

November 22, 2024

IDEA PUBLIC SCHOOLS – Upper Valley Building Envelope

GMS ARCHITECTS  
BROWNSVILLE, TEXAS 78526  
(956) 546-0110

### **ADDENDUM NO. 3**

#### **A. PURPOSE AND INTENT**

*This addendum is issued for the purpose of modifying the plans and specifications for the Idea Public Schools – Upper Valley Building Envelope.*

*This addendum shall become part of the contract, and all CONTRACTORS shall be bound by its content. All aspects of the specifications and drawings not covered herein shall remain the same.*

*The General Conditions and the Special Conditions of the specifications shall govern all parts of the work and apply in full force to this addendum.*

#### **B. SCOPE**

##### **I. CLARIFICATION:**

- Plans re-issued with corrections for IDEA Mission, and IDEA Quest McAllen. Please remove and replace the sheets in the current set with the sheets itemized below.

##### **II. SPECIFICATIONS:**

- N/A

##### **III. PLANS:**

- IDEA Mission sheets: COVER, A1.01, A2.01, A2.02, A2.03, A2.04, A2.05, A3.01, A3.02, A4.01, A4.02, A5.01, A5.02, A5.03, A5.04, A6.01
- IDEA Quest sheets: COVER, A1.01, A2.01, A2.02, A2.03, A3.01, A3.02, A4.01, A4.02, A5.01, A5.02, A5.03, A5.04, A5.05, A5.06, A6.01

# IDEA PUBLIC SCHOOLS ENVELOPE IMPROVEMENTS MISSION - RIO GRANDE VALLEY

## IDEA Public Schools Board of Directors 2024

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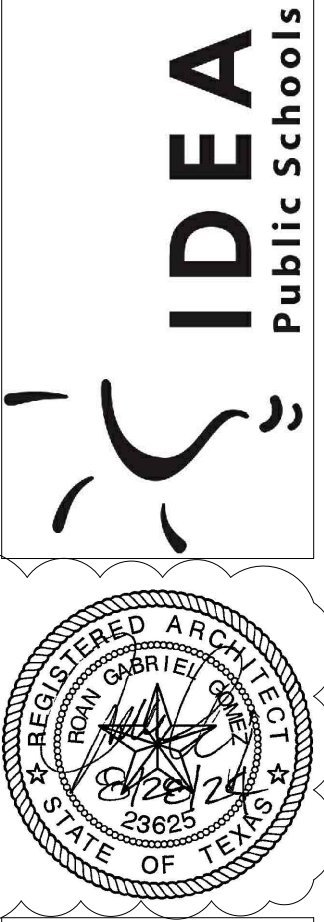
## D R A W I N G I N D E X

### IDEA MISSION

COVER	COVER SHEET
A1.01	SITE PLAN
A2.01	ROOF PLAN - BLDG. A
A2.02	ROOF PLAN - BLDG. B
A2.03	ROOF PLAN - BLDG. C
A2.04	ROOF PLAN - BLDG. D
A2.05	ROOF PLAN - BLDG. E
A3.01	ROOF DETAILS
A3.02	ROOF DETAILS
A4.01	DETAILS
A4.02	DETAILS
A5.01	ELEVATIONS - BLDG. B
A5.02	ELEVATIONS - BLDG. C
A5.03	ELEVATIONS - BLDG. D
A5.04	ELEVATIONS - BLDG. E
A6.01	DOOR AND WINDOW DETAILS/ELEVATIONS

### ARCHITECTS

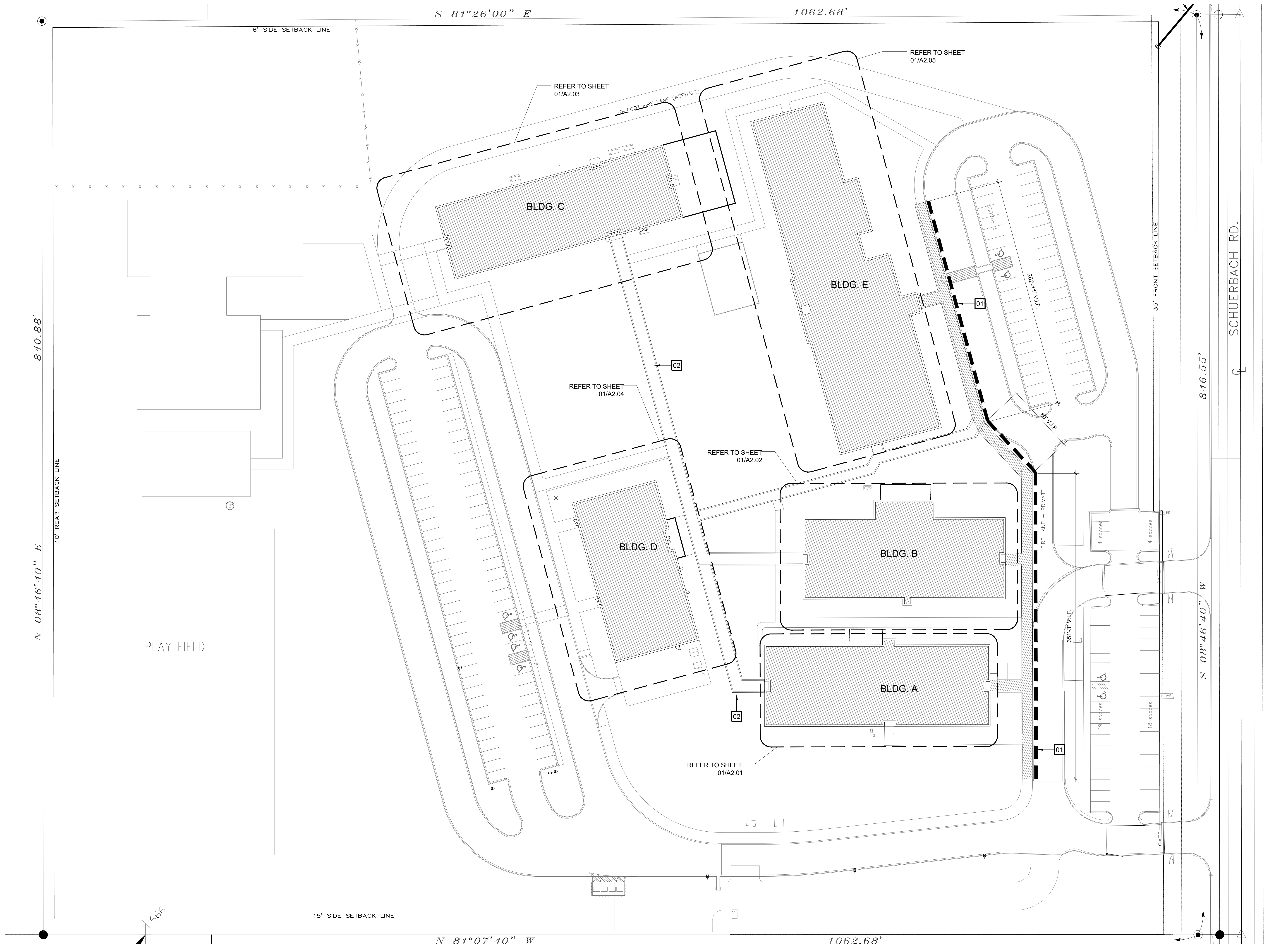
GOMEZ MENDEZ SAENZ, INC.  
1150 PAREDES LINE RD. BROWNSVILLE, TX. 78521  
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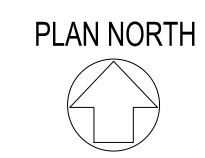
IDEA MISSION

COVER





**01 OVERALL SITE PLAN**  
SCALE 1" = 50'-0"



**LEGEND:**

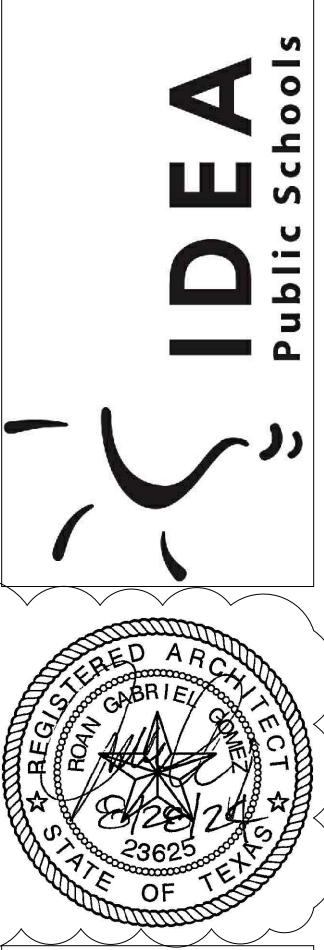
	INDICATES AREA OF WORK
	INDICATES AREA OF REPAIR FOR FASCIA/GUTTER/DOWNSPOUT

- SITE PLAN KEY NOTES:**
- 01** REPLACE FASCIA, GUTTER AND DOWNSPOUTS ALONG THIS AREA
  - 02** EXISTING CANOPY

No.	REVISIONS	BY
1	DRAWING CORRECTIONS	GMS

**GMS ARCHITECTS**  
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**IDEA Mission**  
Mission, Texas

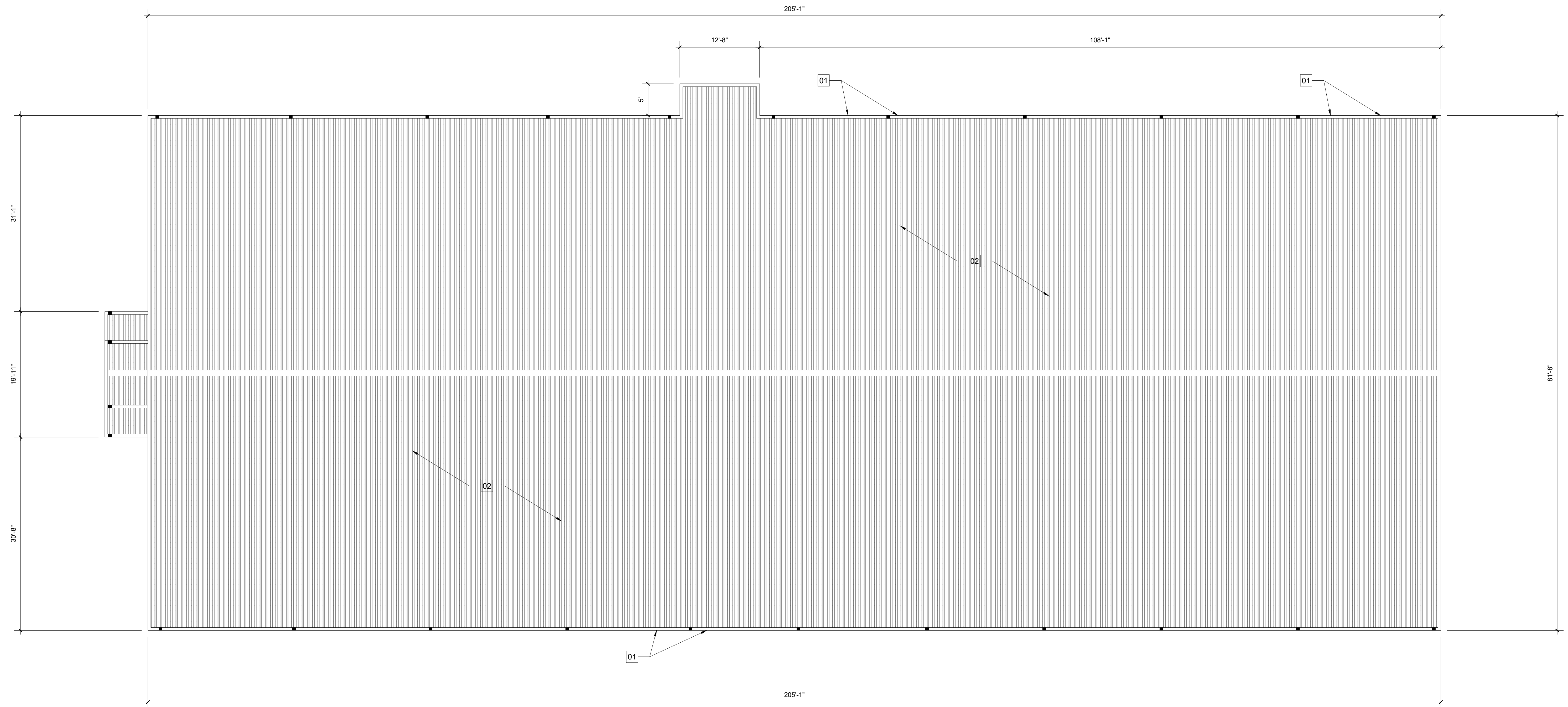


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Architects-Planners  
Interior Designers

Date: AUGUST 2024  
Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: RG.CG  
Job No: Exterior Envelope  
Sheet:

**IDEA MISSION**  
**A1.01**





**01 ROOF PLAN**  
 SCALE: 3/16" = 1'-0"

- KEY NOTES:**
- 01 REPLACE GUTTER AND DOWNSPOUTS (TYPICAL)
  - 02 EXISTING STANDING SEAM ROOF TO REMAIN

**GENERAL NOTES AT METAL ROOFS:**

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING.

INSPECT ALL DECK AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTOR CAREFULLY REMOVE, RAISE OR MODIFY AND CAREFULLY REINSTALL EXISTING OPERATING MECHANICAL, ELECTRICAL, PLUMBING AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.

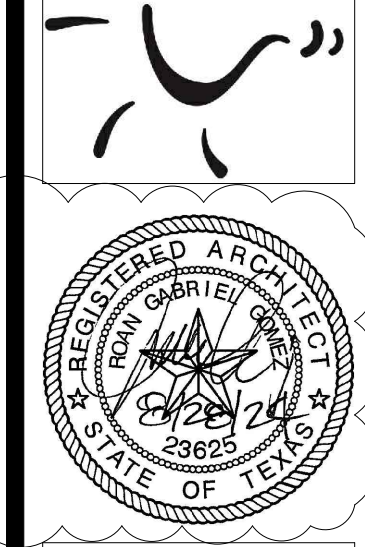
THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

PROVIDE ALLOWANCE FOR CEILING TILE REPLACEMENTS AS REQUIRED FOR ROOF LEAK TESTING.

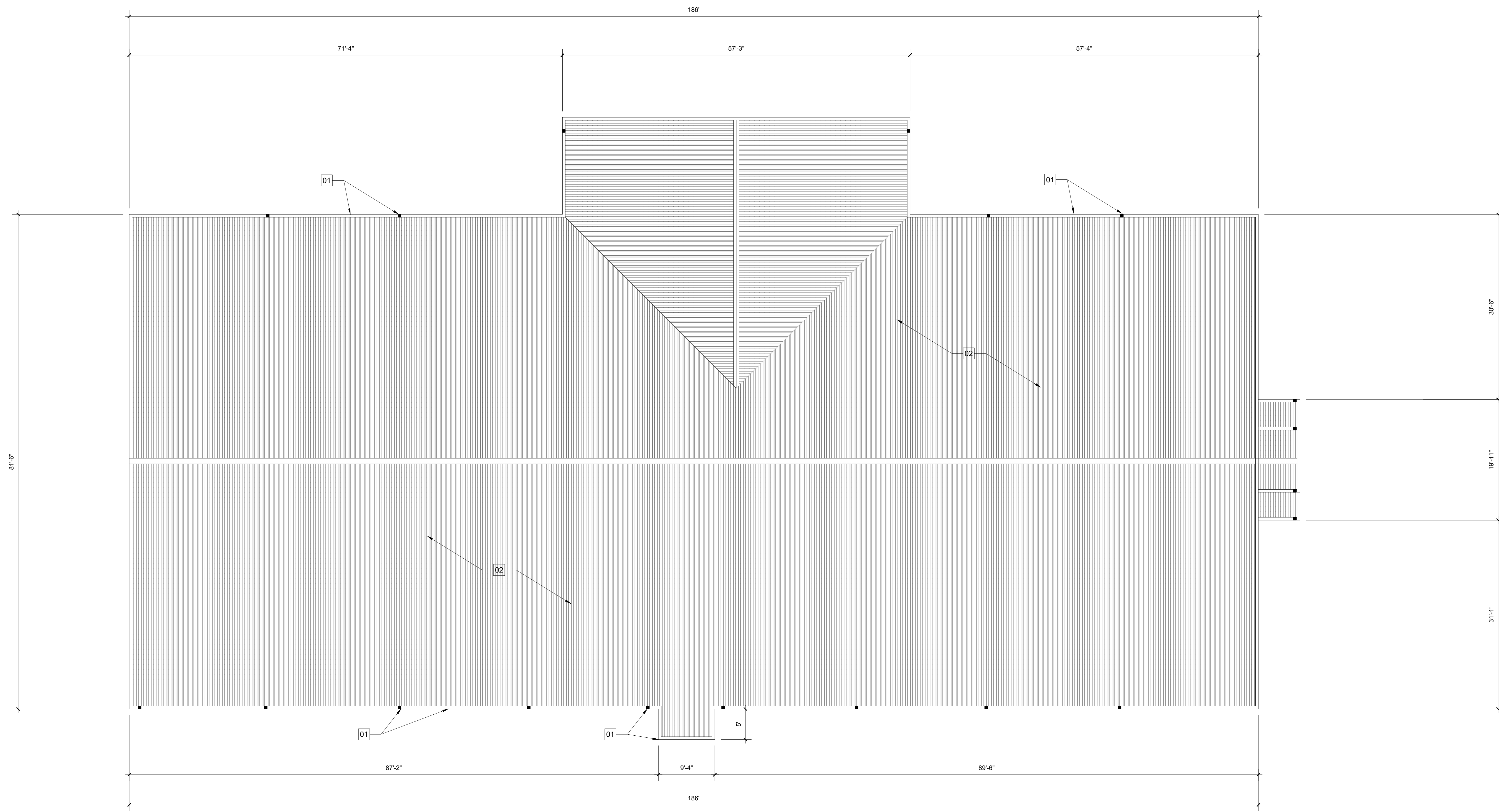
**SCOPE OF WORK AT METAL ROOFS**

1. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS WHEN MISSING.
2. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS
3. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS

