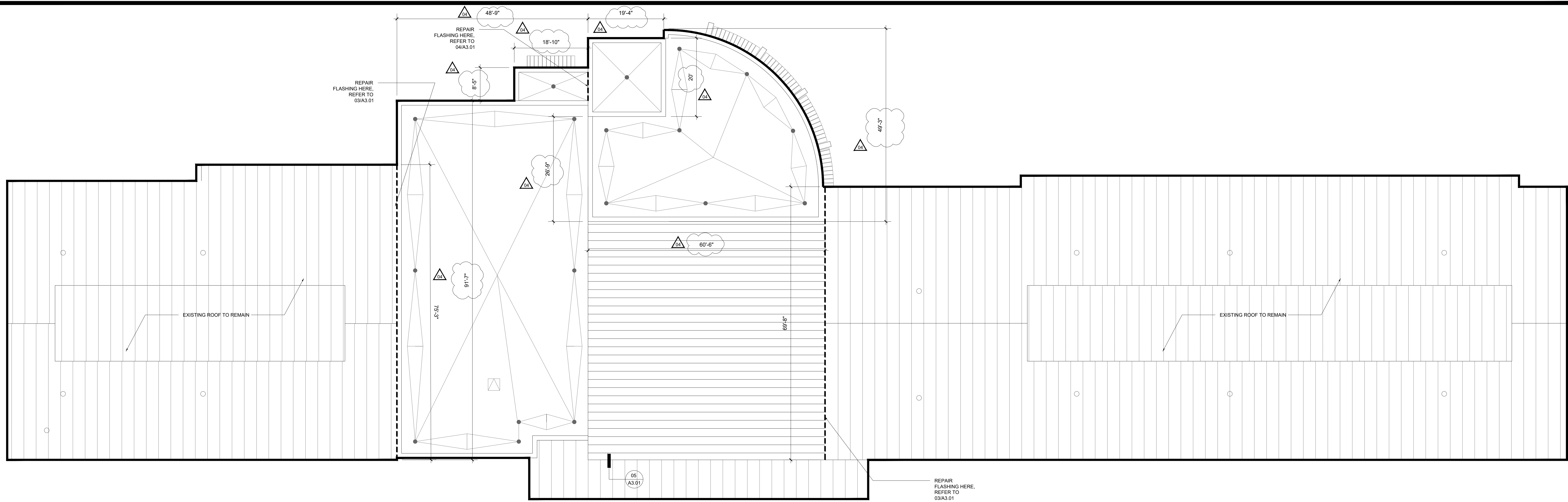
IDEA McALLEN

COVER	COVER SHEET
A1.01	SITE PLAN
A2.01	ELEVATIONS BLDG. A
A2.02	ELEVATIONS BLDG. B
A2.03	ELEVATIONS BLDG. B
A3.01	ROOF PLAN/DETAILS
A3.02	ROOF DETAILS
A4.01	DETAILS
A4.02	DETAILS
A6.01	DOOR/WINDOW, TYPICAL DETAILS/ELEVATIONS

ARCHITECTS

GOMEZ MENDEZ SAENZ, INC.
1150 PAREDES LINE RD. BROWNSVILLE, TX. 78521
PH. (956) 546-0110 FAX. (956) 546-0196





01 ROOF PLAN
 SCALE 3/32" = 1'-0"

- ROOF: SCOPE OF WORK AT AFFECTED AREAS**
1. PURGE DRAIN LINES FROM ROOF LEVEL TO DISCHARGE POINTS.
 2. PERFORM WATER TEST AT ALL ROOF DRAINS.
 3. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS IF MISSING.
 4. NEW ROOF DRAIN STRAINERS WHERE MISSING
 5. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS
 6. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS
 7. PROVIDE WALKWAY SYSTEM TO AND AROUND MECHANICAL EQUIPMENT, ROOF ACCESS LADDERS AND ROOF HATCHES ON BITUMEN ROOFS

GENERAL ROOFING NOTES:

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AT ALL ROOF WORK AREAS AND PRIOR TO CONSTRUCTION, WALK THROUGH EVERY ROOM IN BUILDINGS WITH OWNER'S REPRESENTATIVE AND IDENTIFY WATER DAMAGED CEILINGS, WALLS, ETC. TO DETERMINE LOCATION & AMOUNTS OF INTERIOR WATER DAMAGE. PROVIDE COPY OF THIS LIST TO ARCHITECT.

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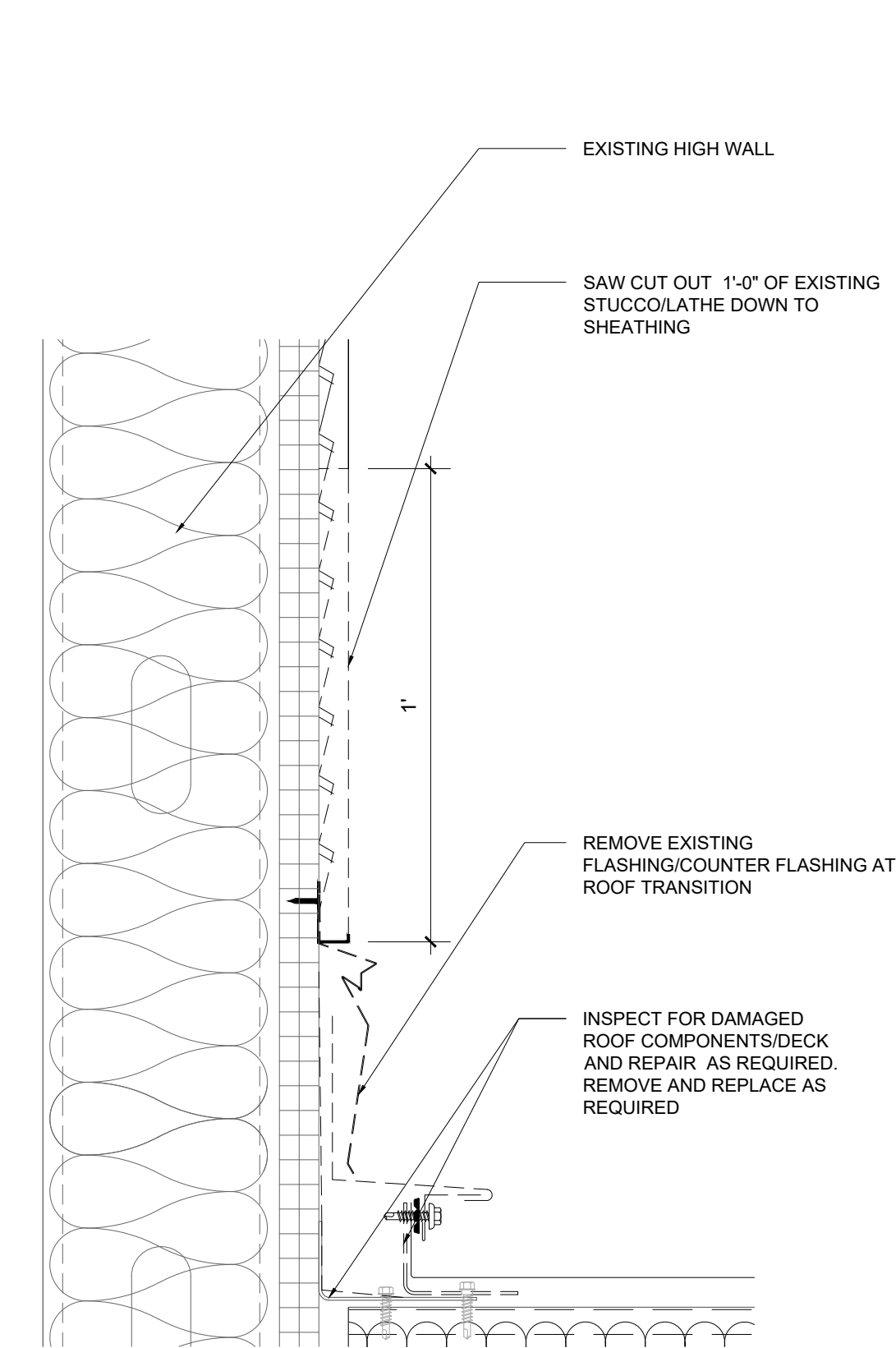
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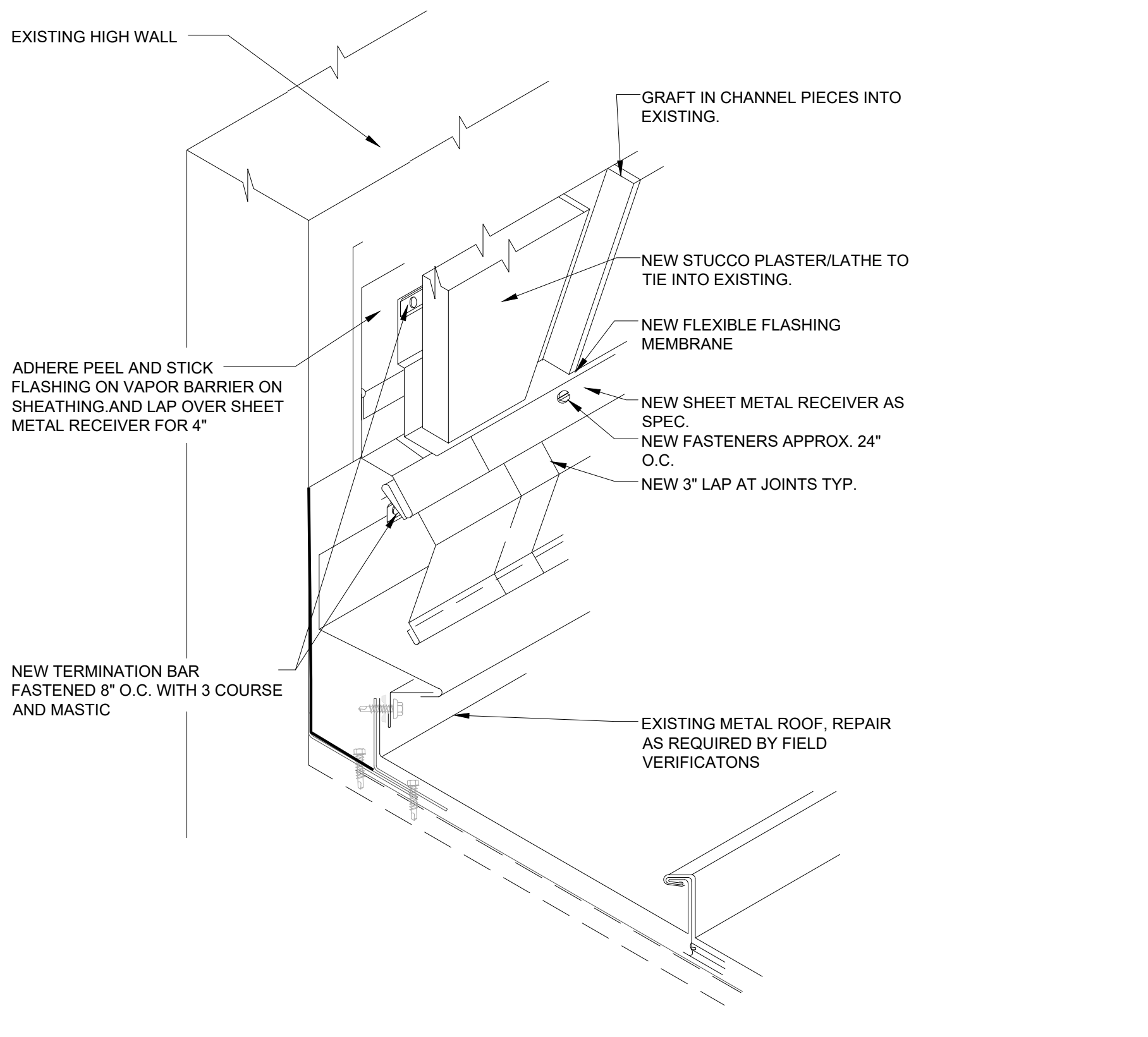
PROVIDE ALLOWANCE FOR CEILING TILE REPLACEMENTS AS REQUIRED FOR ROOF LEAK TESTING.

ALTERNATE 1

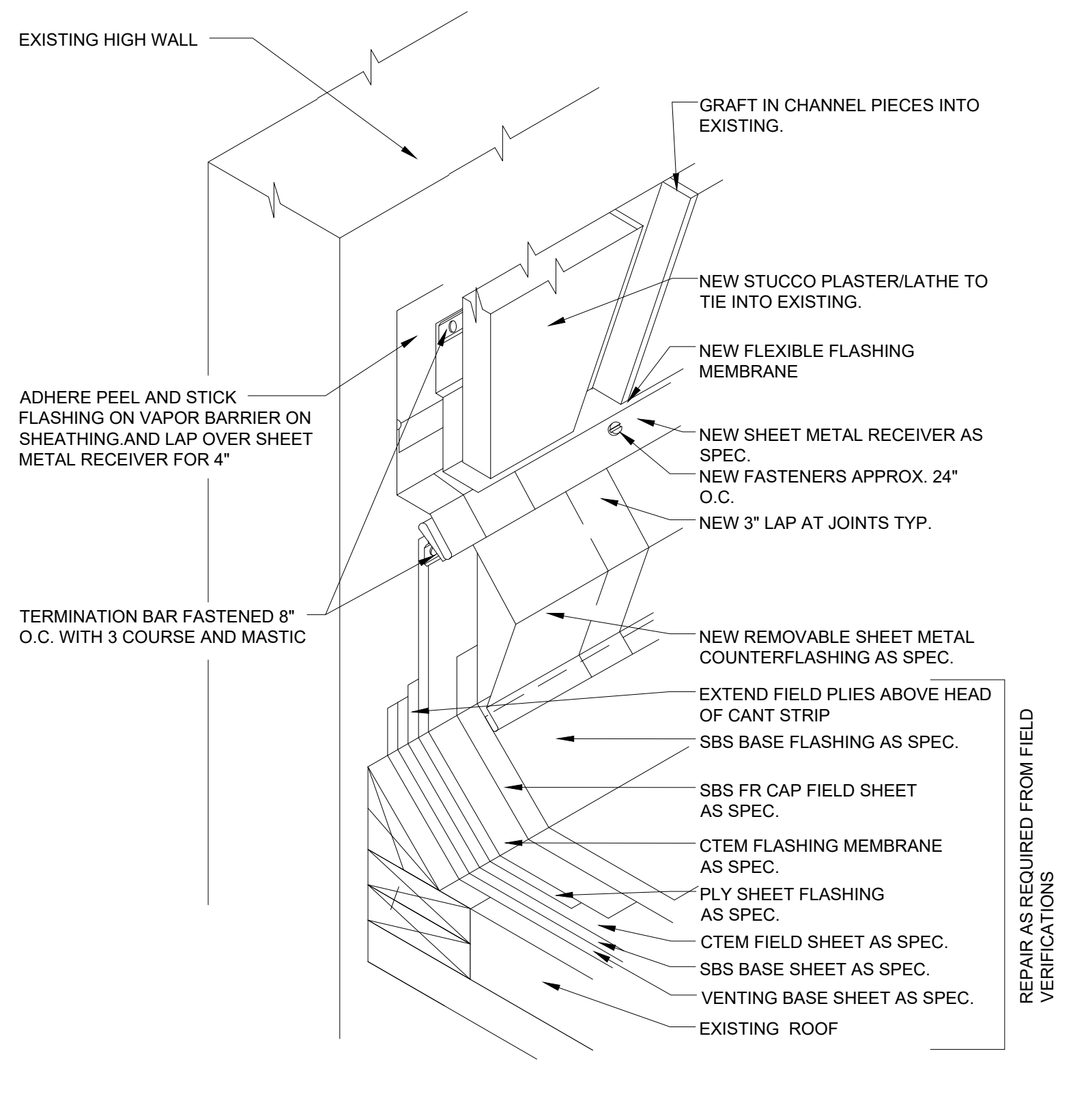
ADD ALTERNATE TO BID TO INCLUDE COMPLETE REPLACEMENT OF EXISTING MODIFIED ROOF. REFER TO ROOF DETAILS ON SHEET A3.02.



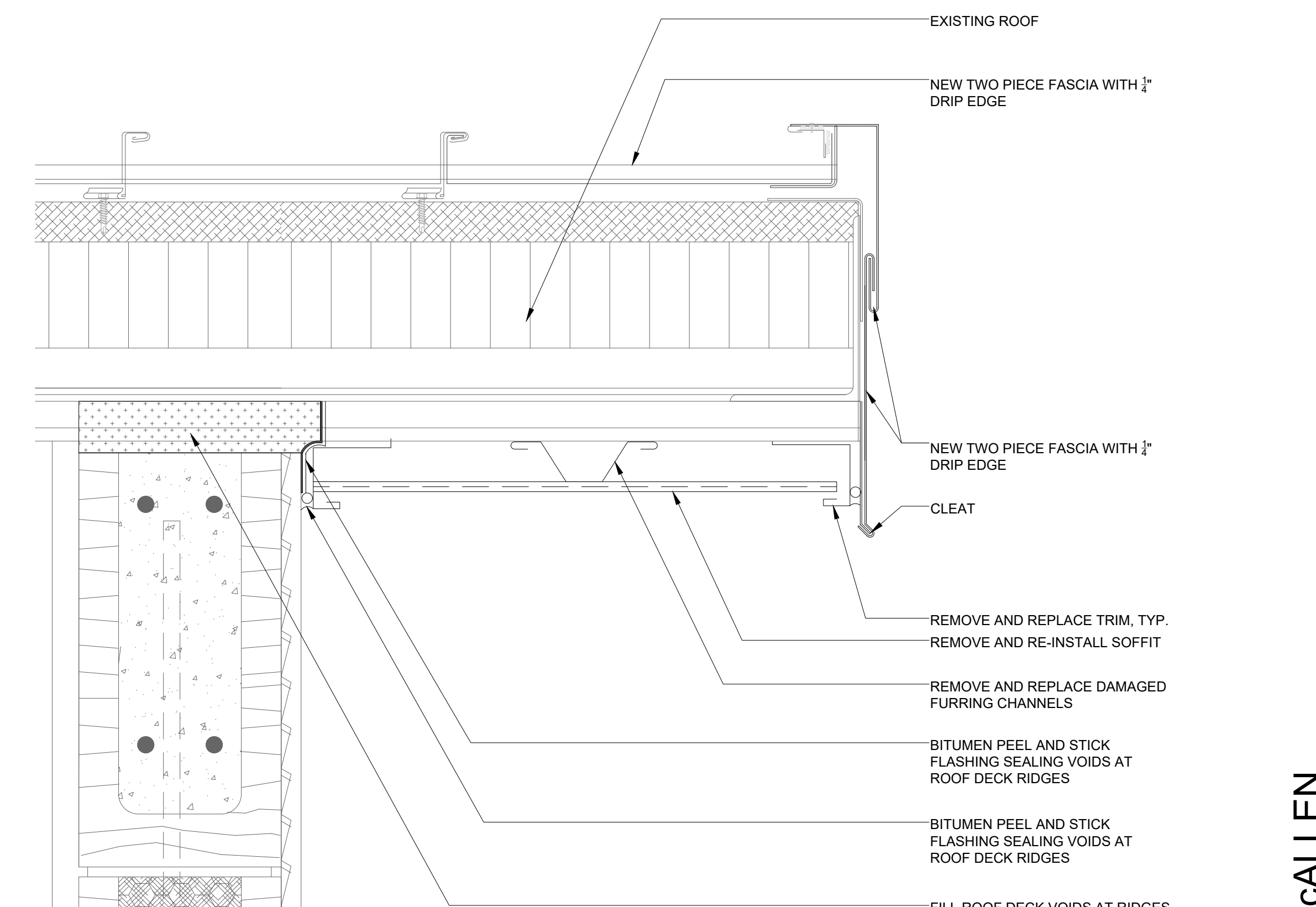
02 DEMO AT EXISTING HIGH WALL
 SCALE 3" = 1'-0"