**BUILDING 'A'**







**KEY NOTES:**

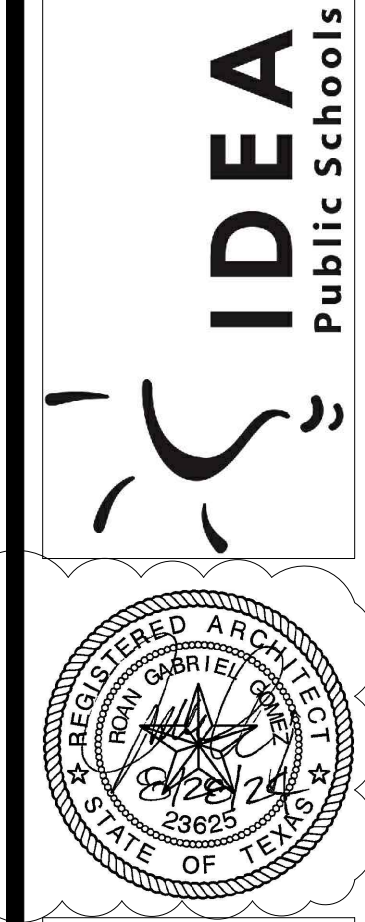
- 01 REPLACE GUTTER AND DOWNSPOUTS (TYPICAL)
- 02 EXISTING STANDING SEAM ROOF TO REMAIN

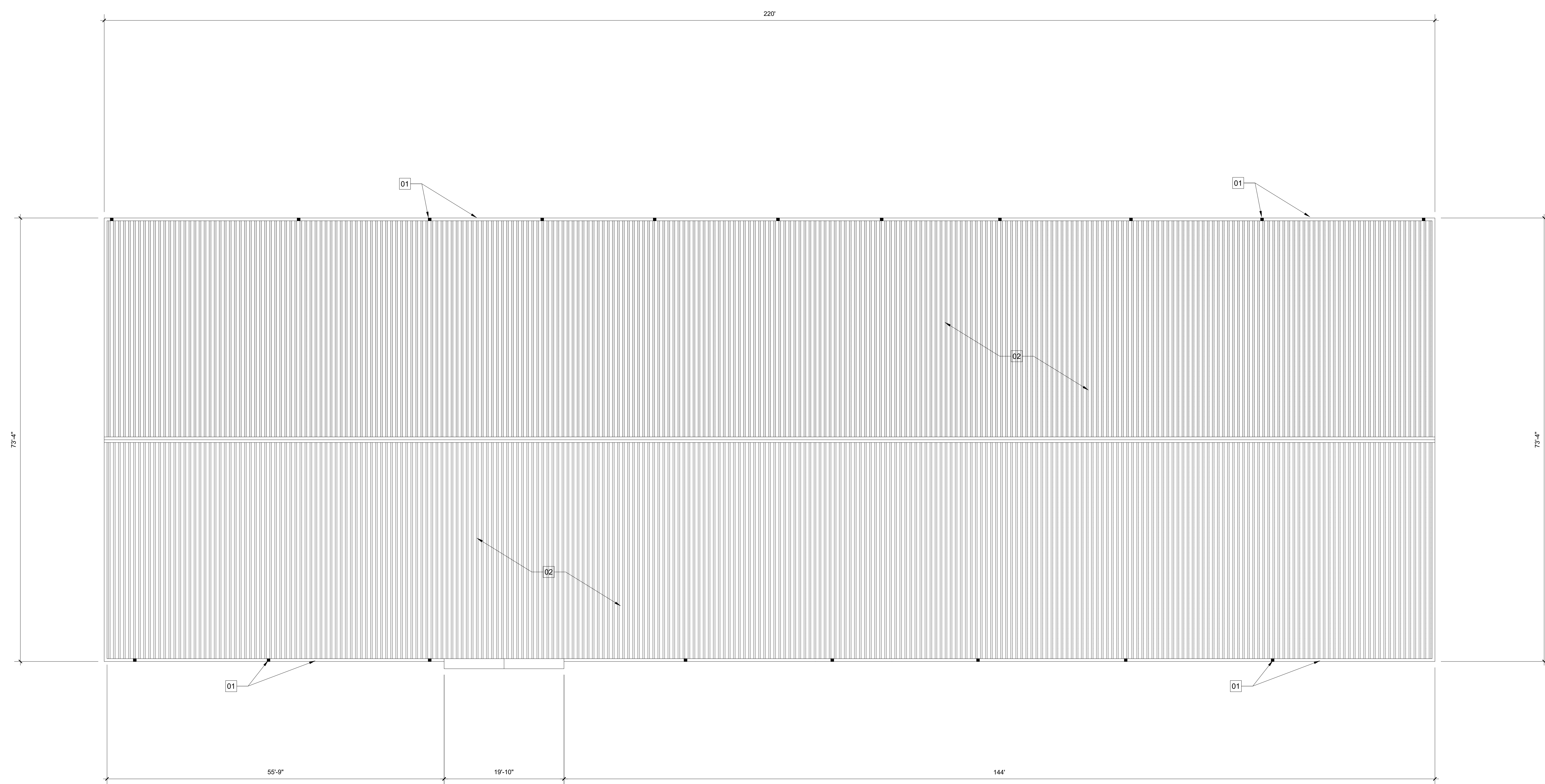

**01 ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

**BUILDING 'B'**

**SCOPE OF WORK AT METAL ROOFS**

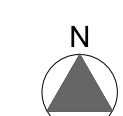
1. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS WHEN MISSING.
2. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS
3. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS





**KEY NOTES:**

- 01 REPLACE GUTTER AND DOWNSPOUTS (TYPICAL)
- 02 EXISTING STANDING SEAM ROOF TO REMAIN

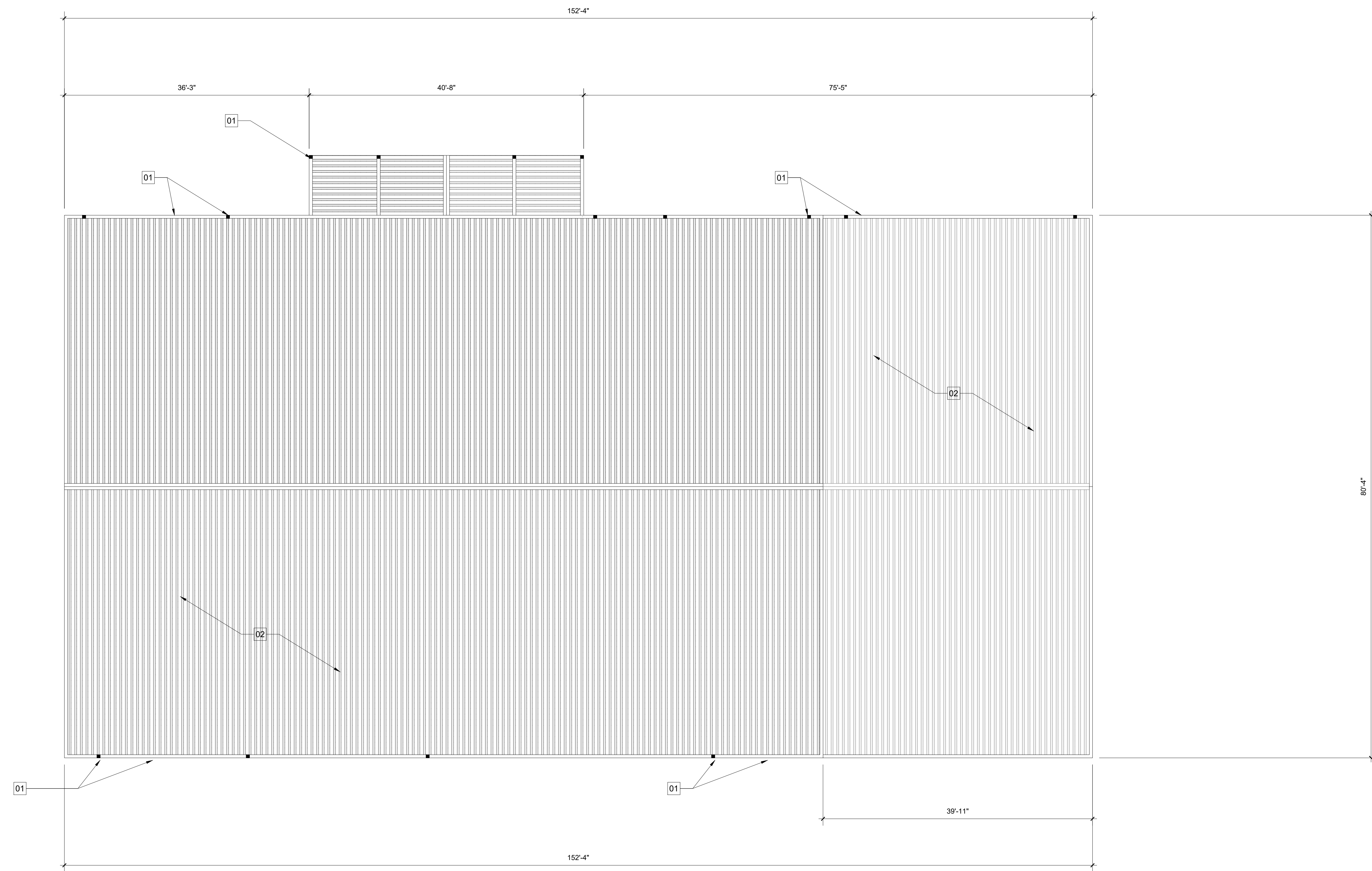

**01 ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

**BUILDING 'C'**

**SCOPE OF WORK AT METAL ROOFS**


1. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS WHEN MISSING.
2. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS
3. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS





**KEY NOTES:**

- 01 REPLACE GUTTER AND DOWNSPOUTS (TYPICAL)
- 02 EXISTING STANDING SEAM ROOF TO REMAIN


**01 ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

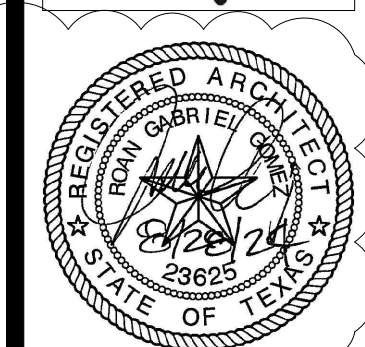
**BUILDING 'D'**

**SCOPE OF WORK AT METAL ROOFS**

1. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS WHEN MISSING.
2. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS
3. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS

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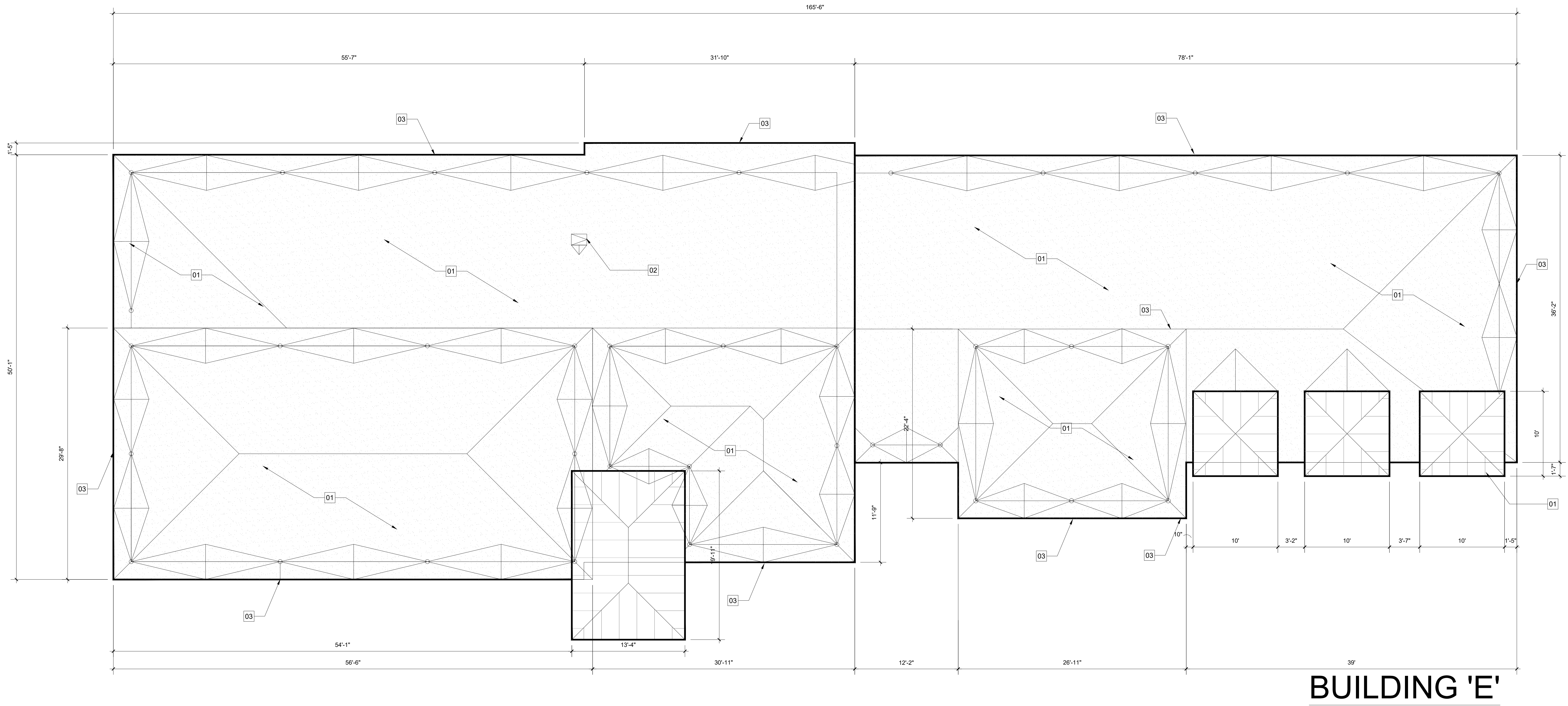


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 Architects-Planners  
 Interior Designers  
 Date: AUGUST 2024  
 Scale: As Noted  
 Project Architect: Roan Gomez, AIA  
 Drawn By: RG, CG  
 Job No: Exterior Envelope  
 Sheet:

**IDEA MISSION**

**A2.04**





**BUILDING 'E'**

- KEY NOTES:**
- 01 REPLACE MODIFIED BITUMEN ROOF
  - 02 EXISTING ROOF HATCH
  - 03 SCUPPER THROUGH ROOF. TYP. @ ALL PARAPET EDGE LOCATIONS. REFER TO DETAILS 1-4/A3.02

**01 ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

- ROOF: SCOPE OF WORK AT BUILDING 'E'**
1. TEAR OFF ROOFING TO DECK.
  2. INSTALL NEW MODIFIED BITUMEN ROOFING SYSTEM.
  3. REFER TO SHEET A3.01-3.02 FOR DETAILS
  4. PURGE DRAIN LINES FROM ROOF LEVEL TO DISCHARGE POINTS.
  5. PERFORM WATER TEST AT ALL ROOF DRAINS. IF LEAKS FOUND, REPLACE/REPAIR INTERNAL DRAIN. PRICE REPAIR ON LINEAR FOOT UNIT COST FOR REPAIRING 4" INTERNAL DRAINS AND/OR ROOF DRAIN.
  6. INSTALL NEW CAP FASCIA AND ACCESSORIES.
  7. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS.
  8. VERIFY FASTENER SIZE IS SUFFICIENT FOR NEW ROOF
  9. PROVIDE WALK PADS TO ALL ROOF HATCHES, MECHANICAL UNITS, AND ACCESS LADDERS
  10. REMOVE AND REPLACE CURBS FOR EXISTING MECHANICAL UNITS
  11. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS WHEN MISSING.
  12. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS IN INSIDE CLOSURES.
  13. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS.

**GENERAL ROOFING NOTES:**

WHERE APPLICABLE, THE RE-ROOFING PORTION OF THIS PROJECT HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE (LATEST EDITION), THE SPECIFIED ROOFING SYSTEM MEETS FACTORY MUTUAL RESEARCH CORPORATION STANDARD 4470 APPROVAL REQUIREMENTS FOR CLASS 1 FIRE AND 1-90 WINDSTORM CLASSIFICATION AND CLASS 1-SH HAIL RATING.