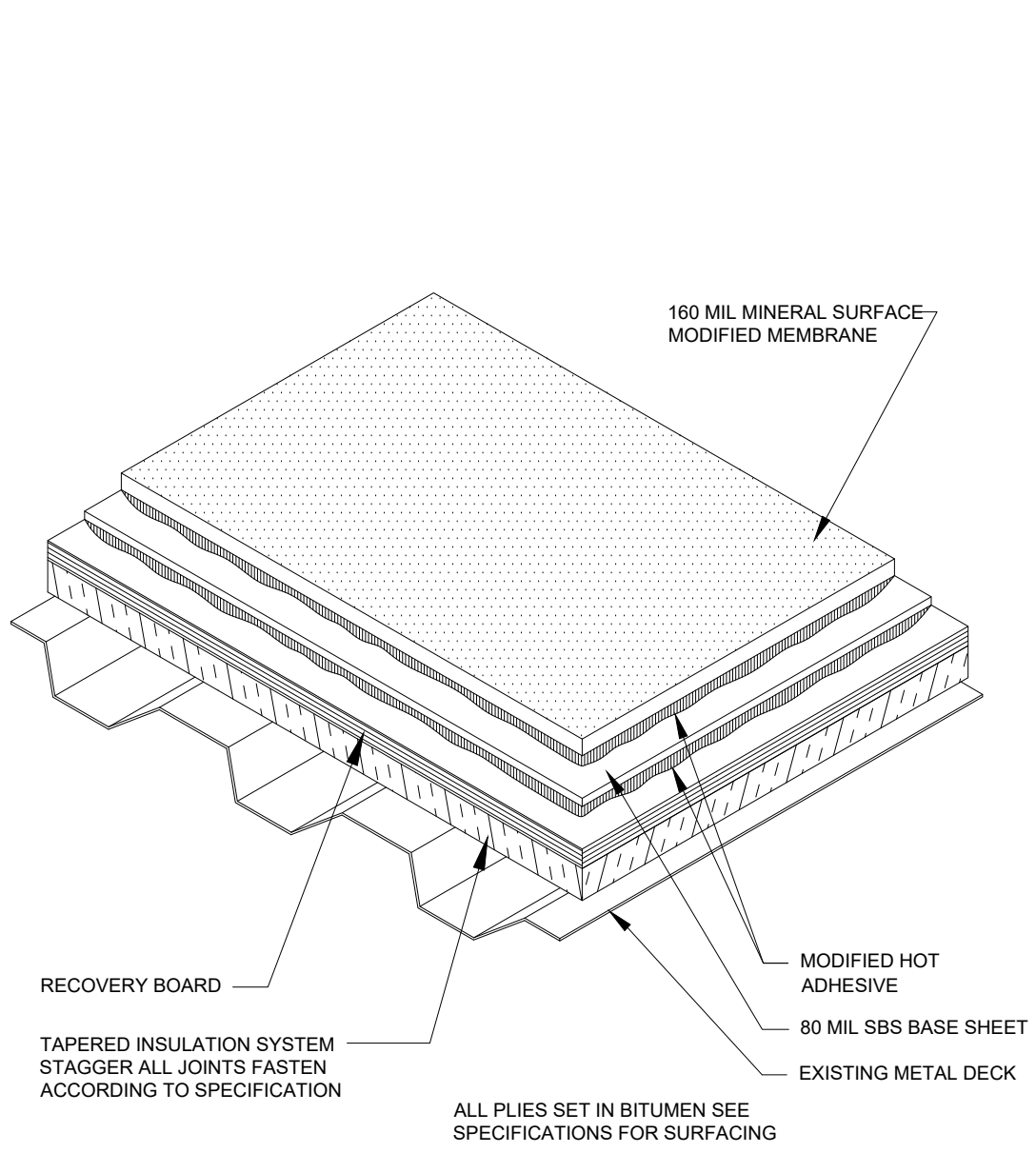
03 STUCCO RISE WALL DETAIL @ METAL ROOF
 NOT TO SCALE



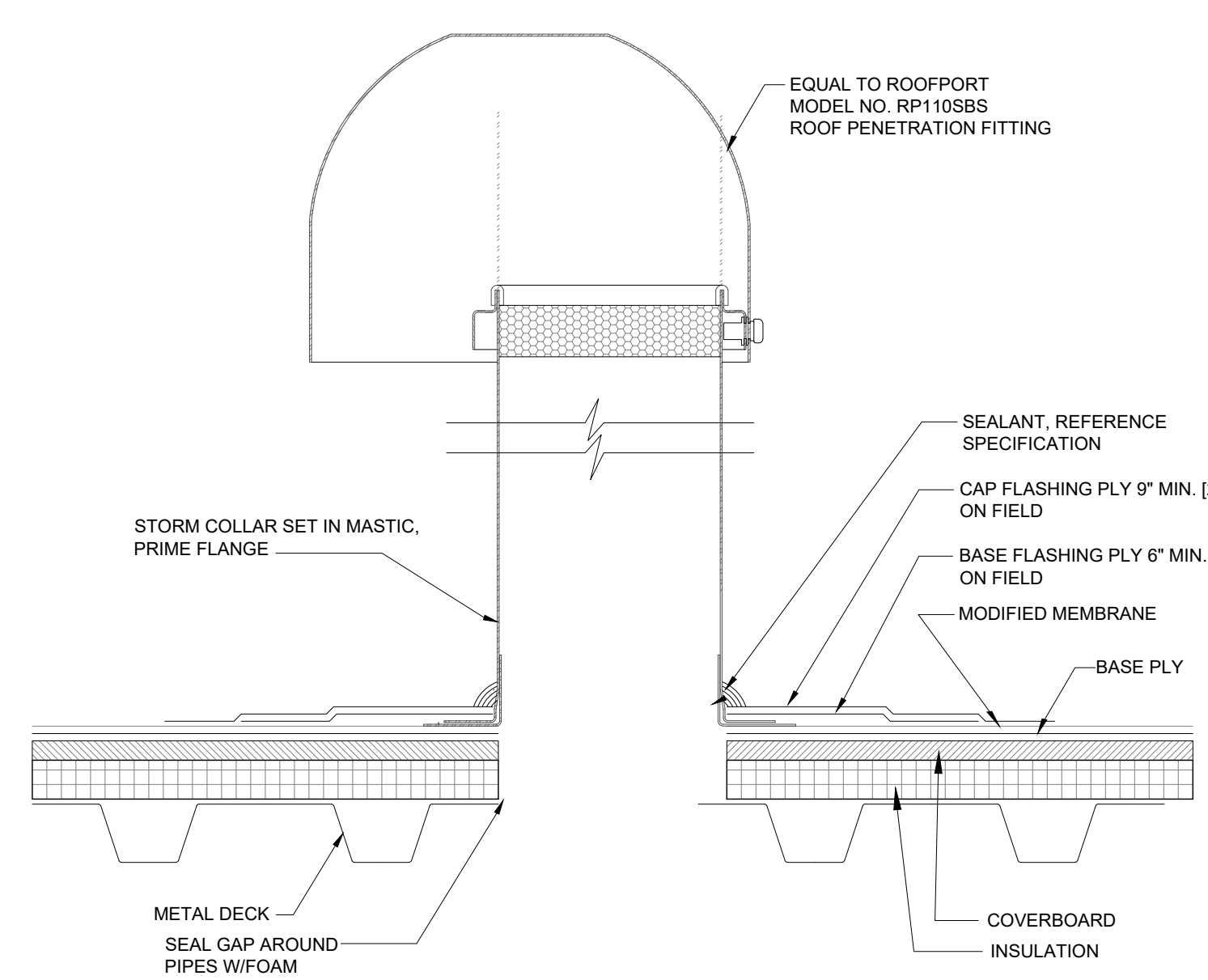
04 STUCCO RISE WALL DETAIL @ BITUMEN ROOF
 NOT TO SCALE



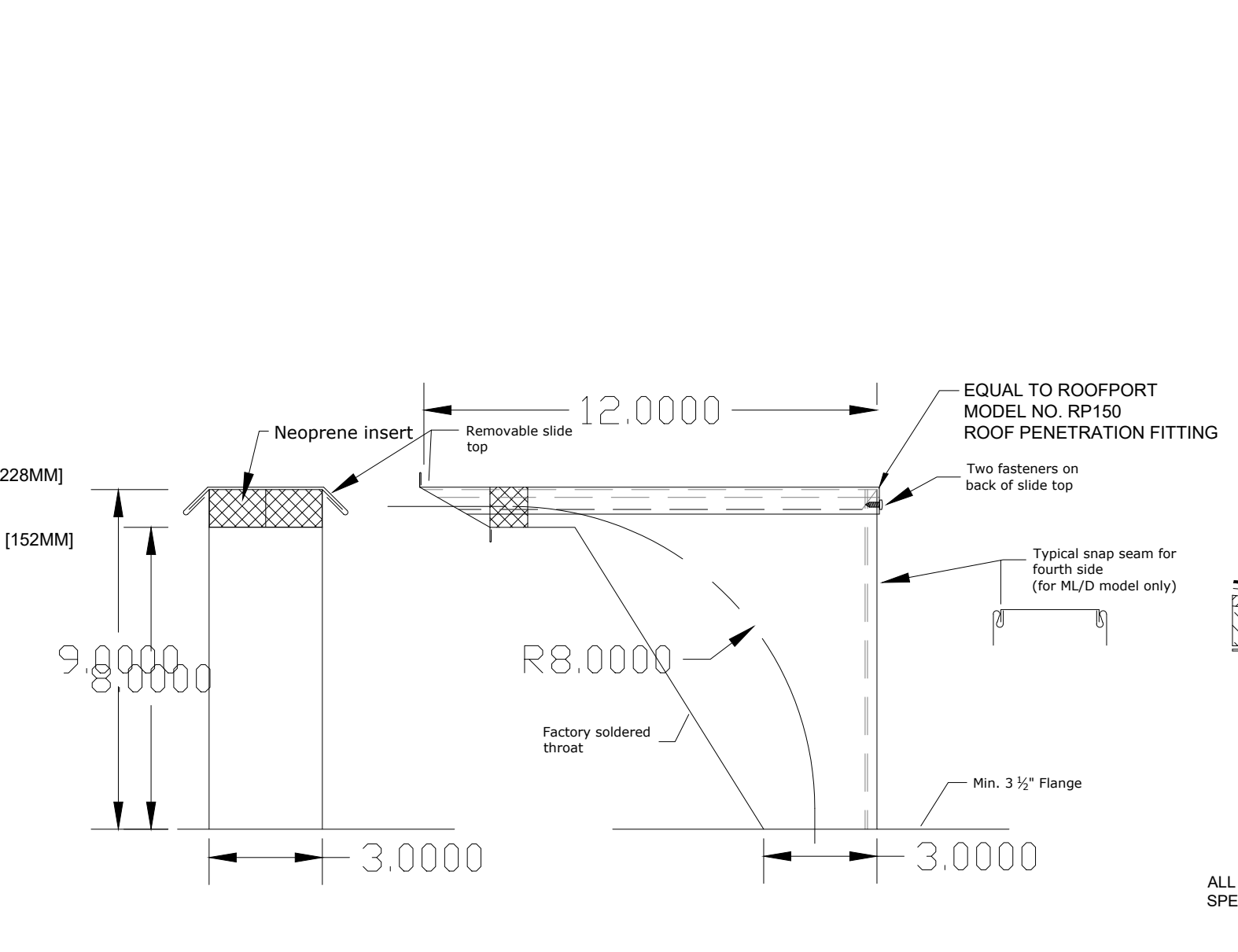
05 FASCIA REPAIR @ HIGH WALL @ LIBRARY
 SCALE 3" = 1'-0"