AT ALL NEW ROOF WORK AREAS AND PRIOR TO CONSTRUCTION, WALK THROUGH EVERY ROOM IN BUILDINGS WITH OWNER'S REPRESENTATIVE AND IDENTIFY WATER DAMAGED CEILINGS, WALLS, ETC. TO DETERMINE LOCATION & AMOUNTS OF INTERIOR WATER DAMAGE. PROVIDE COPY OF THIS LIST TO ARCHITECT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING.

INSPECT ALL DECK AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND. PROVIDE UNIT COST FOR DECK REPAIR.

EXTEND ALL DUCTS, PIPES, CONDUIT, WIRE AND ETC., AS REQUIRED TO ACCOMMODATE NEW ROOF SYSTEM.

AT ALL EXISTING UTILITY PIPING, CONDUIT, ETC. PROVIDE PROPER SIZED PIPE STANDS AS SPECIFIED, UNDER ALL PIPES AND CONDUIT, AT 8'-0" O.C. UNLESS A NARROWER SPACING IS REQUIRED FOR PROPER SUPPORT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED MECHANICAL, ELECTRICAL, PLUMBING AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.

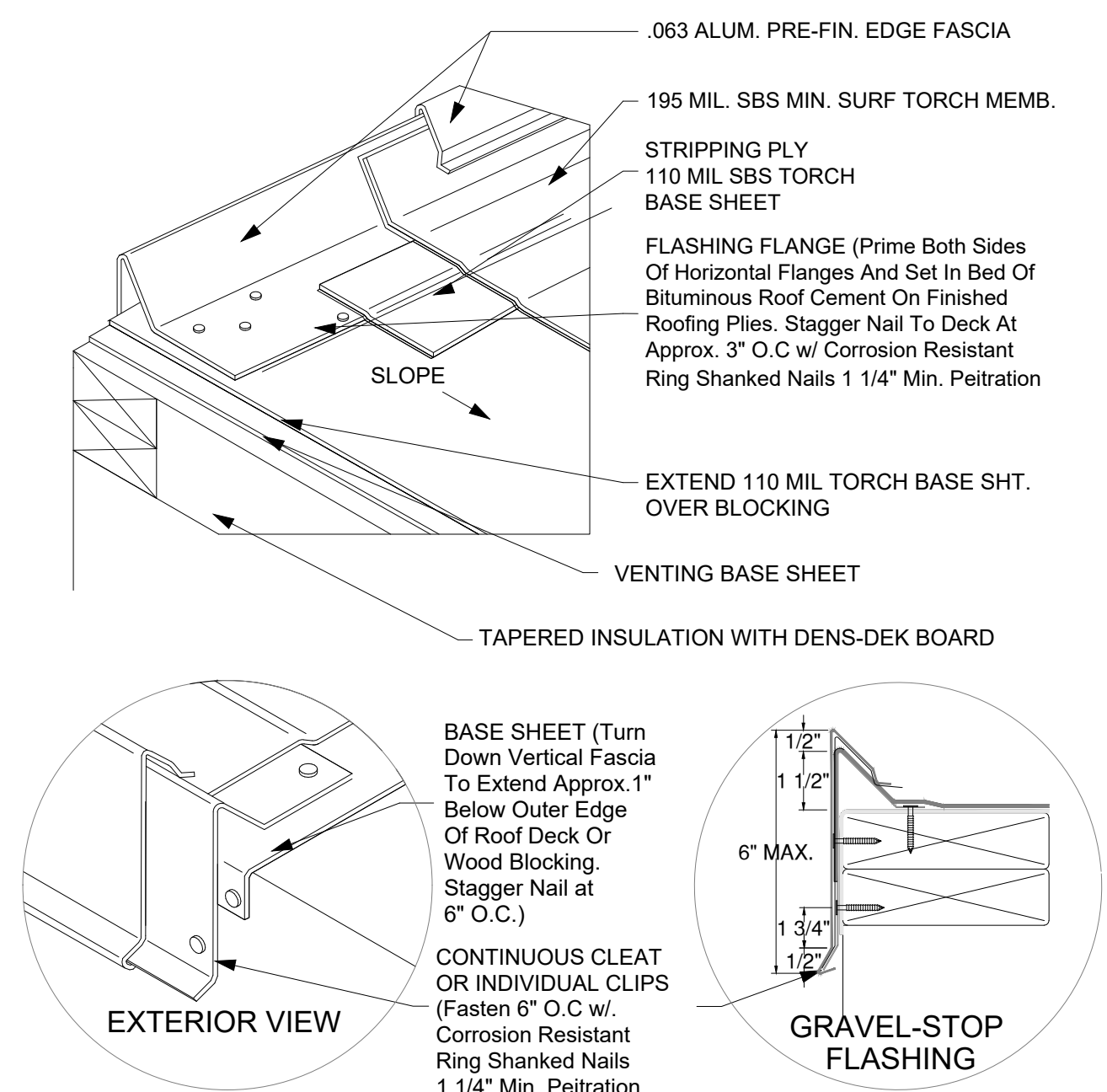
THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

AT THE COMPLETION OF ALL ROOFING WORK AT EACH BUILDING, ALL EXISTING ROOF DRAINS AND RELATED PIPING SHALL BE WATER TESTED, CHECKED AND CERTIFIED BY A LICENSED PLUMBING CONTRACTOR TO BE OPERATIONAL AND LEAK FREE.

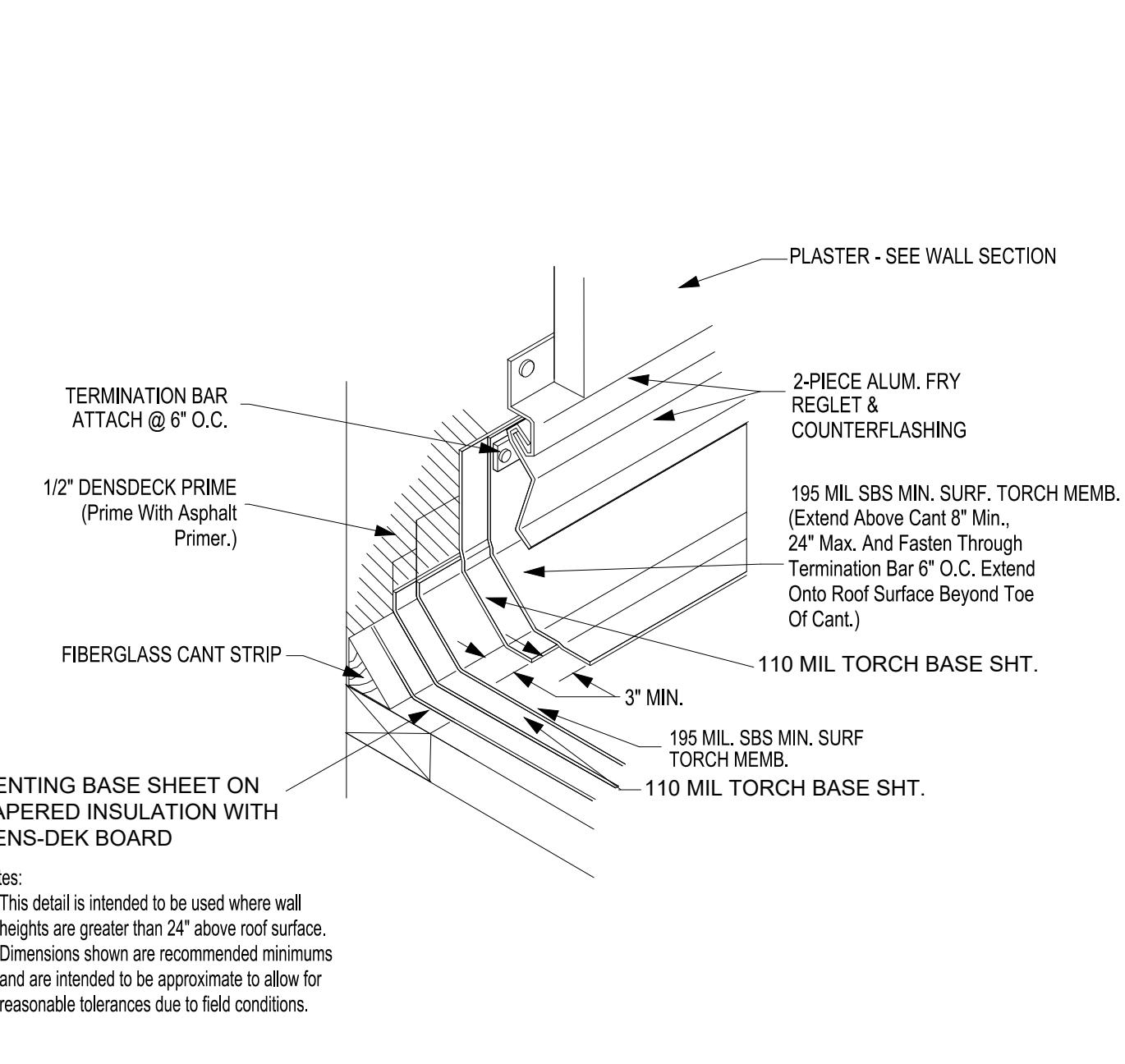
PROVIDE POSITIVE DRAINAGE, BY USE OF CRICKETS, IN AND AROUND ALL ROOF TOP EQUIPMENT TO AREA ROOF DRAINS.

PROVIDE ALLOWANCE FOR CEILING TILE REPLACEMENTS AS REQUIRED FOR ROOF LEAK TESTING.

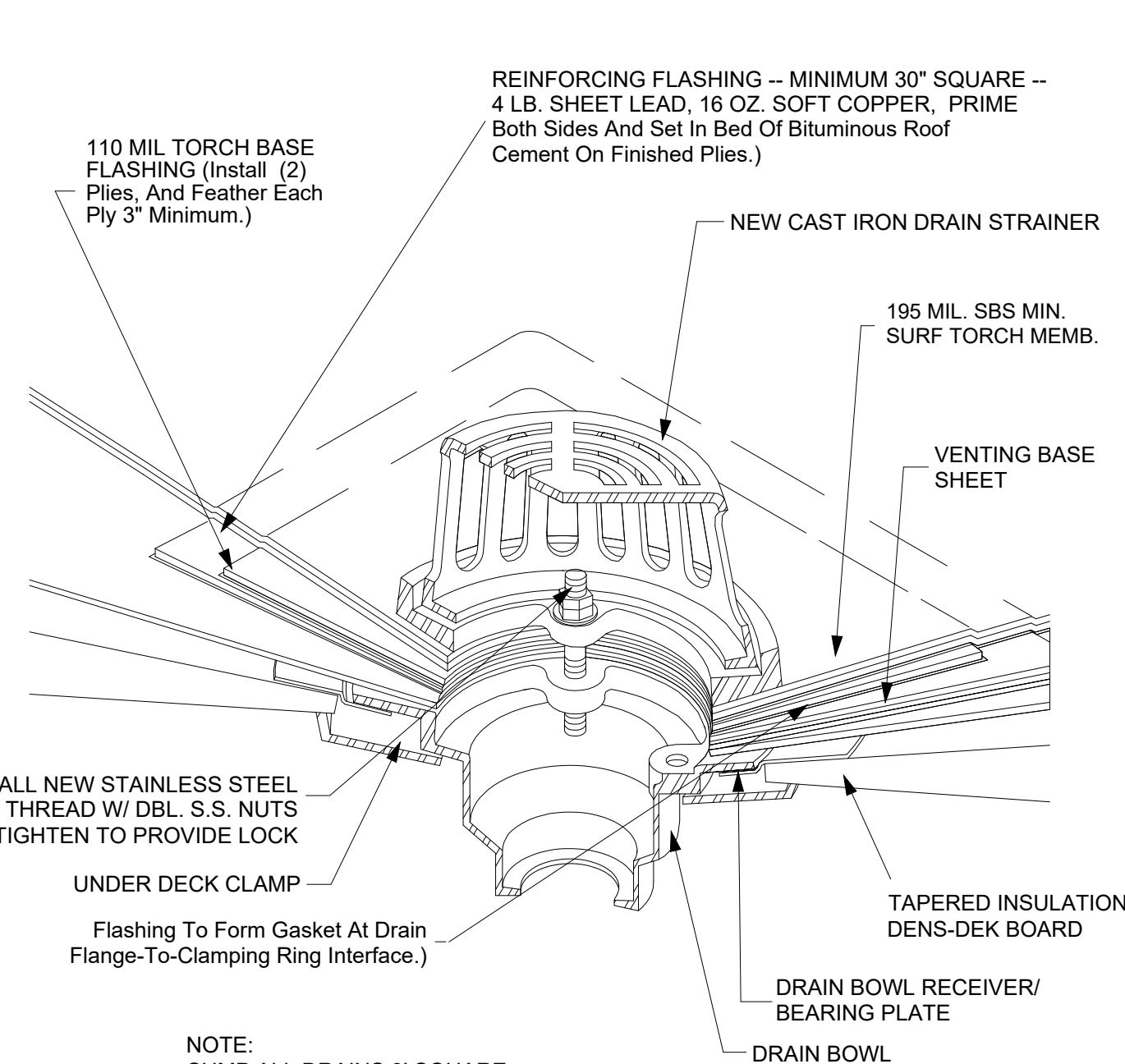




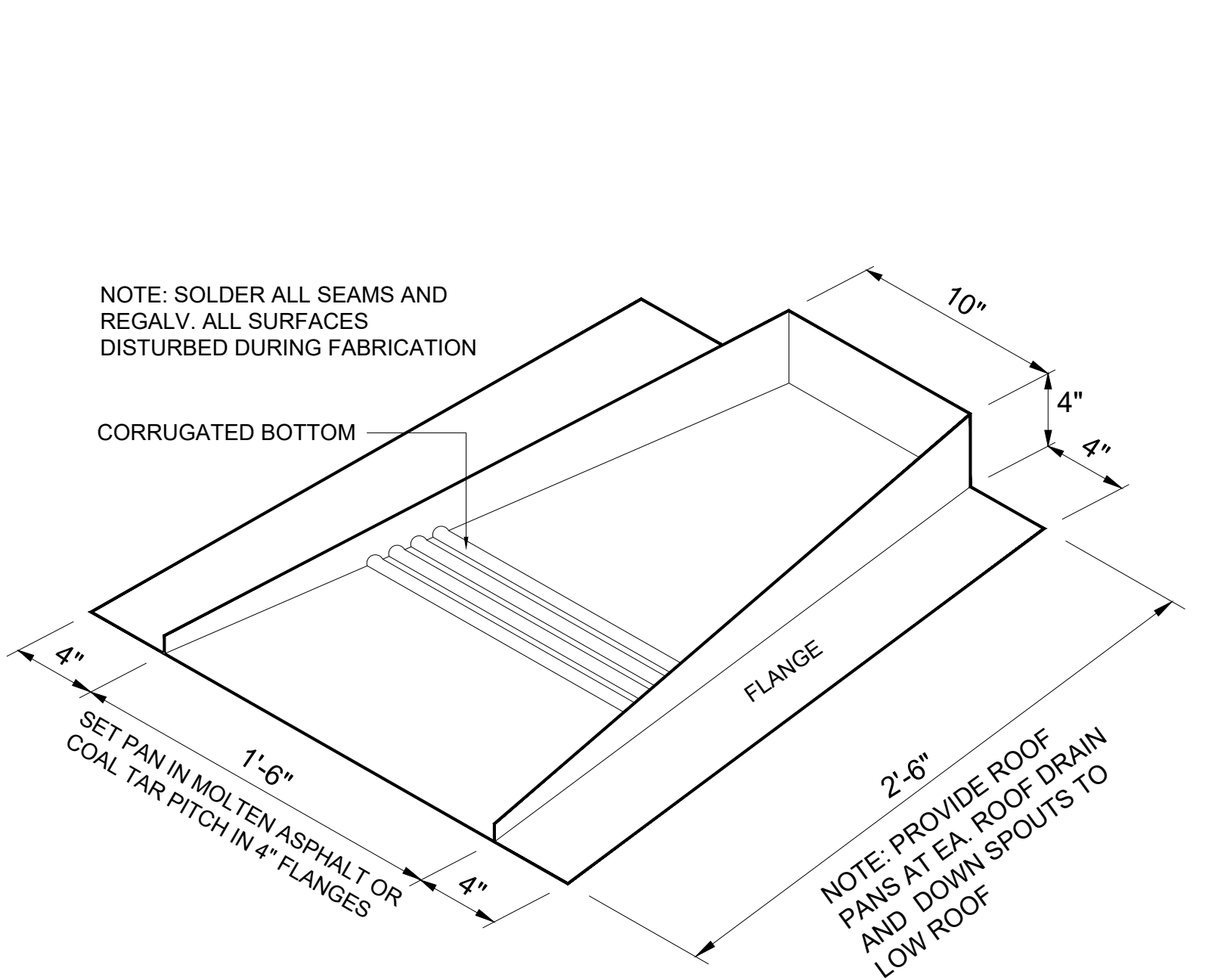
**01 EDGE DETAIL**  
 NOT TO SCALE



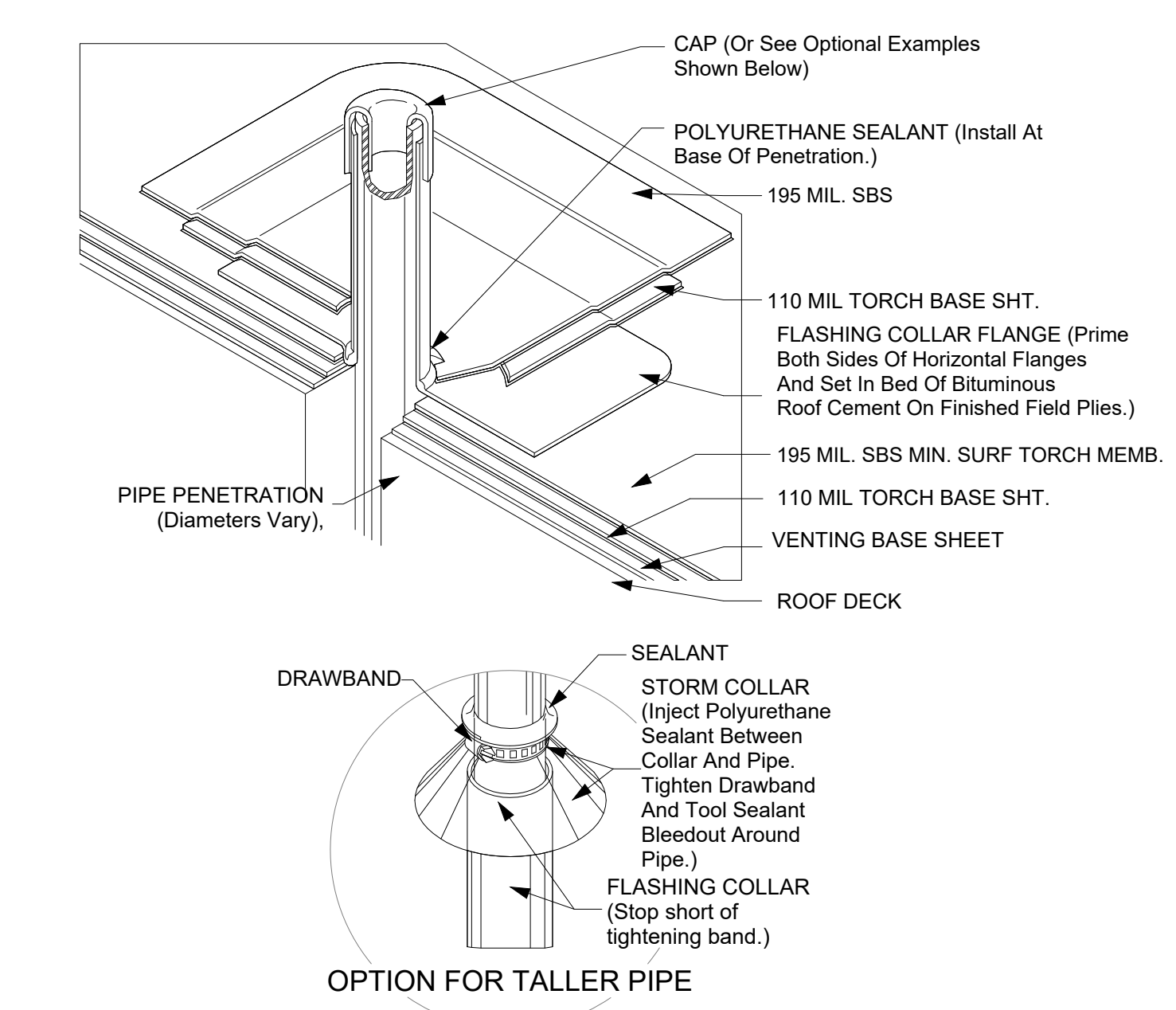
**02 FLASHING DETAIL**  
 NOT TO SCALE



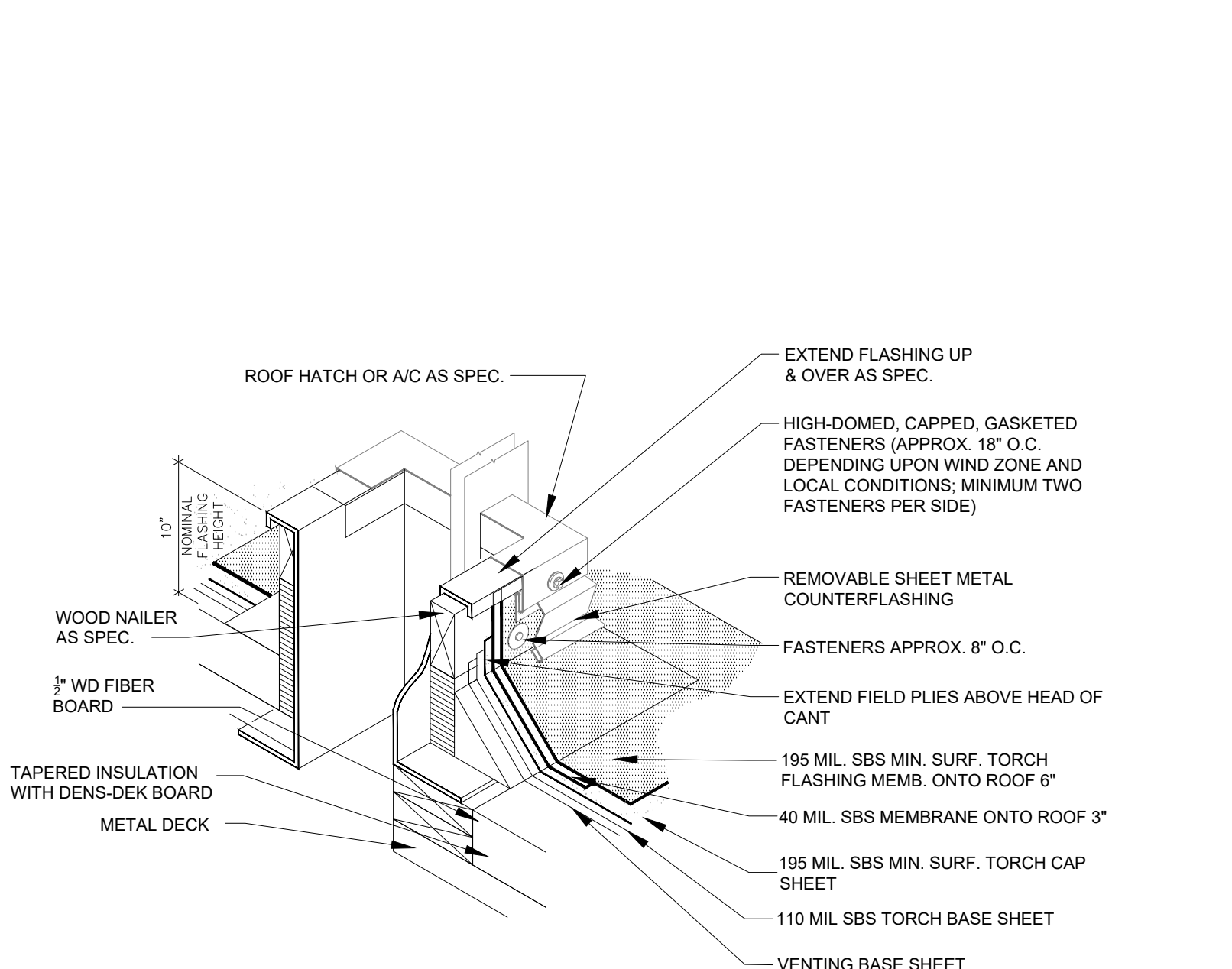
**03 ROOF DRAIN DETAIL**  
 NOT TO SCALE



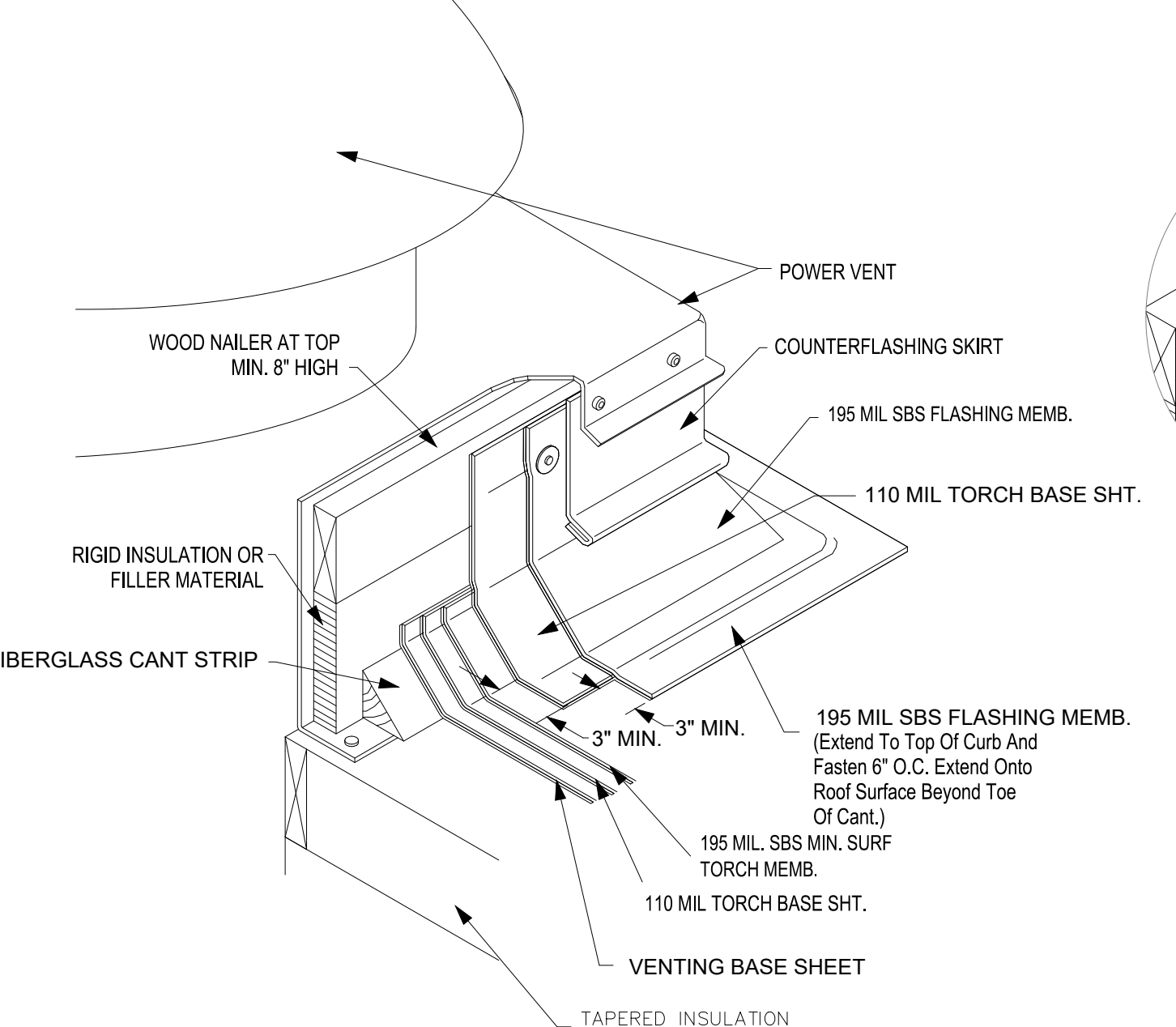
**04 SPLASH BLOCK DETAIL**  
 NOT TO SCALE



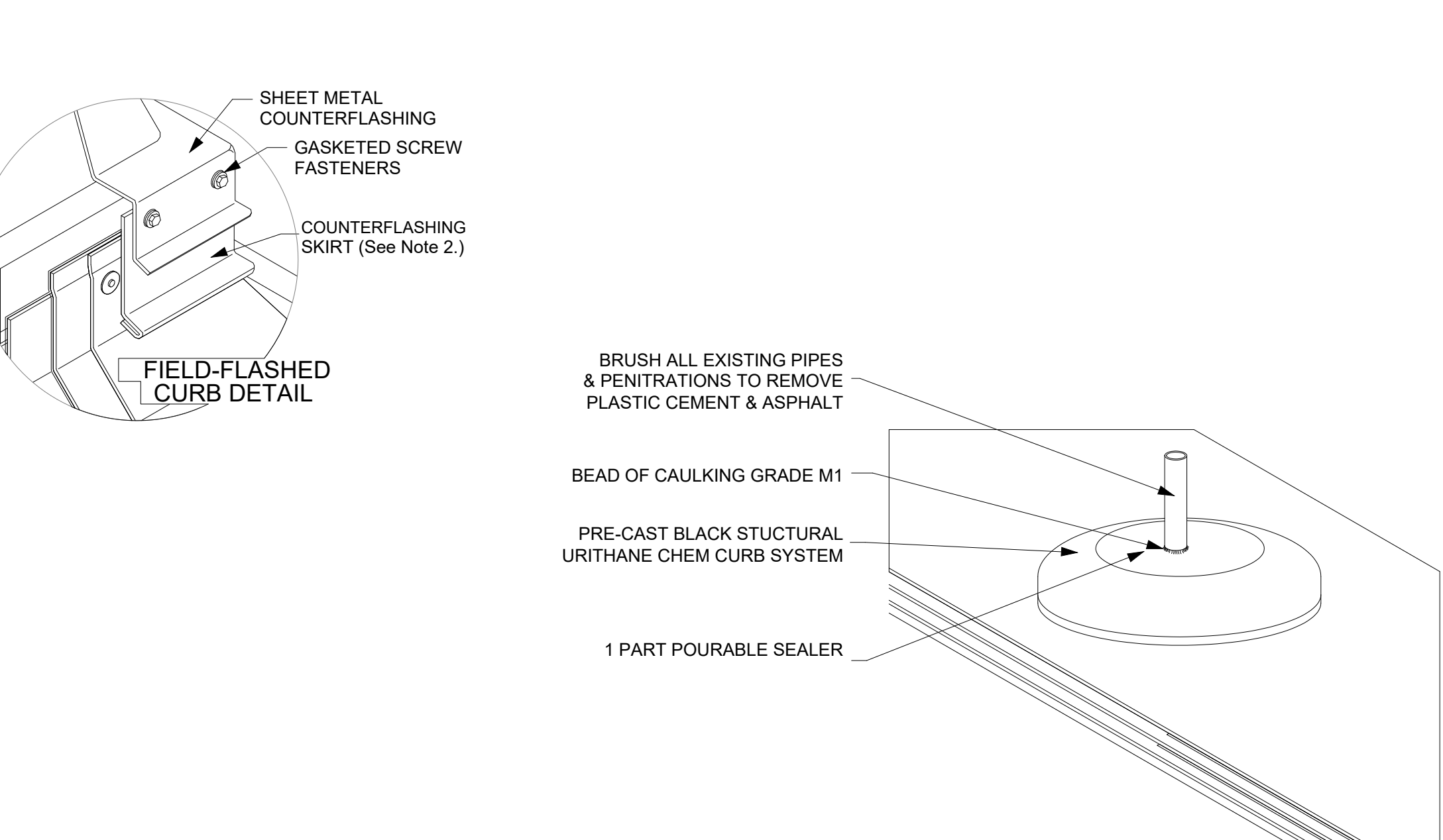
**05 VENT DETAIL**  
 NOT TO SCALE



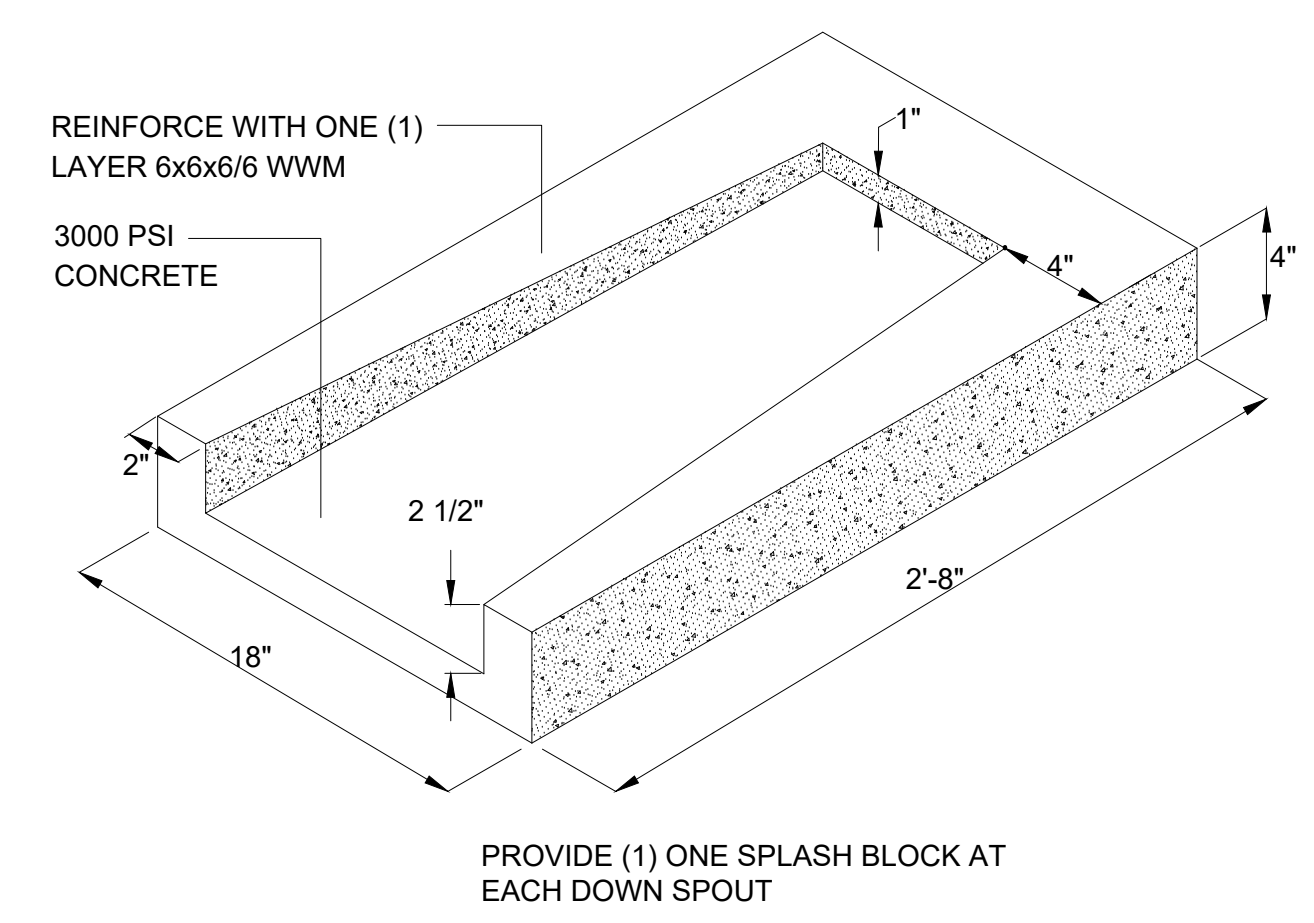
**06 ROOF HATCH DETAIL**  
 NOT TO SCALE