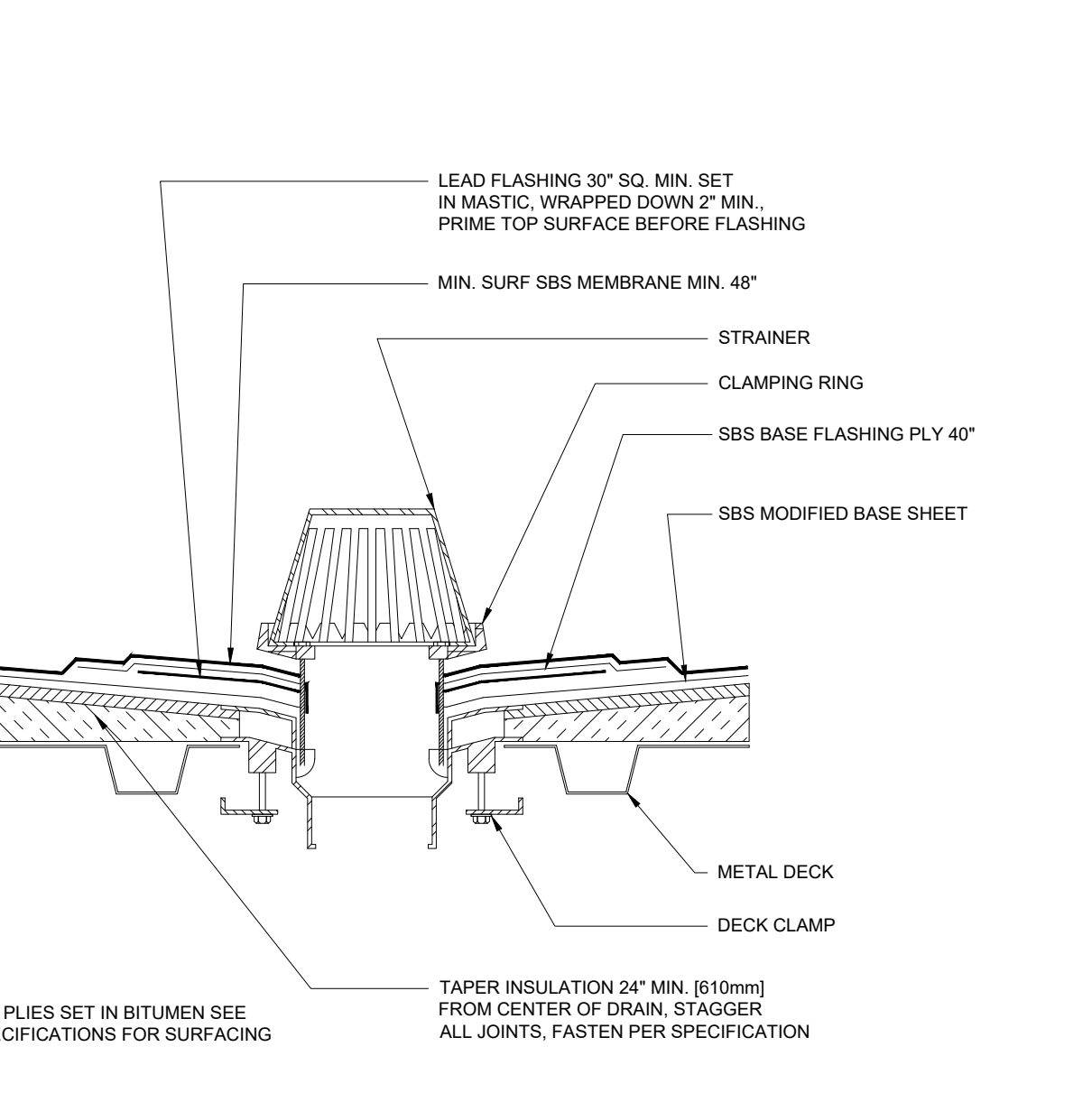
01 MINERAL FINISH
 NOT TO SCALE



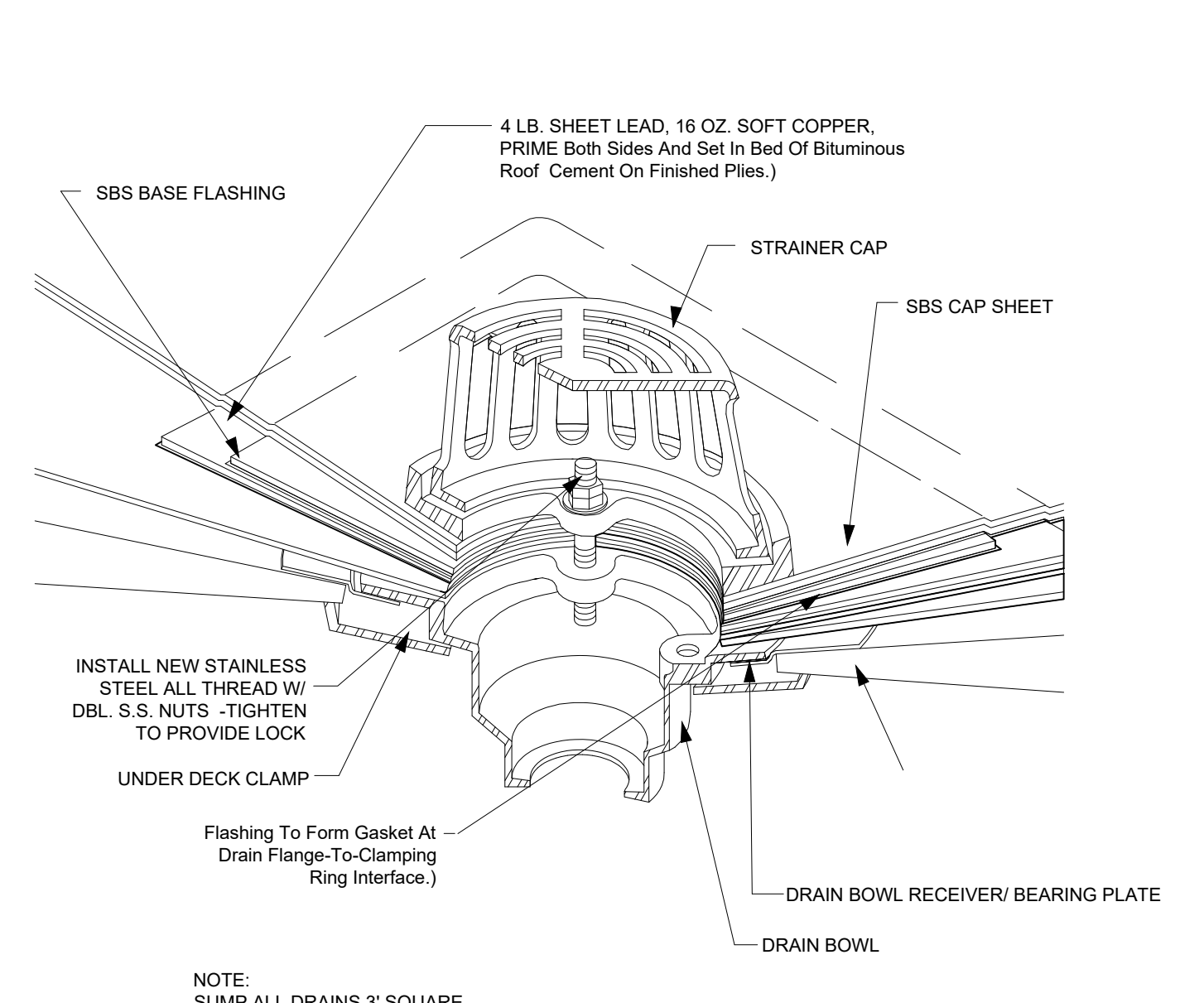
02 PIPING PENETRATION DETAIL
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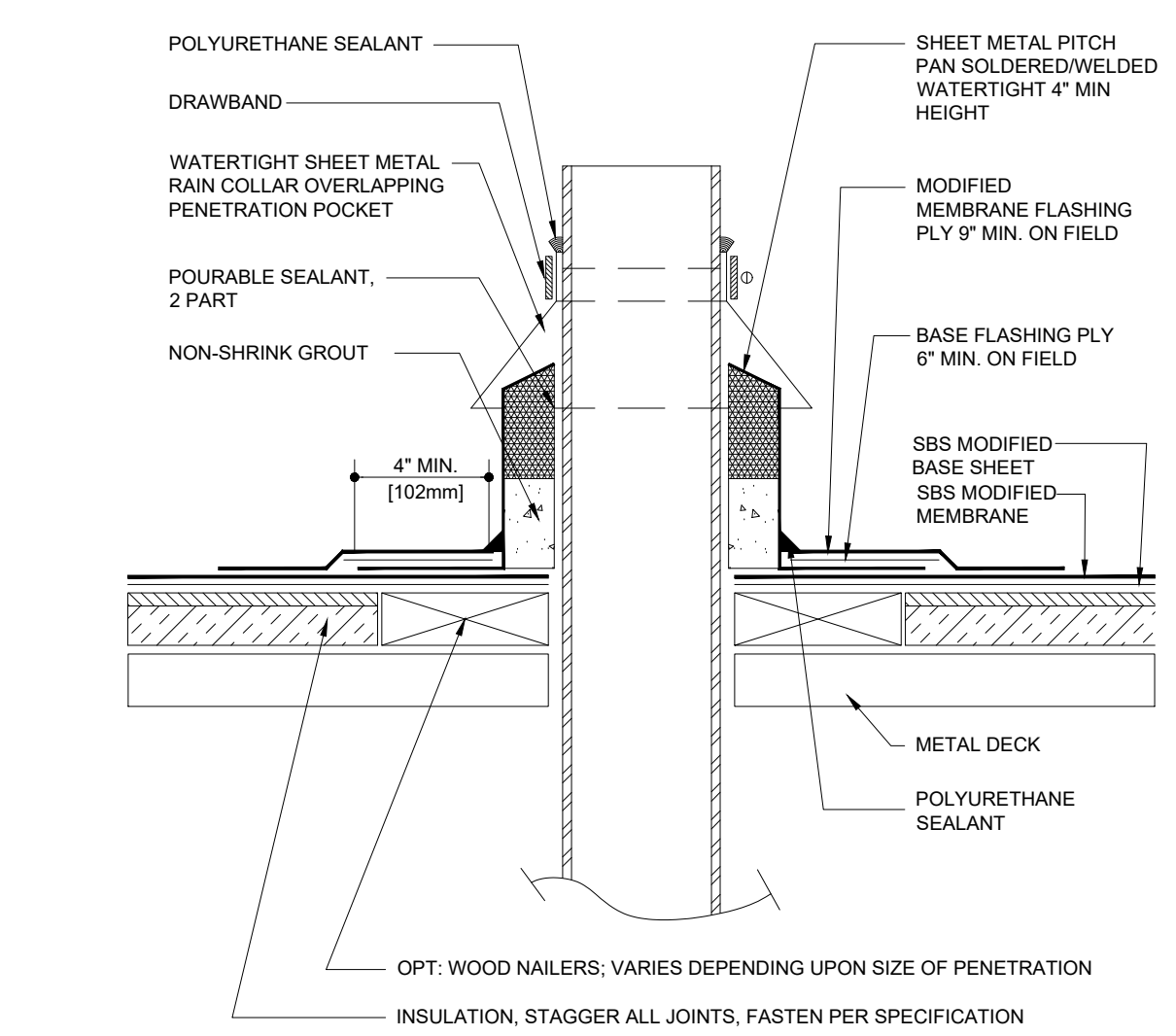
03 PIPING ROOF FLASHING DTL
 NOT TO SCALE