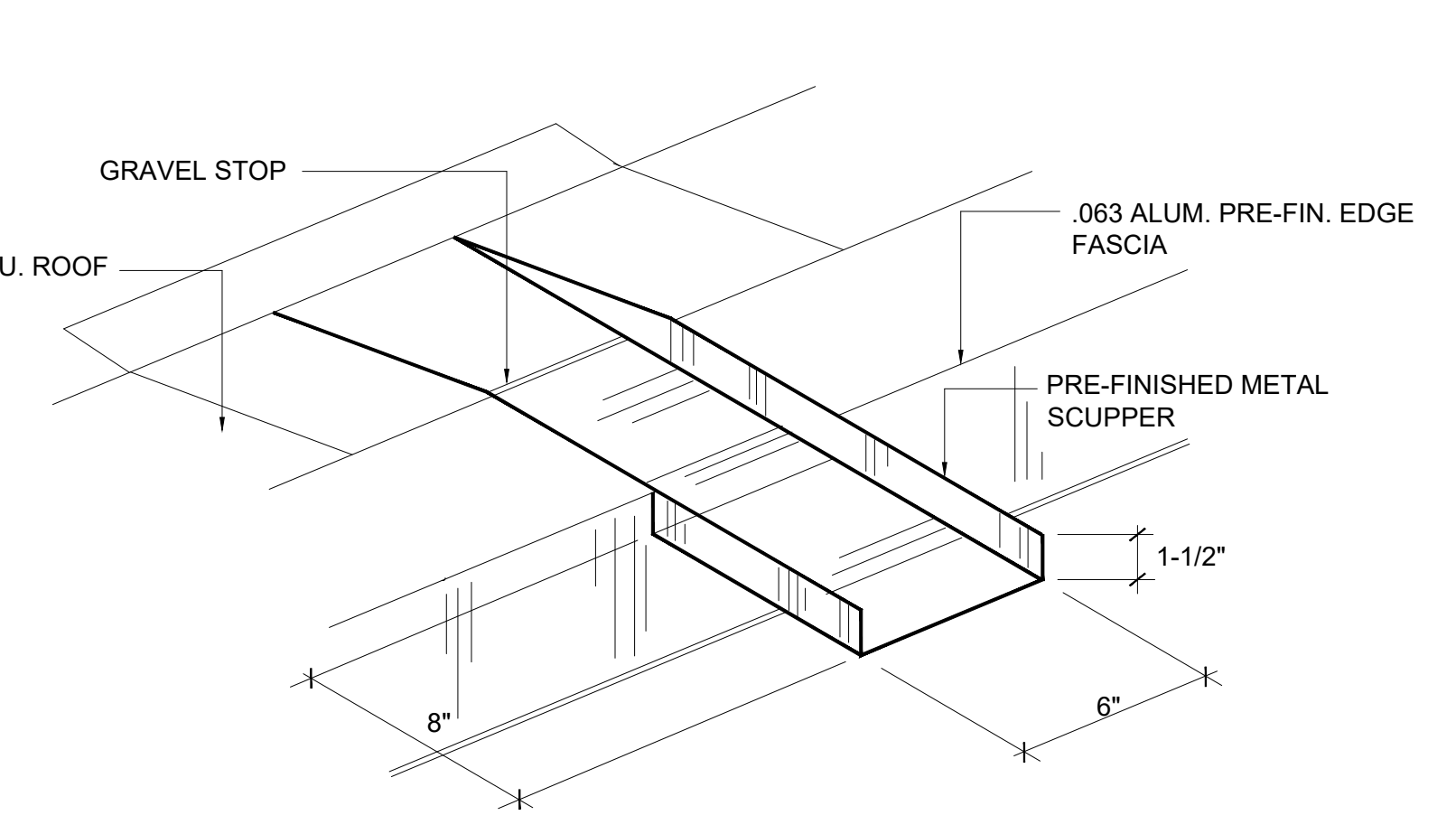
**07 POWER VENT DETAIL**  
 NOT TO SCALE



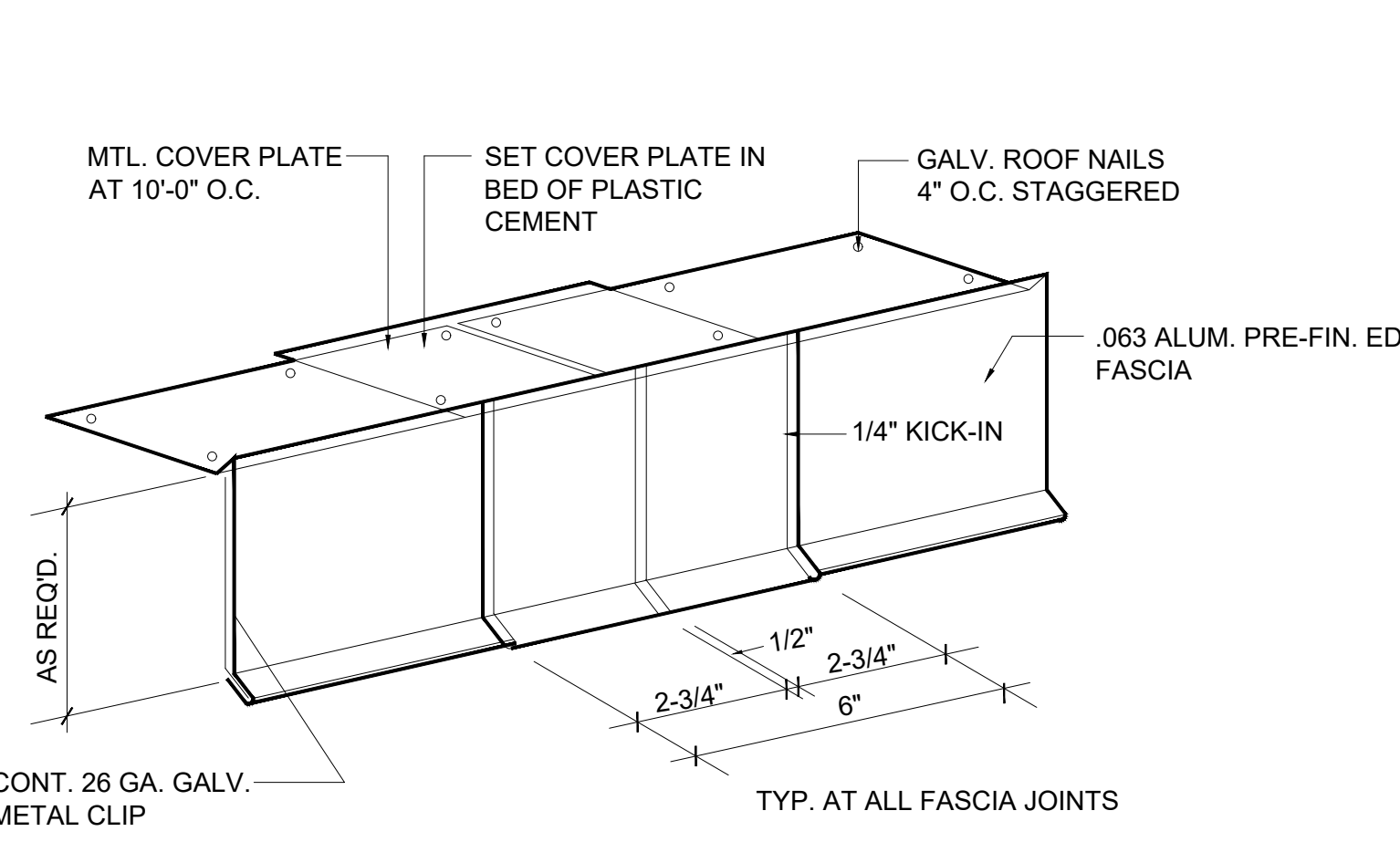
**08 CHEM CURB DETAIL**  
 NOT TO SCALE



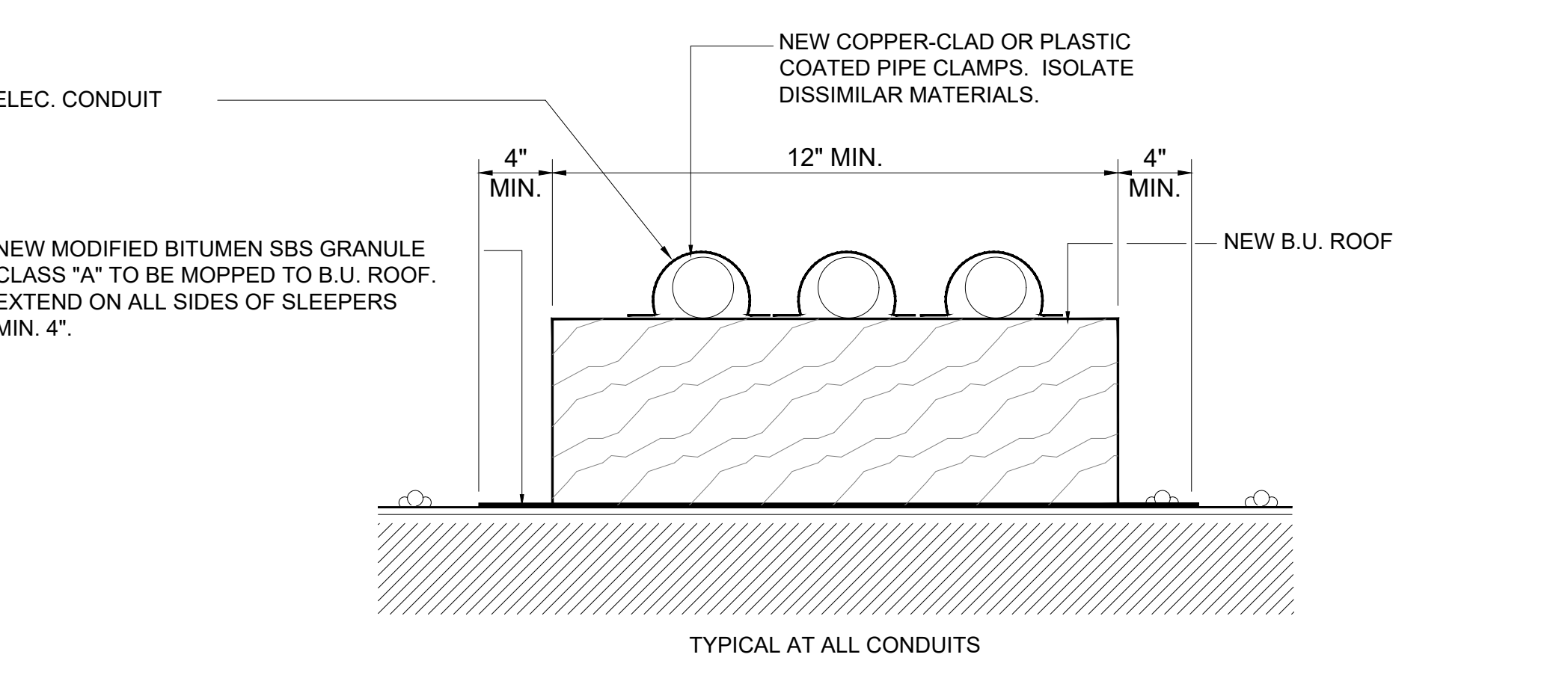
**09 SPLASH BLOCK DETAIL**  
 SCALE = NONE



**10 SHEET METAL SCUPPER DETAIL**  
 SCALE 1/2\"/>

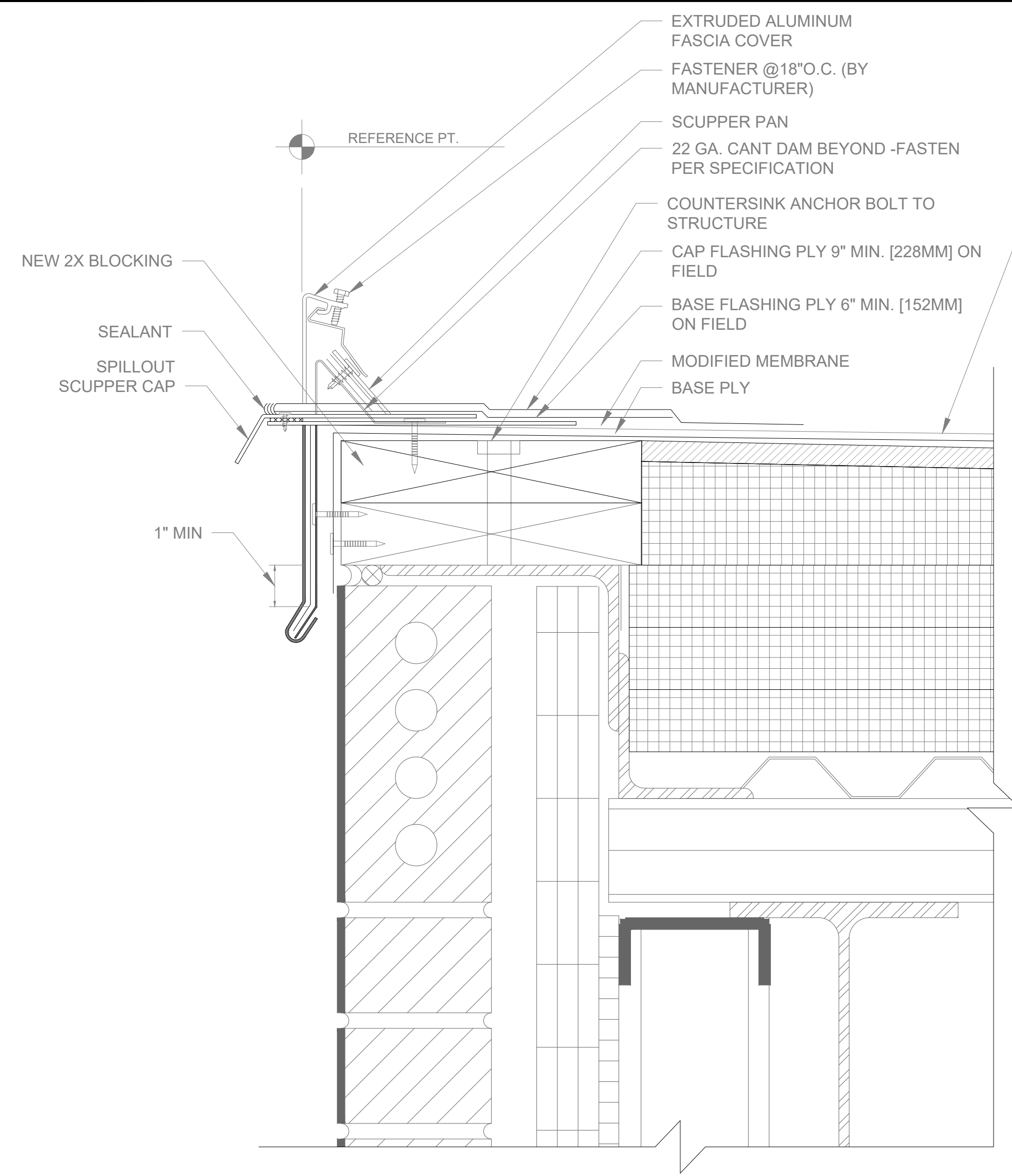


**11 PRE-FINISHED MTL. FASCIA DTL.**  
 SCALE 3\"/>



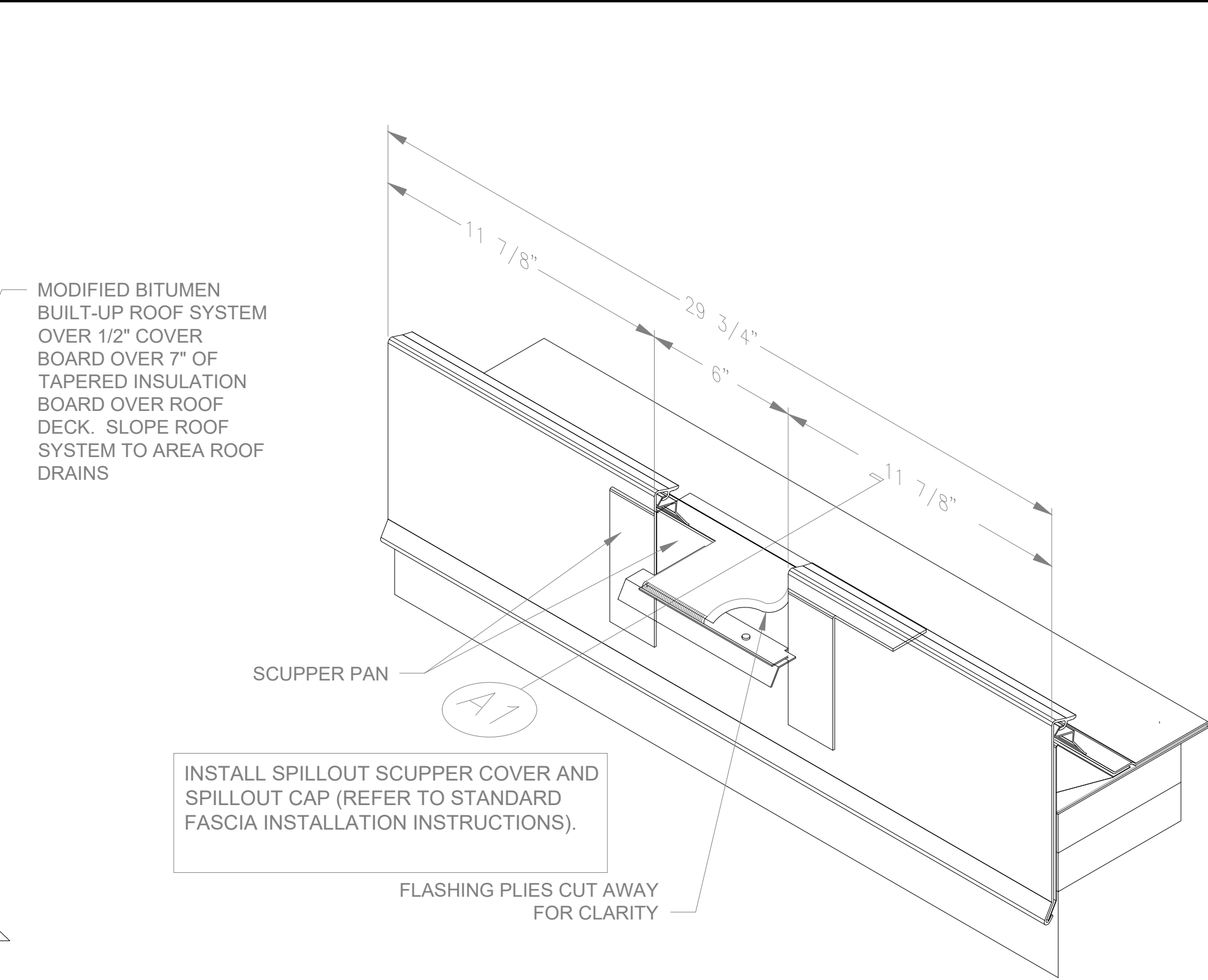
**12 SLEEPER DETAIL**  
 SCALE 3\"/>



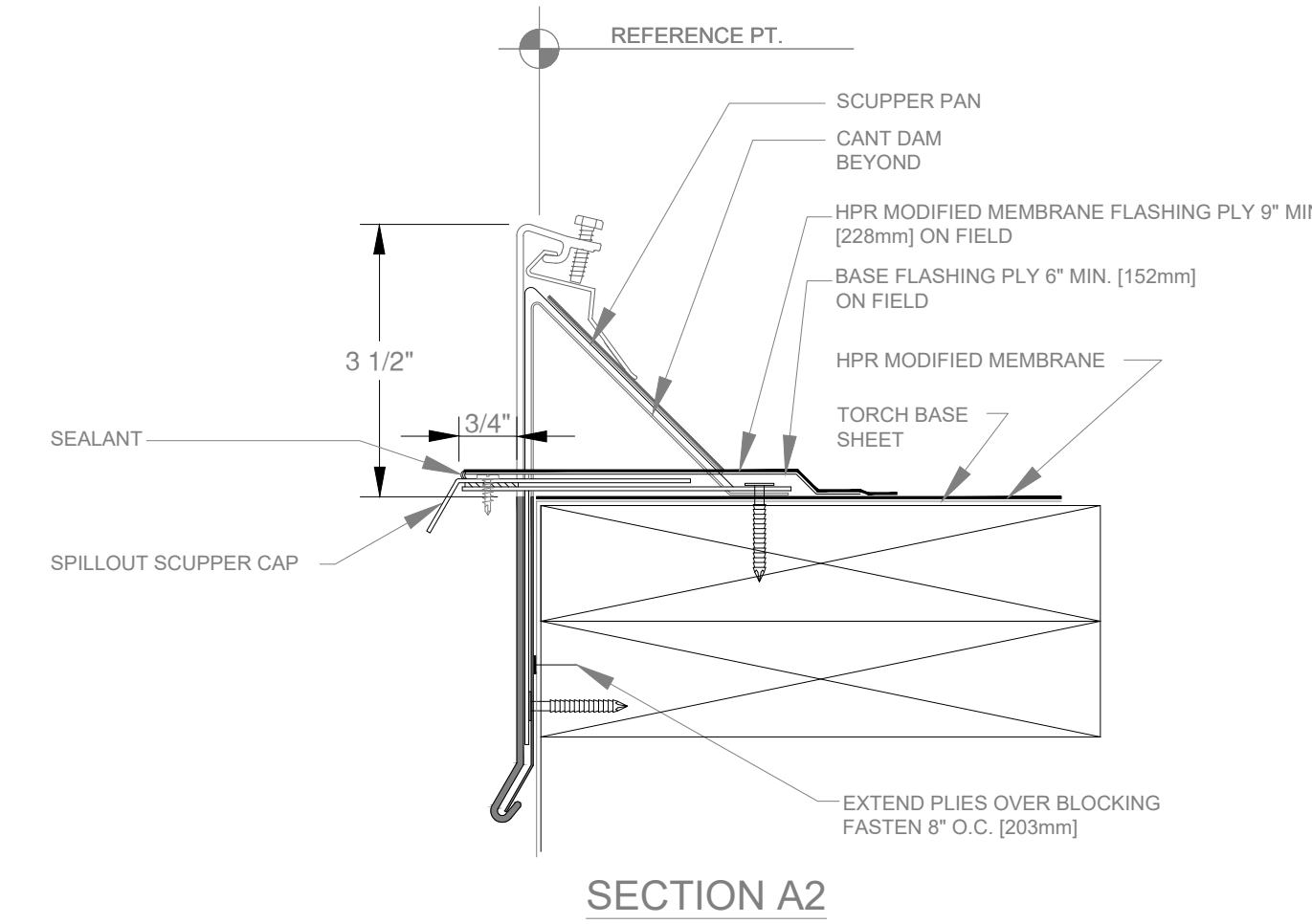


SECTION A1

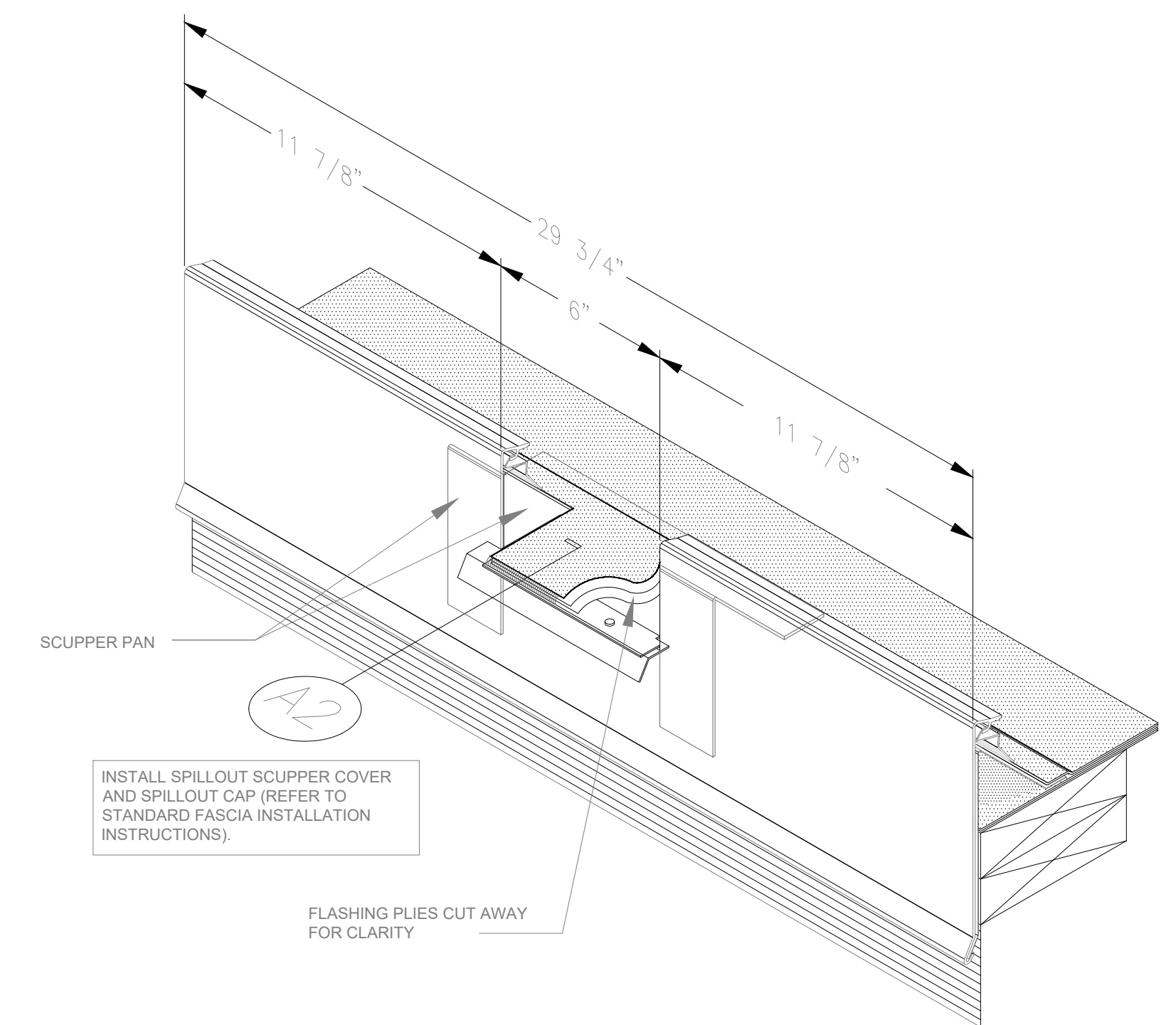
**01 ROOFING EDGE DETAIL AND ASSEMBLY DETAIL**  
NOT TO SCALE



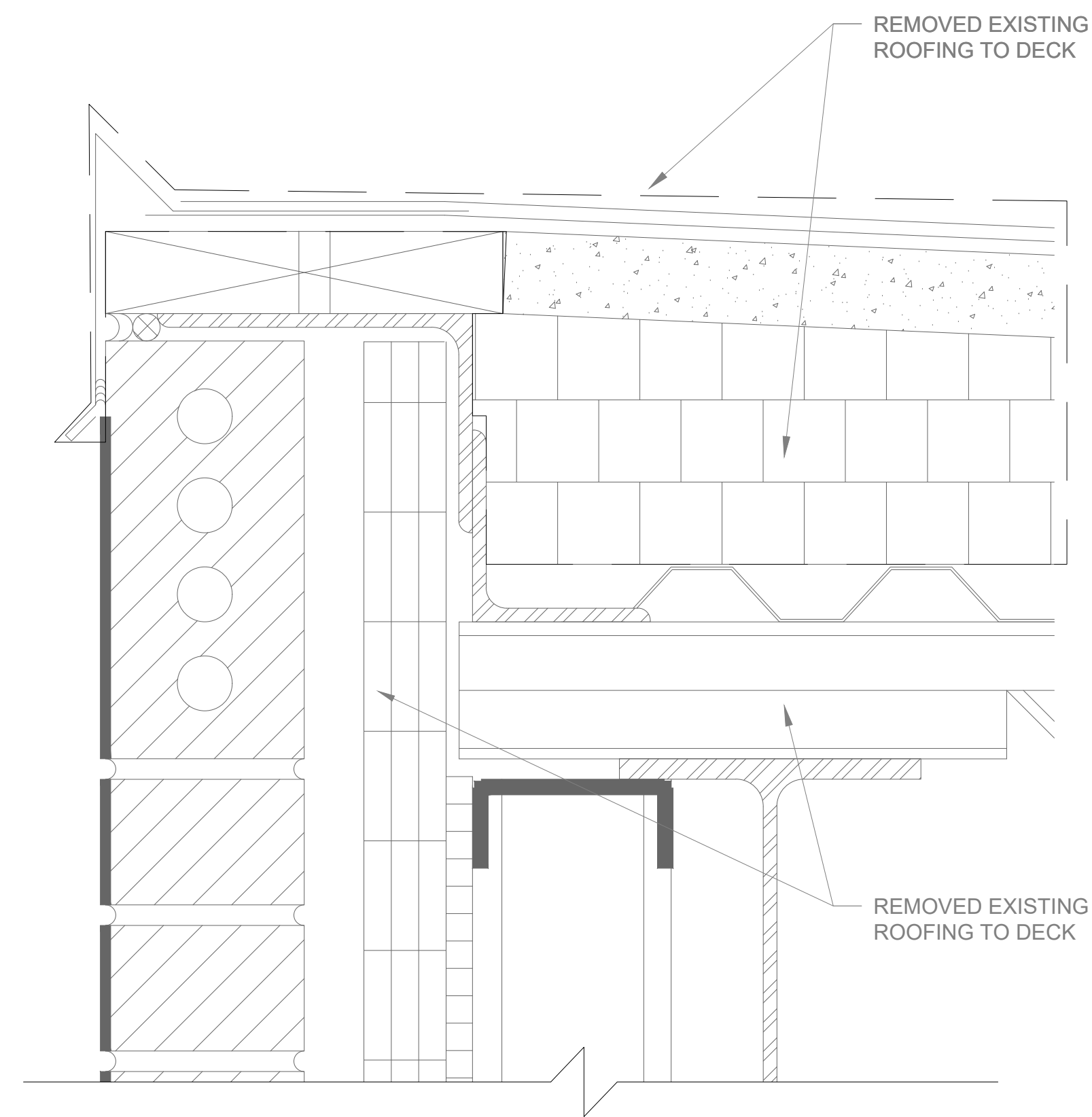
**02 SCUPPER ORTHOGRAPHIC DETAIL**  
NOT TO SCALE