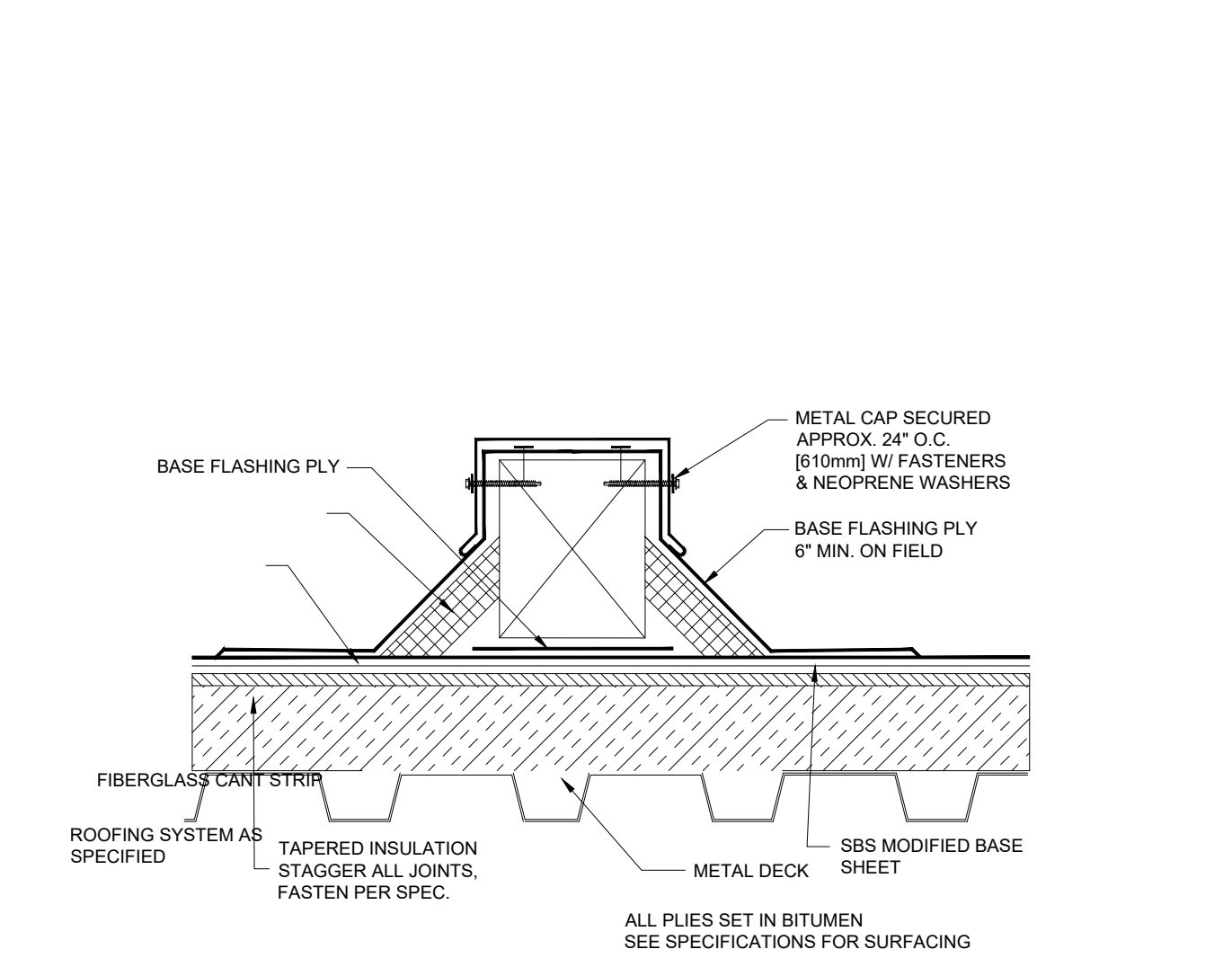
04 ROOF DRAIN DETAIL
 NOT TO SCALE



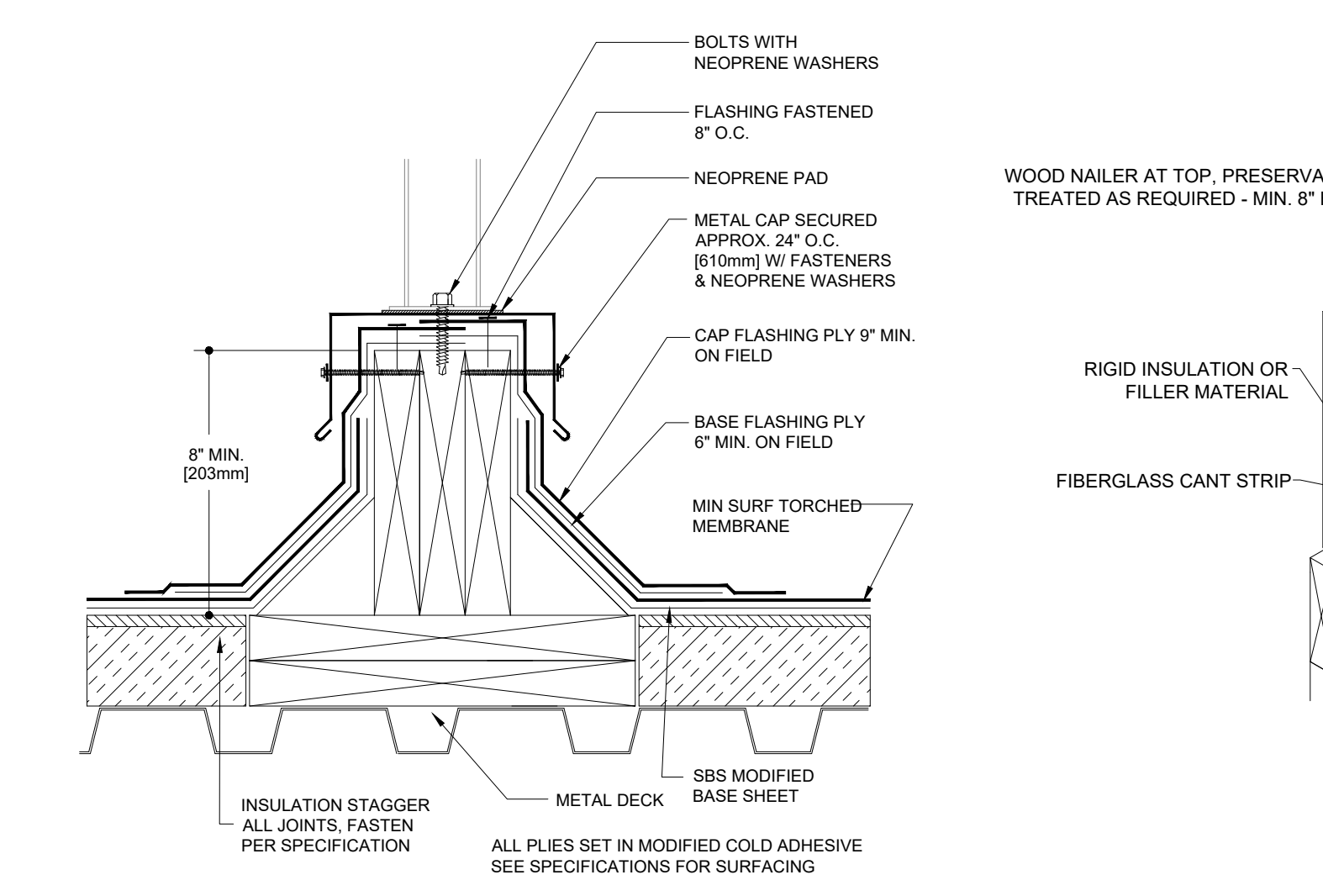
05 TYP. ROOF DRAIN DETAIL
 NOT TO SCALE



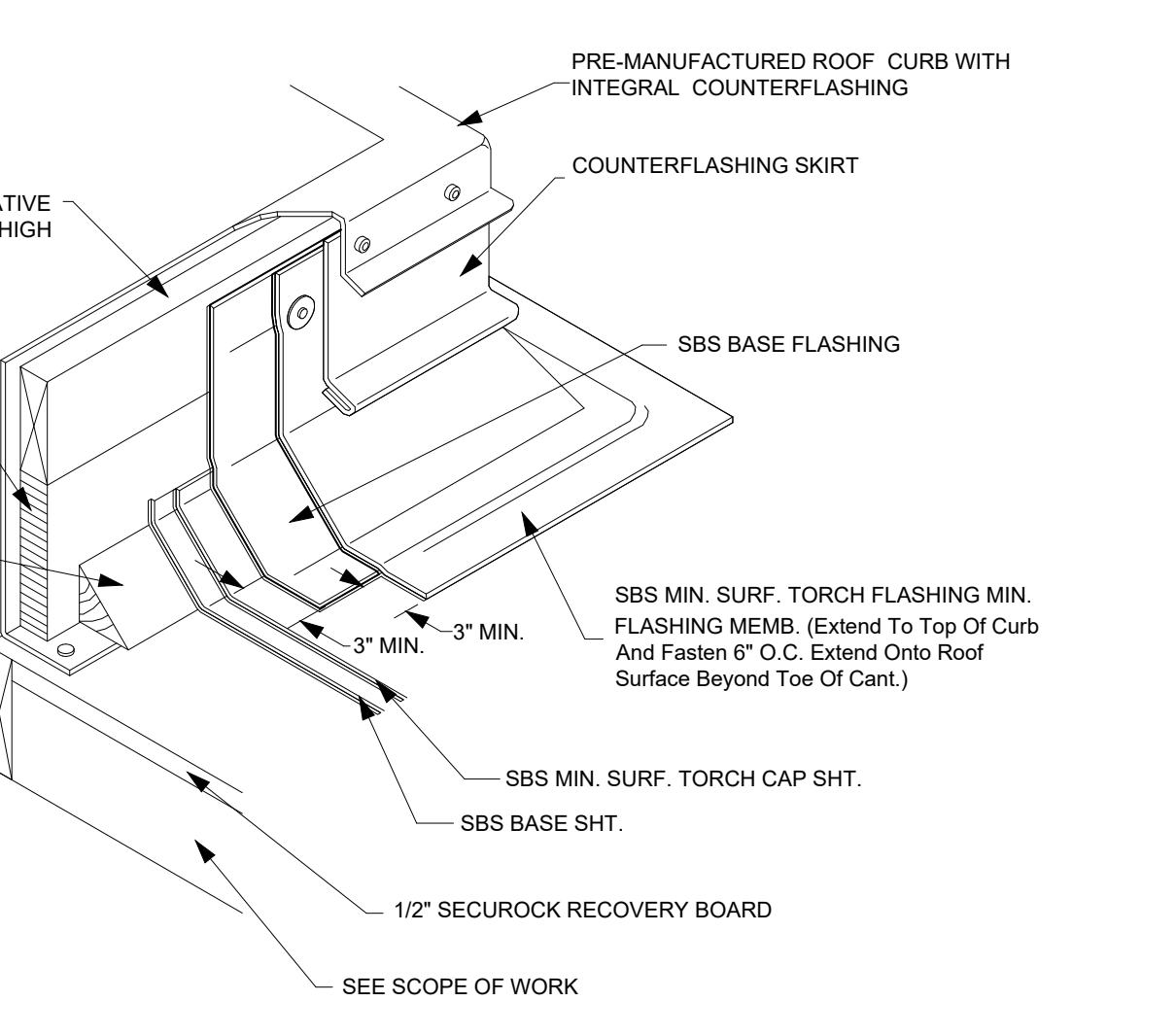
06 SUPPORT DETAIL
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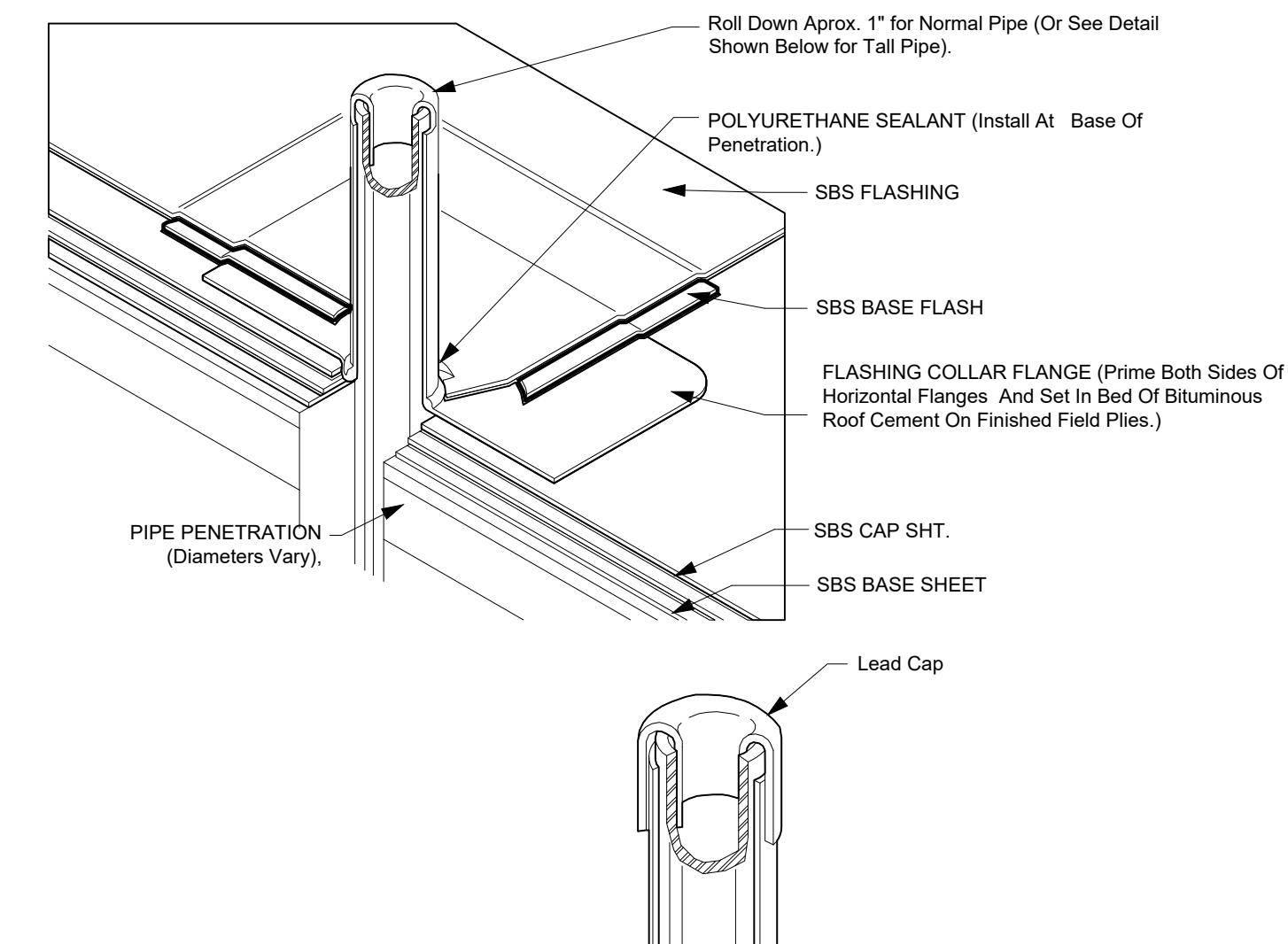
07 SUPPORT DETAIL
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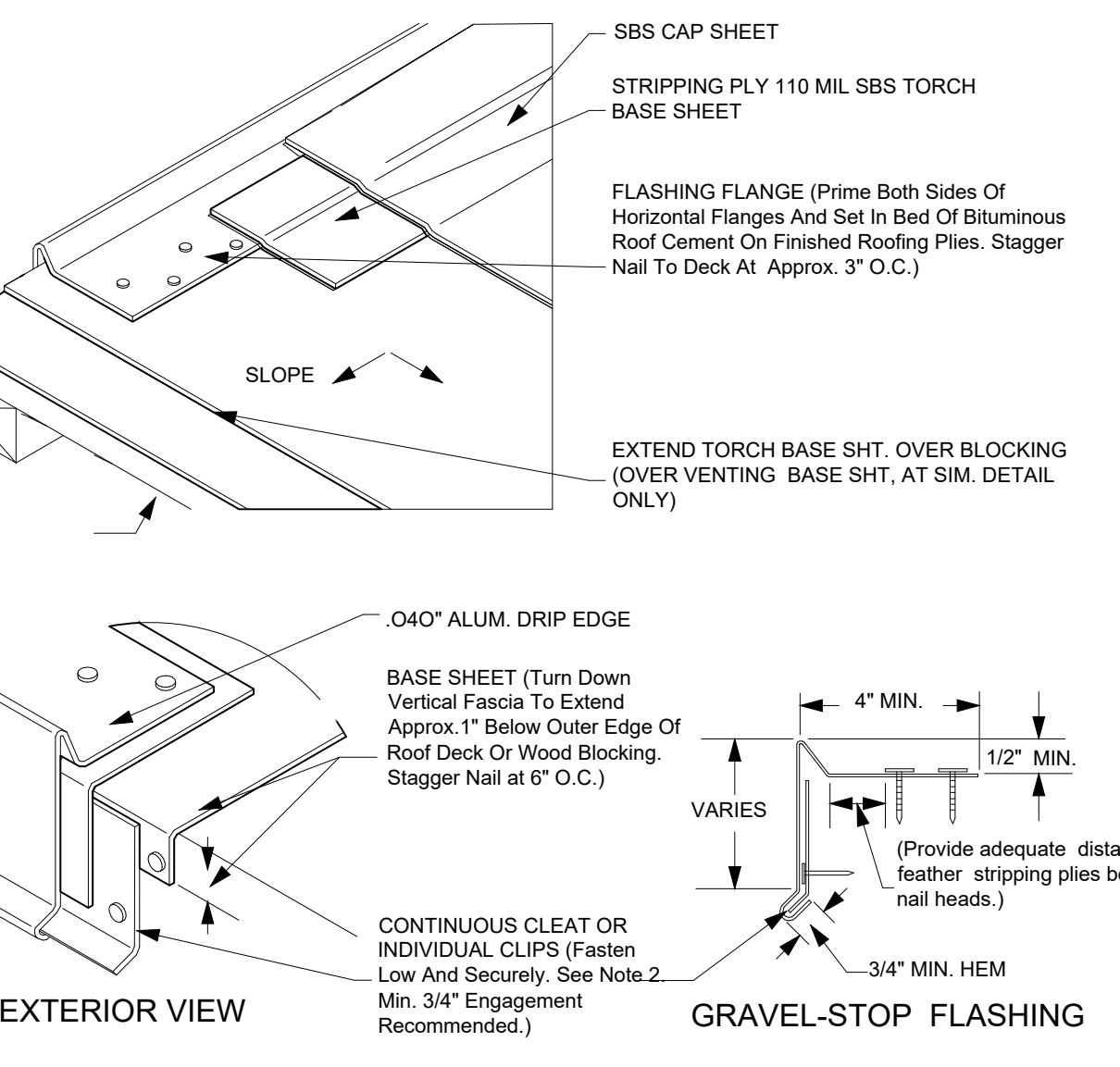
08 SUPPORT DETAIL
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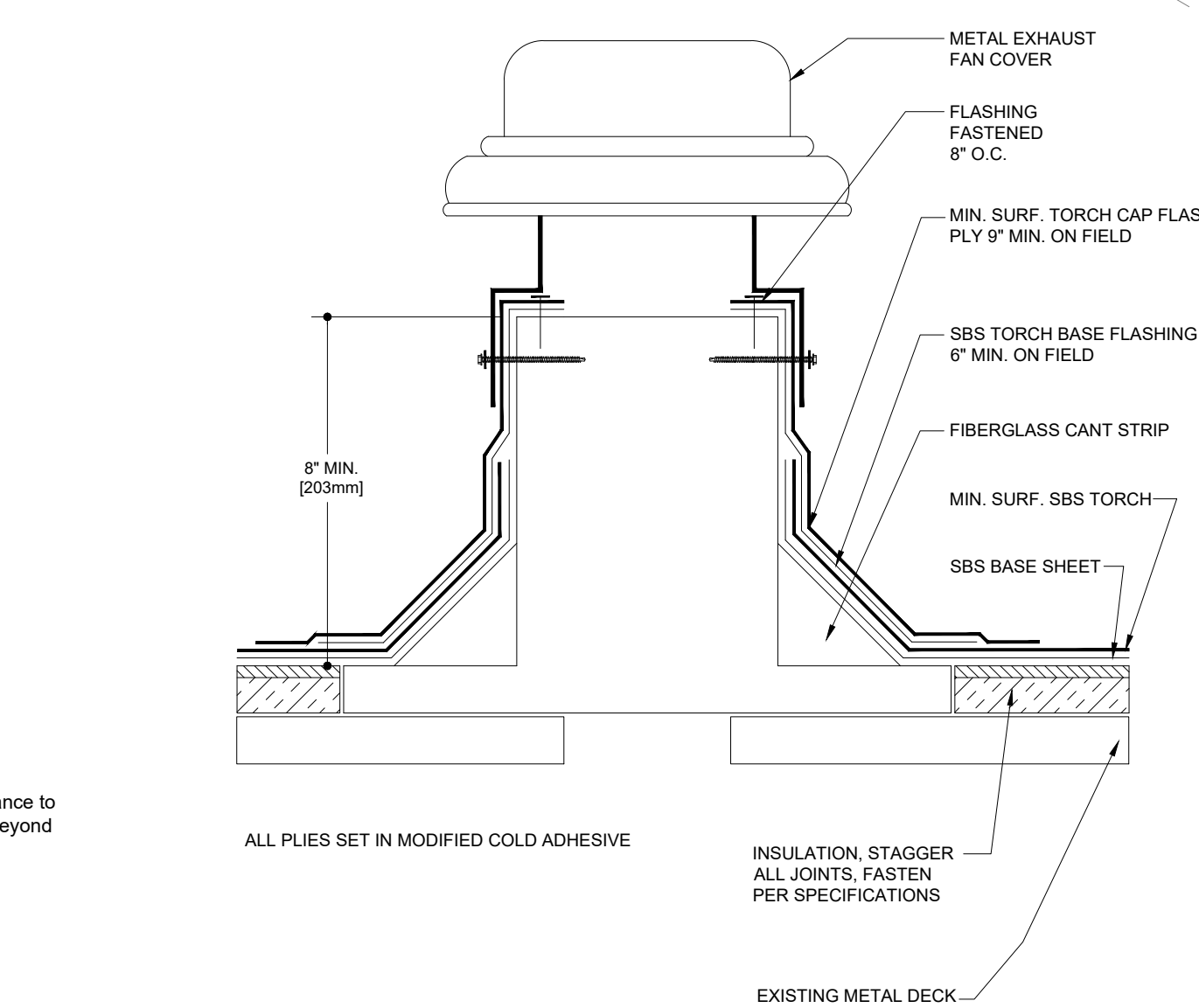
09 TYP. A/C CURB DETAIL
 NOT TO SCALE



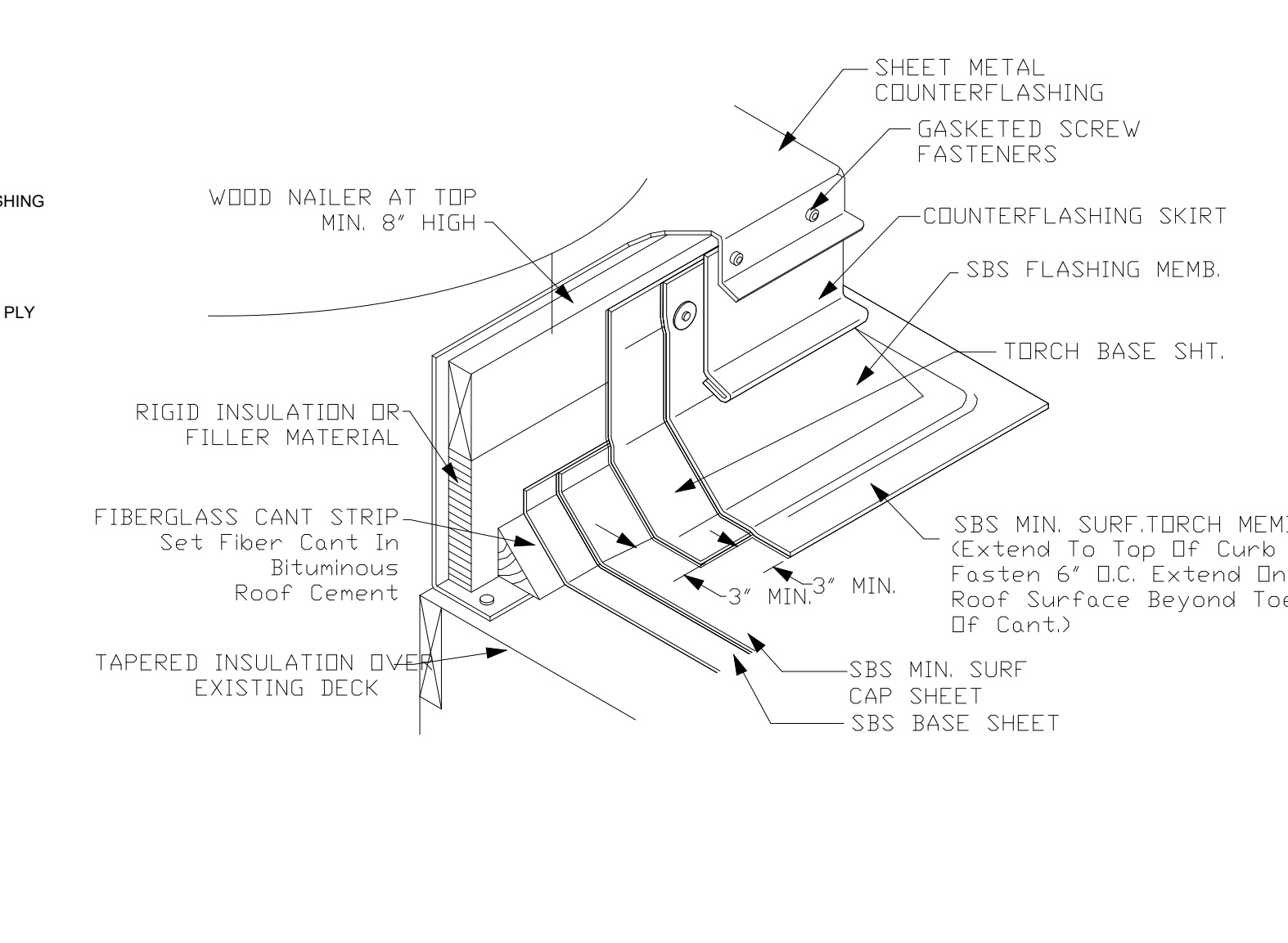
10 TYP. VENT PIPE DETAIL
 NOT TO SCALE



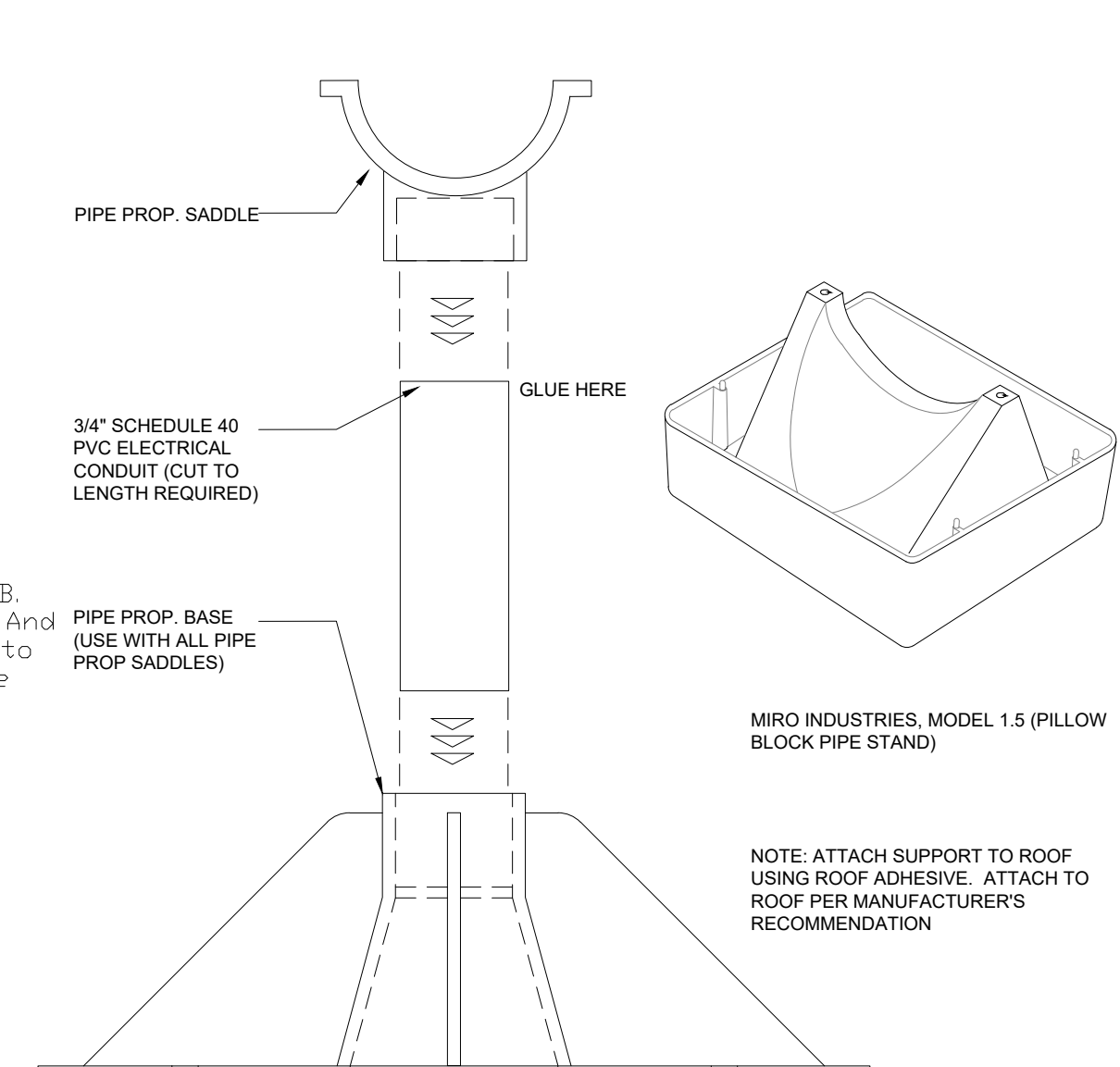
11 EAVE DETAIL
 NOT TO SCALE



12 EXHAUST FAN DETAIL
 NOT TO SCALE



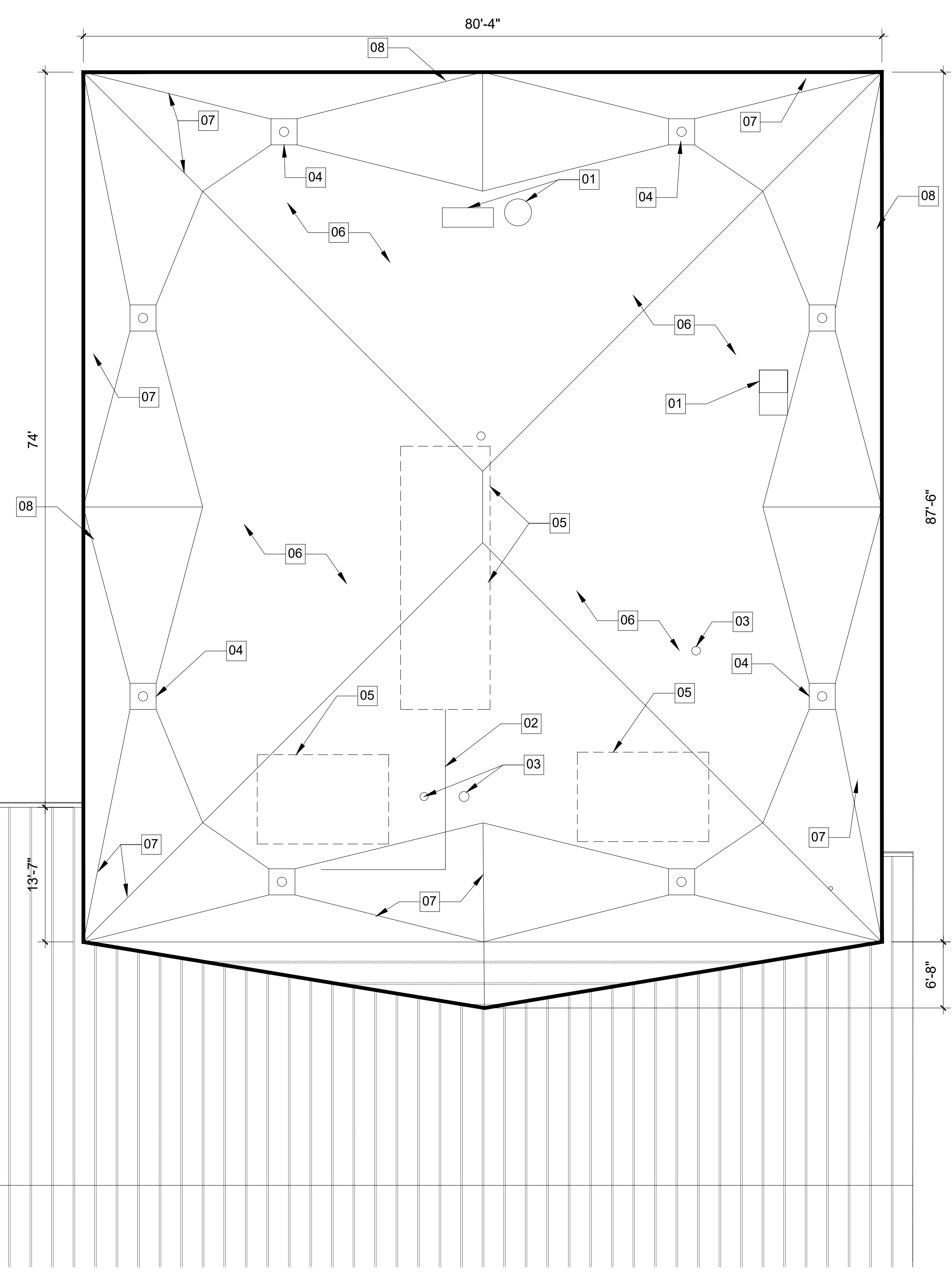
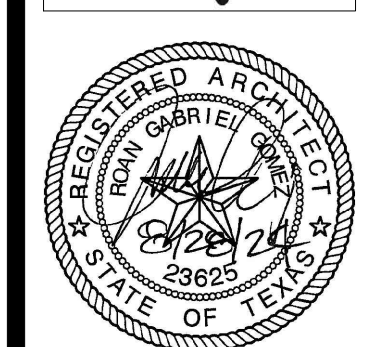
13 POWER VENT DETAIL
 NOT TO SCALE



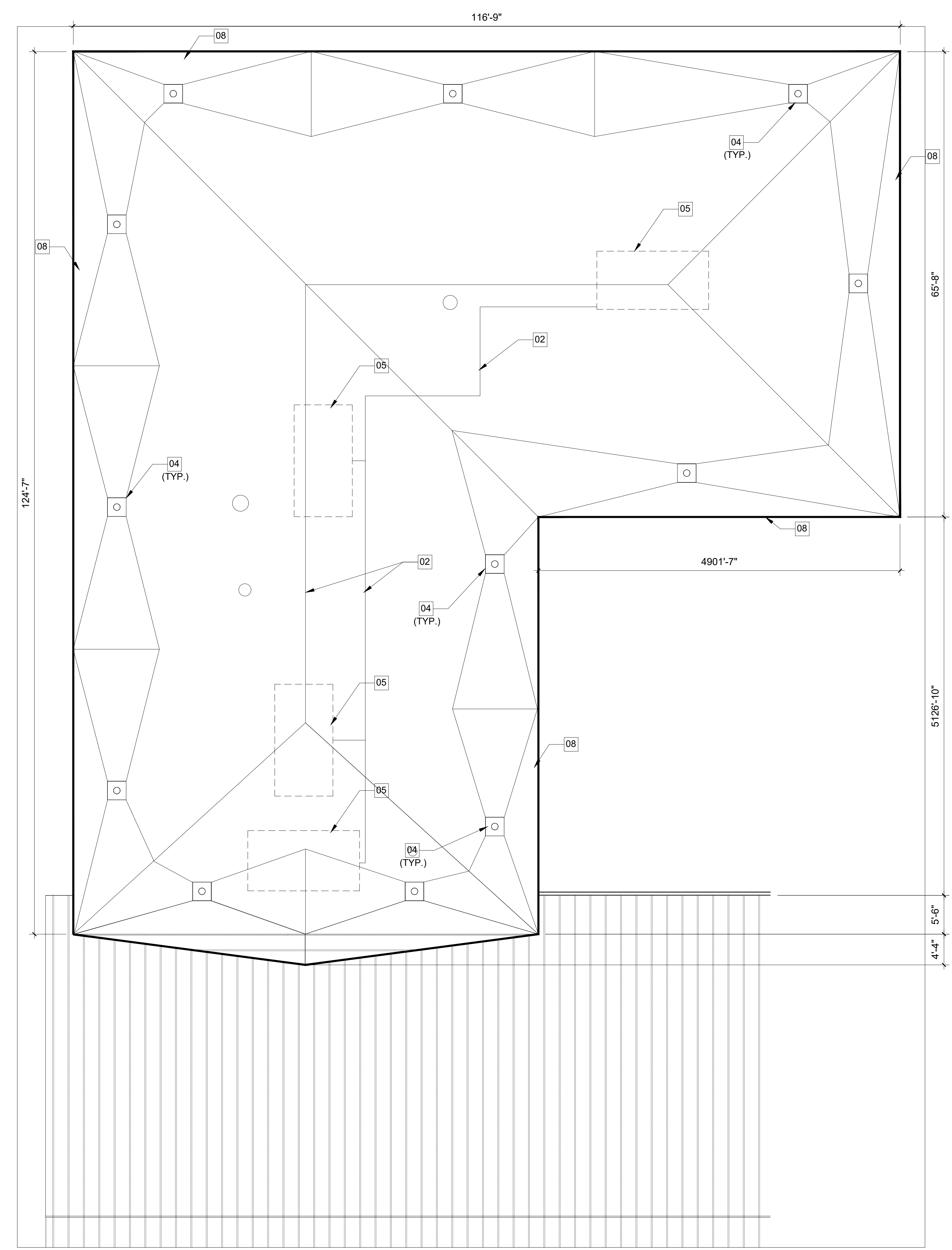
14 CONDENSATE PIPE SUPPORT DETAIL
 NOT TO SCALE

ALTERNATE 1

ADD ALTERNATE TO BID TO INCLUDE COMPLETE REPLACEMENT OF EXISTING MODIFIED ROOF. REFER TO ROOF DETAILS ON SHEET A3.02.



ACADEMY
01 ROOF PLAN
 SCALE: 1/8" = 1'-0"



COLLEGE PREP
02 ROOF PLAN
 SCALE: 1/8" = 1'-0"

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IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING. INSPECT ALL DECK AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND.

REPLACE ALL LEAD ROOF JACKS VENTS WITH NEW LEADS.

INSTALL NEW DOUBLE-WALL HEATER VENTS AND EXTEND FLUES TO MATCH EXISTING AS REQUIRED TO ACCOMMODATE NEW ROOF THICKNESS AND TO PROVIDE A MINIMUM 12-INCH HEIGHT FROM THE NEW ROOF SURFACE TO THE BOTTOM OF THE VENT CAP.

EXTEND ALL DUCTS, PIPES, CONDUIT, WIRE AND ETC., AS REQUIRED TO ACCOMMODATE NEW ROOF SYSTEM.

AT ALL EXISTING UTILITY PIPING, CONDUIT, ETC. PROVIDE PROPER SIZED PIPE STANDS AS SPECIFIED, UNDER ALL PIPES AND CONDUIT, AT 8'-0" O.C. UNLESS A NARROWER SPACING IS REQUIRED FOR PROPER SUPPORT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTOR CAREFULLY REMOVE, RAISE OR MODIFY AND CAREFULLY REINSTALL EXISTING OPERATING MECHANICAL, ELECTRICAL, PLUMBING AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.

THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

AT THE COMPLETION OF ALL ROOFING WORK AT EACH BUILDING, ALL EXISTING ROOF DRAINS AND RELATED PIPING SHALL BE WATER TESTED, CHECKED AND CERTIFIED BY A LICENSED PLUMBING CONTRACTOR TO BE OPERATIONAL AND LEAK FREE.

PROVIDE POSITIVE DRAINAGE, BY USE OF CRICKETS, IN AND AROUND ALL ROOF TOP EQUIPMENT TO AREA ROOF DRAINS.
 PROVIDE SEALANT

PROVIDE ALLOWANCE FOR CEILING TILE REPLACEMENTS AS REQUIRED FOR ROOF LEAK TESTING.

KEYED NOTES

- 01 PROVIDE NEW FLASHING/SEALANT AROUND ROOF PENETRATION (TYP.) REFER TO SHEET A3.02
- 02 REINSTALL CONDENSATE LINES (TYP.)
- 03 PROVIDE NEW FLASHING/SEALANT AROUND VENTS/EXHAUST (TYP.)
- 04 PROVIDE NEW FLASHING/SEALANT AROUND ROOF DRAIN (TYP.)
- 05 PROVIDE NEW FLASHING/SEALANT AROUND ALL EXISTING ROOF CURBS (TYP.)
- 06 NEW BITUMEN ROOF OVER NEW RECOVERY BOARD OVER NEW TAPERED RIGID INSULATION.
- 07 PROVIDE NEW TAPERED RIGID POLYISO TO PROVIDE POSITIVE DRAINAGE (TYP.)
- 08 PROVIDE NEW COPING AT ROOF EDGE (TYP.)

ROOF: SCOPE OF WORK

1. REMOVE ROOFING MEMBRANE TO DECK.
2. REPLACE INSULATION AS REQUIRED TO PROVIDE POSITIVE SLOPE TO ROOF DRAINS
3. REPAIR LOW AREA WHERE PONDING OCCURS.
4. INSTALL NEW CANT AND PARAPET FLASHING.
5. INSTALL NEW MODIFIED BITUMEN ROOFING SYSTEM.
6. REFER TO SHEET A3.02 FOR DETAILS
7. PURGE DRAIN LINES FROM ROOF LEVEL TO DISCHARGE POINTS.
8. PERFORM WATER TEST AT ALL ROOF DRAINS.
9. REPAIR DRAIN LINES AND RE-SEAT ROOF DRAINS.
10. REPAIR ELECTRICAL AND MECHANICAL ROOF PENETRATIONS
11. INSTALL NEW CAP FASCIA AND ACCESSORIES.
12. INSTALL WALKWAY SYSTEM AT ALL ROOFTOP EQUIPMENT.
11. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS.
12. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS IN INSIDE CLOSURES
13. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS
13. PROVIDE WALKWAY SYSTEM TO AND AROUND MECHANICAL EQUIPMENT, ROOF ACCESS LADDERS AND ROOF HATCHES ON BITUMEN ROOFS
- 14.