**03 SCUPPER THROUGH ROOF EDGE**  
NOT TO SCALE



**04 BUILT UP ROOF DETAIL**  
NOT TO SCALE



**05 DEMOLITION DETAIL FOR ROOF TEAR OFF**  
NOT TO SCALE

No.	REVISIONS	BY
1	11/22/24 DRAWING CORRECTIONS	GMS

**GMS ARCHITECTS**  
1150 Paredes Line Rd.  
Brownsville, TX 78526  
(956) 546-0110  
fax (956) 546-0196

**IDEA Public Schools - Exterior Envelope Repairs**

**IDEA** IDEA Mission  
Public Schools Mission, Texas

**IDEA** Public Schools

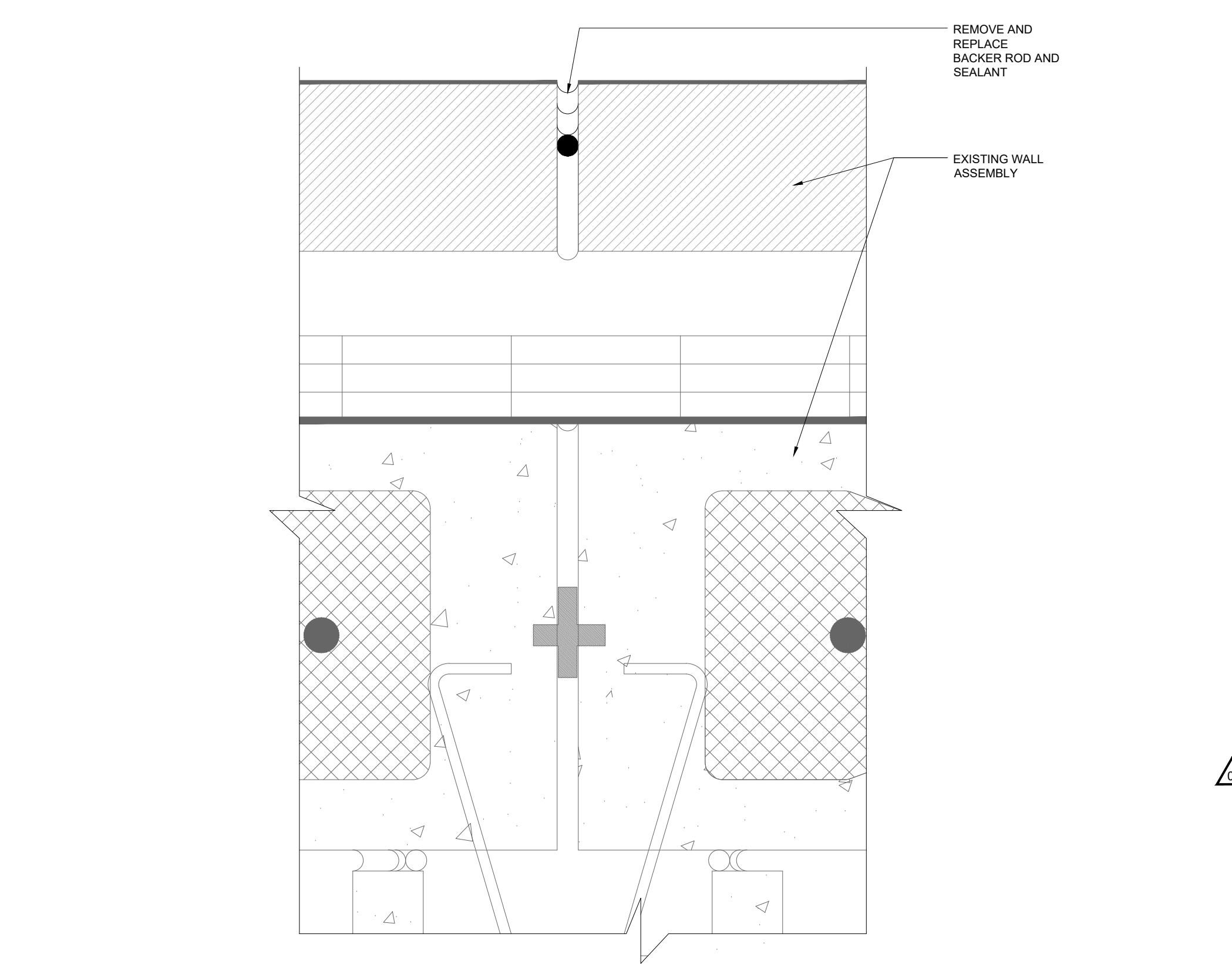
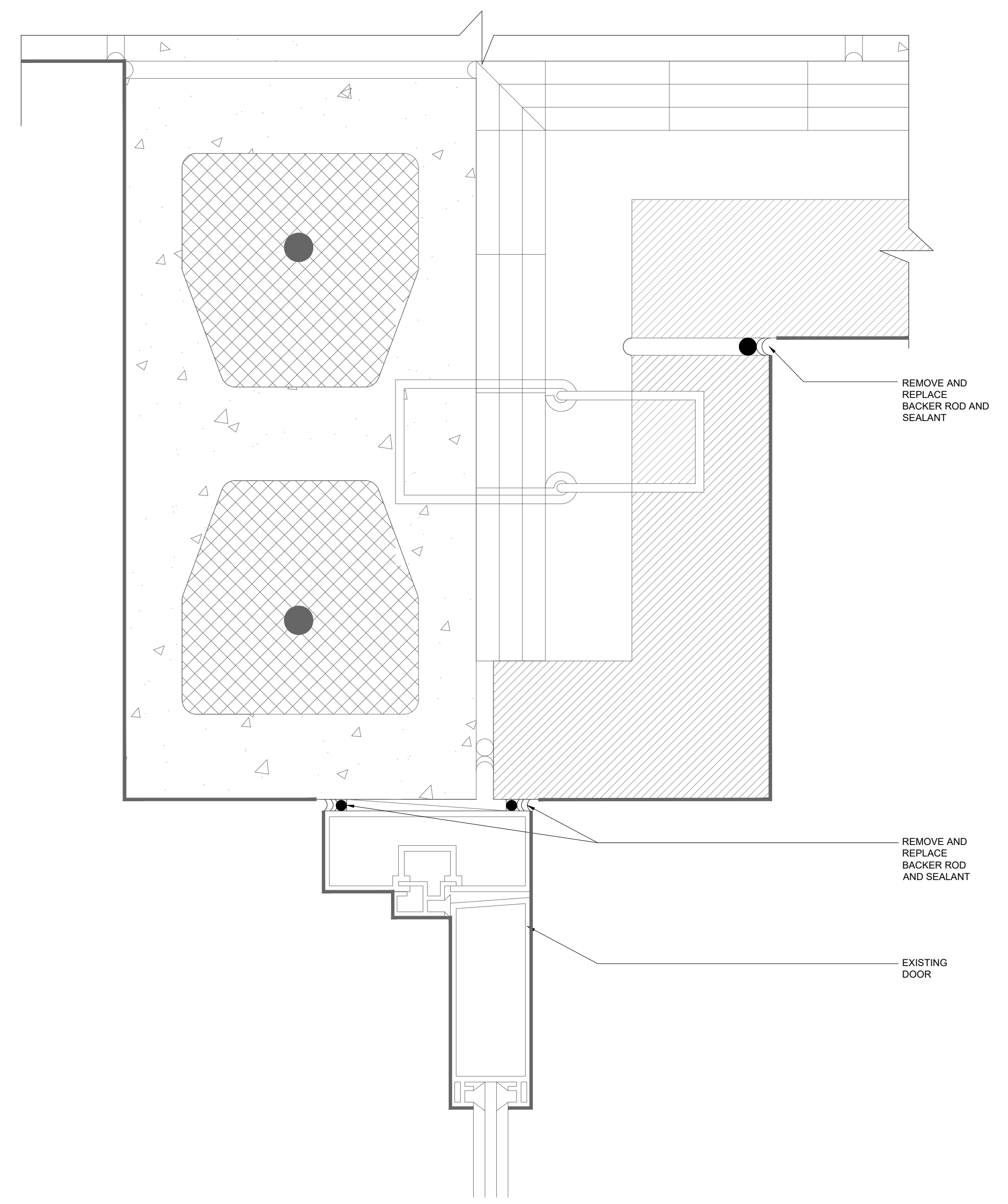
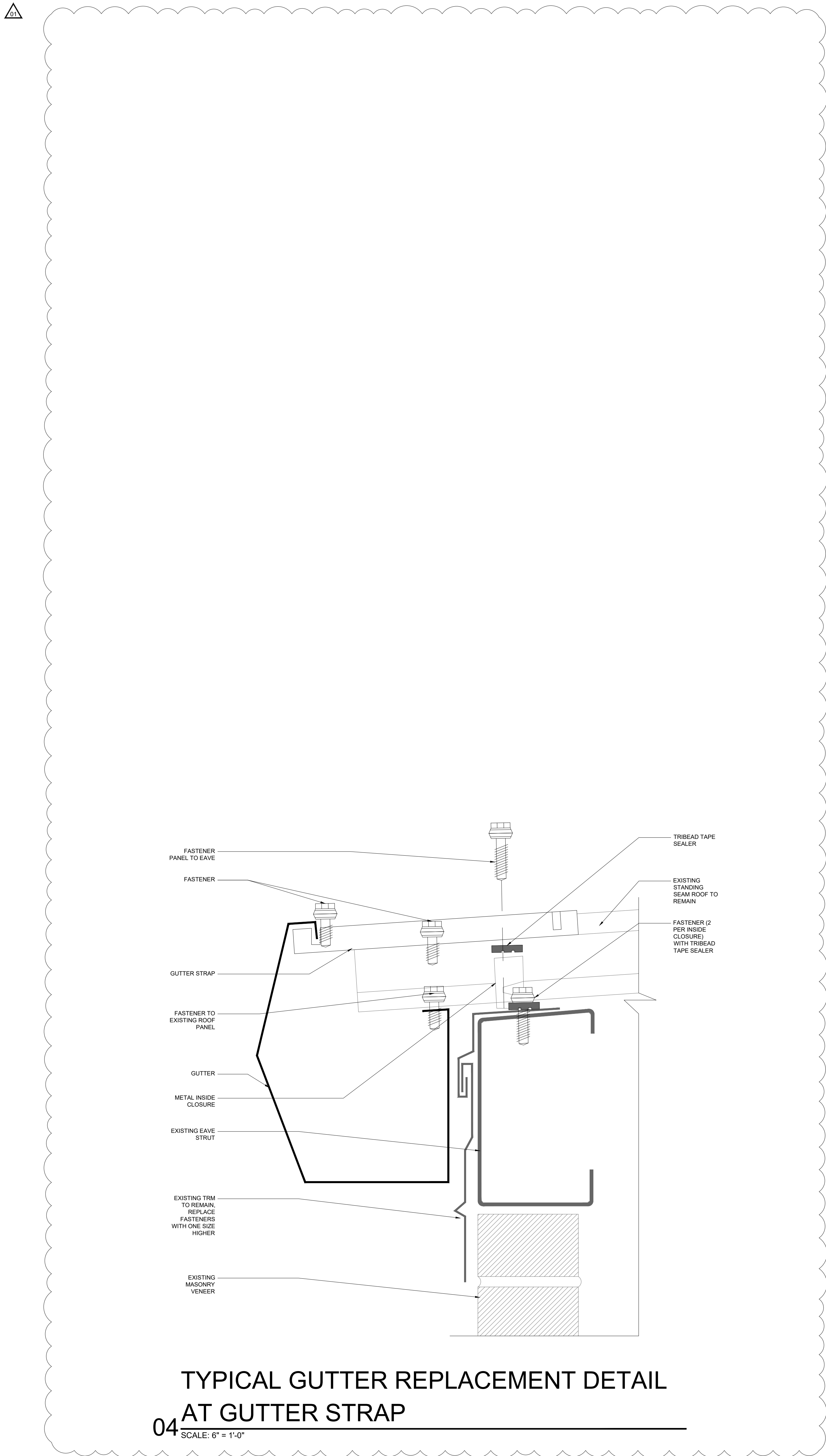


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Date: AUGUST 2024  
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Project Architect: Roan Gomez, AIA  
Drawn By: RG, CG  
Job No: Exterior Envelope  
Sheet:

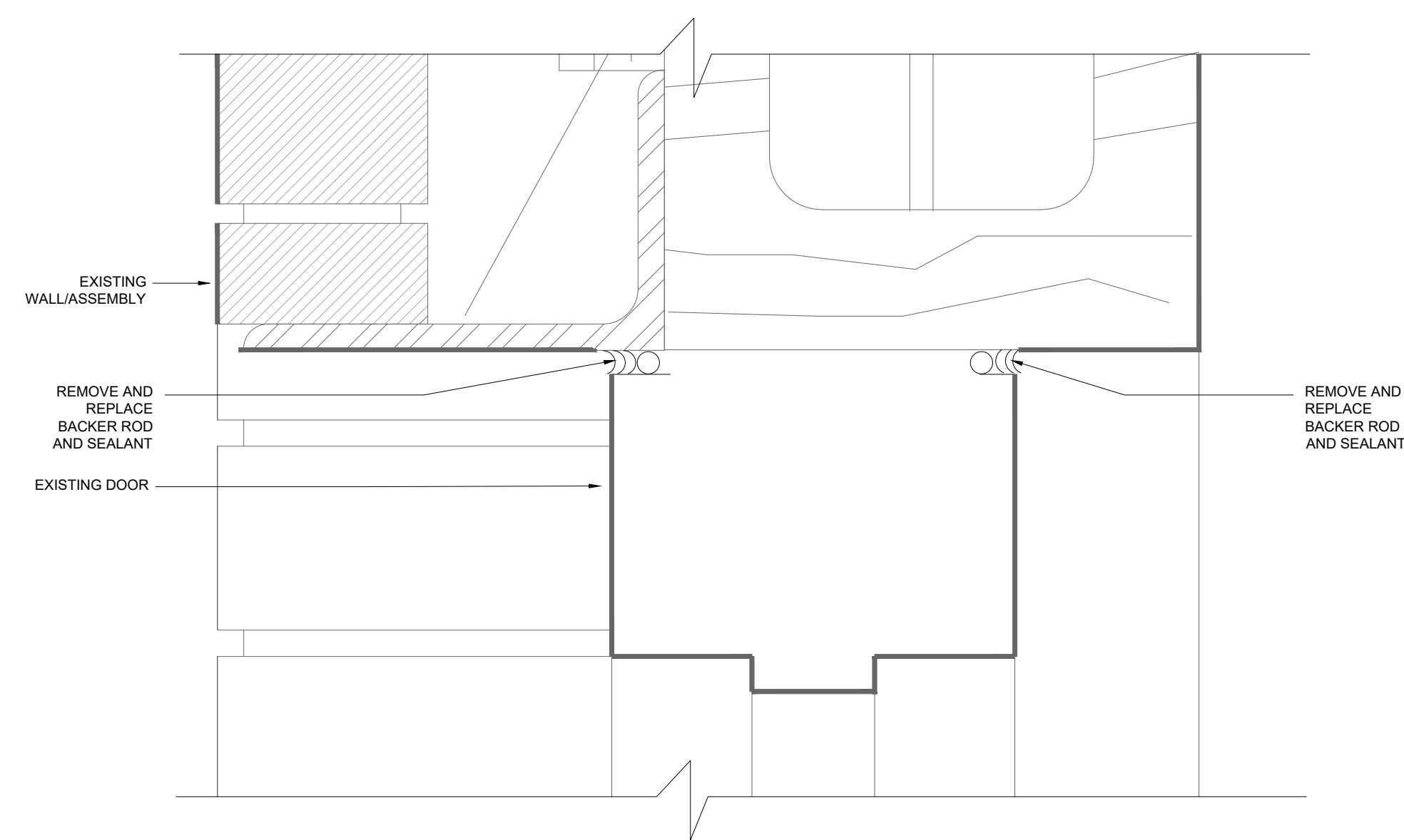
IDEA MISSION

**A3.02**

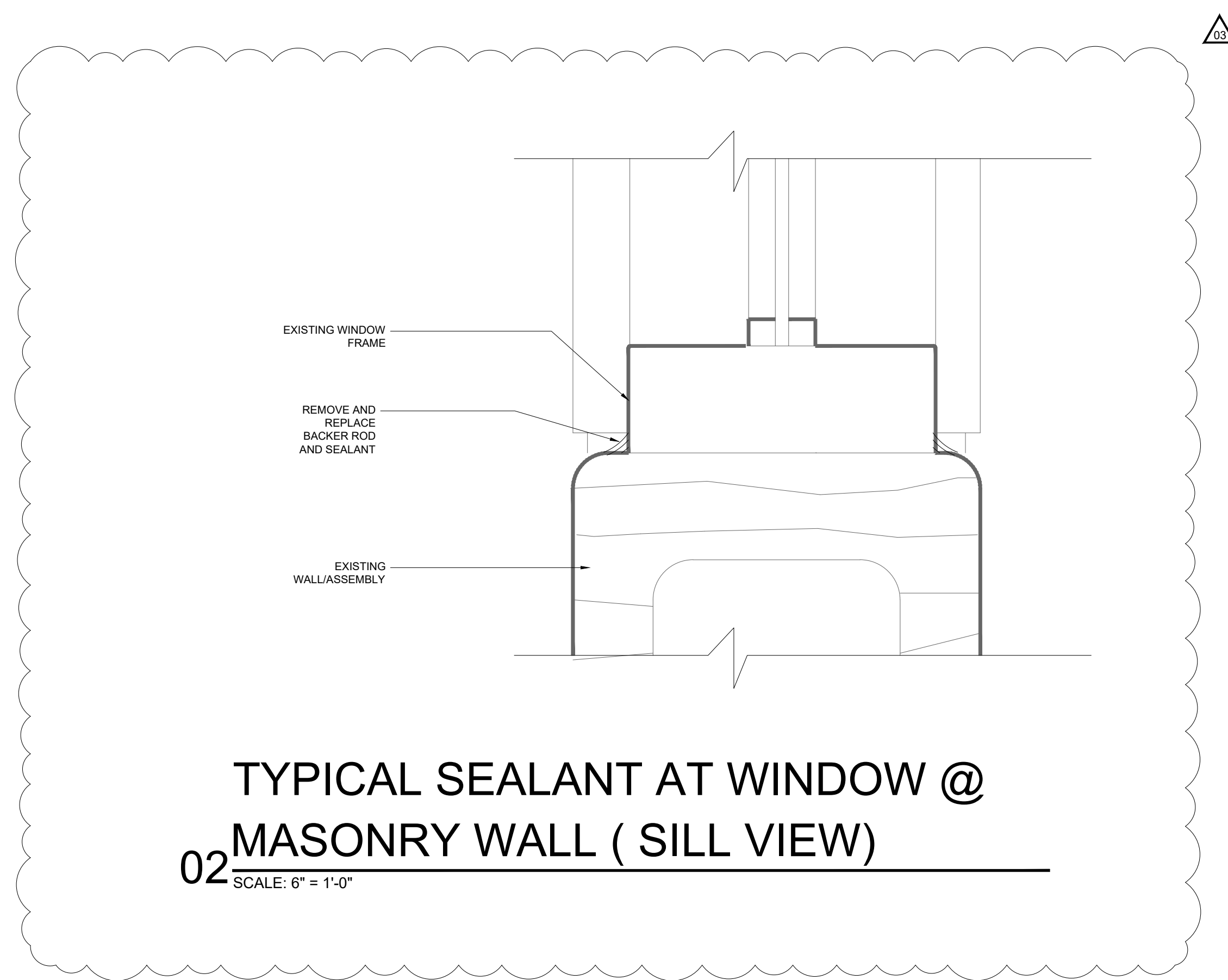




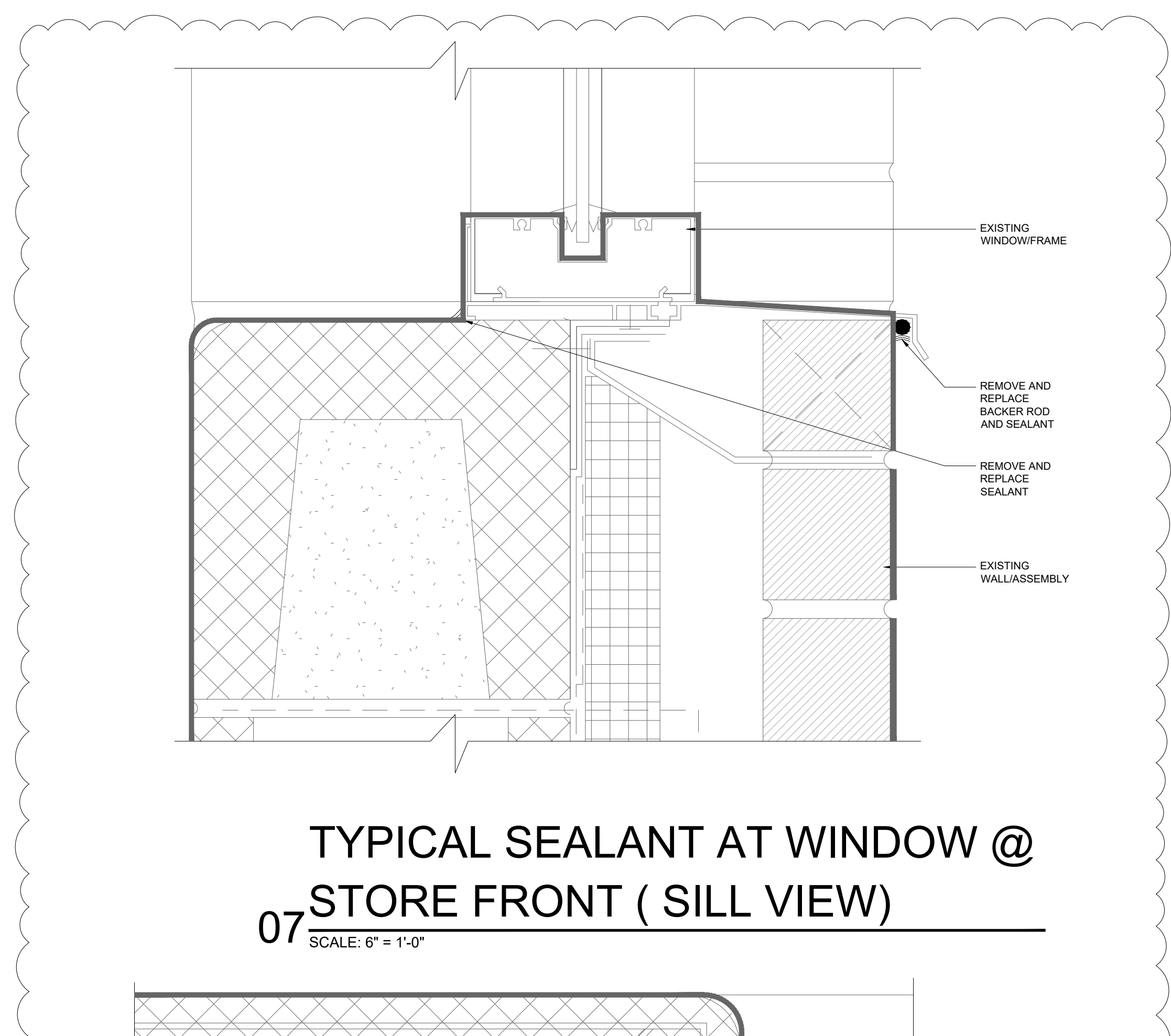




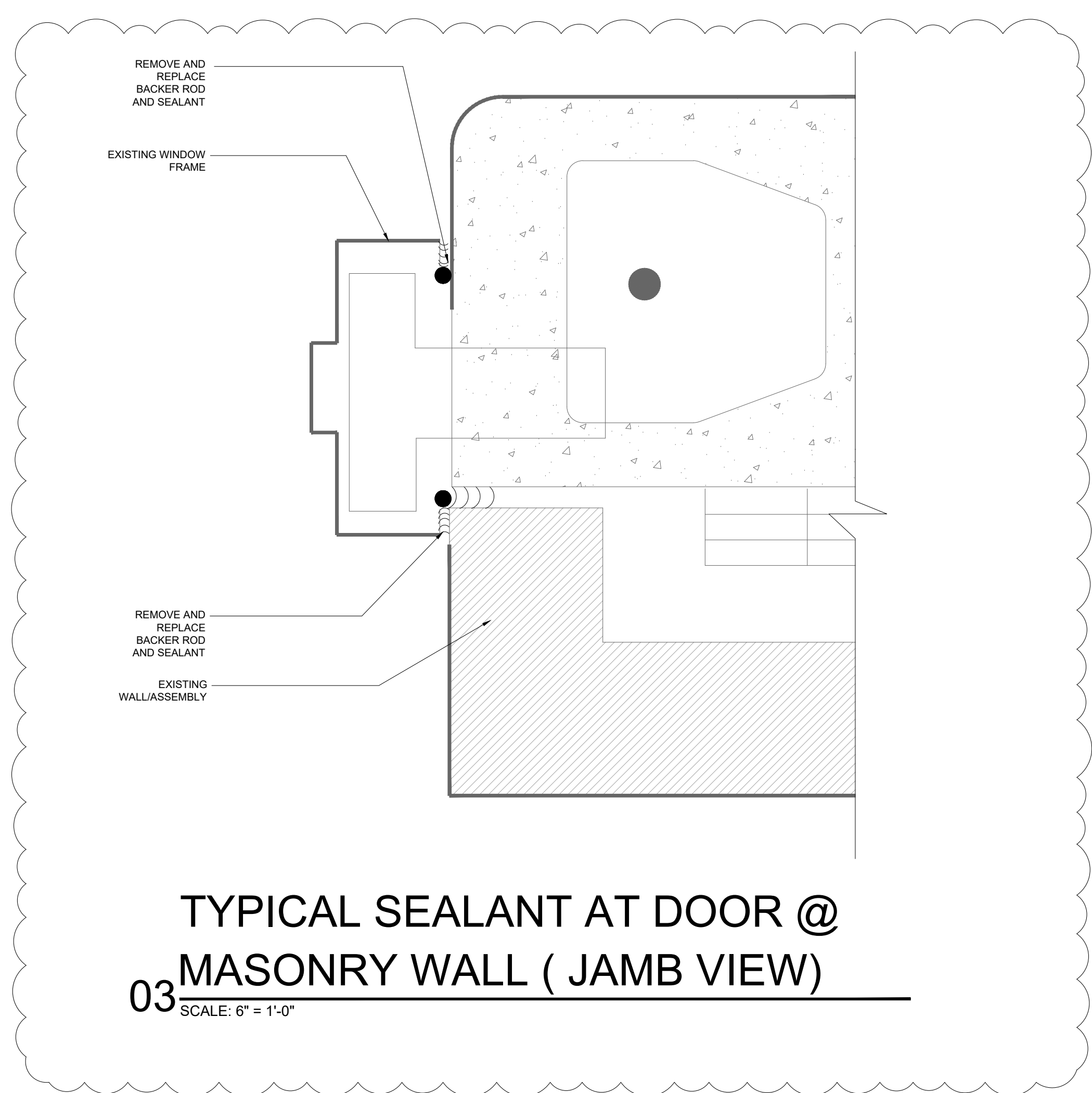
**01** TYPICAL SEALANT AT DOOR @ MASONRY WALL ( HEADER VIEW)  
 SCALE: 6" = 1'-0"



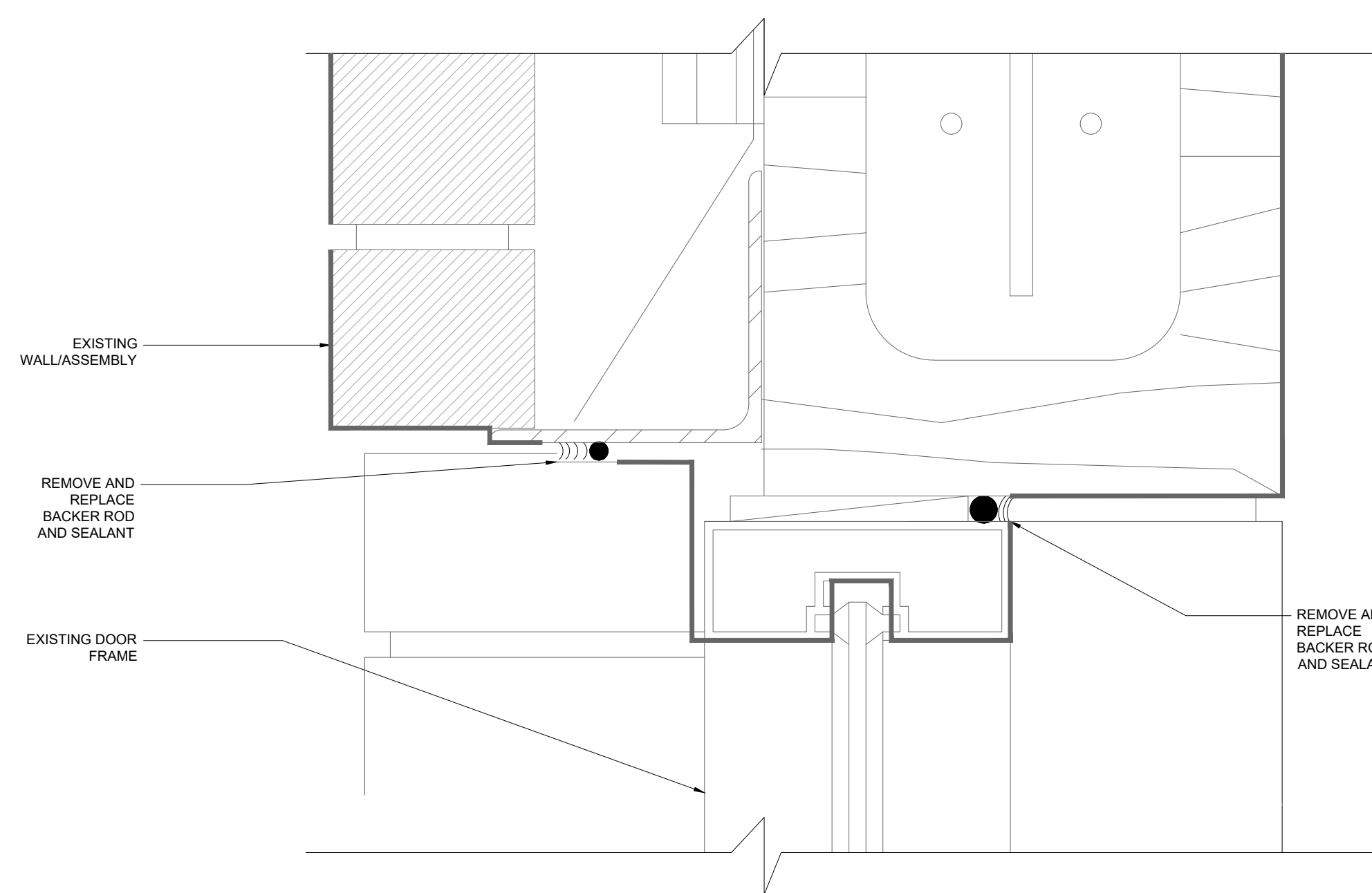
**02** TYPICAL SEALANT AT WINDOW @ MASONRY WALL ( SILL VIEW)  
 SCALE: 6" = 1'-0"



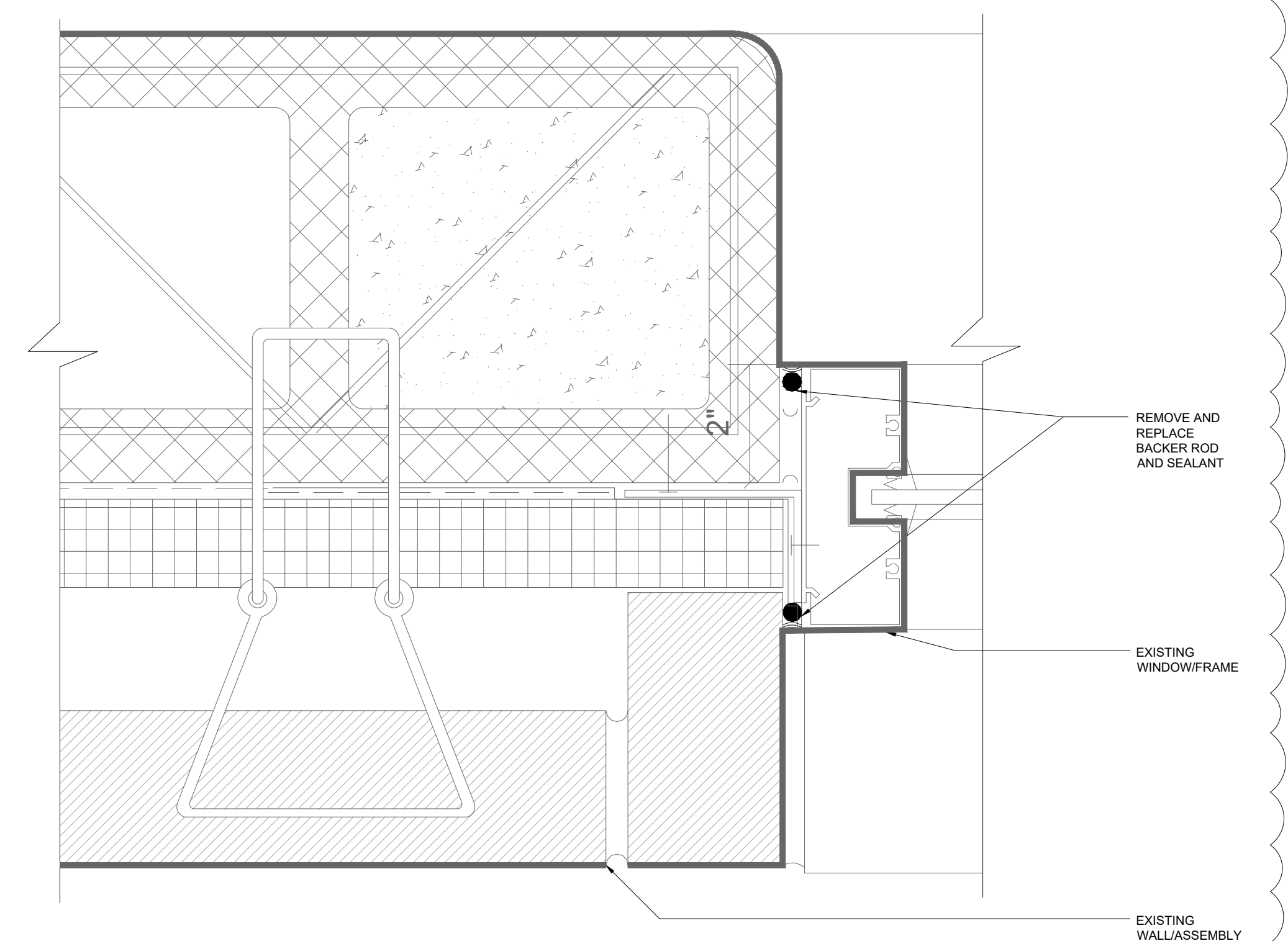
**07** TYPICAL SEALANT AT WINDOW @ STORE FRONT ( SILL VIEW)  
 SCALE: 6" = 1'-0"



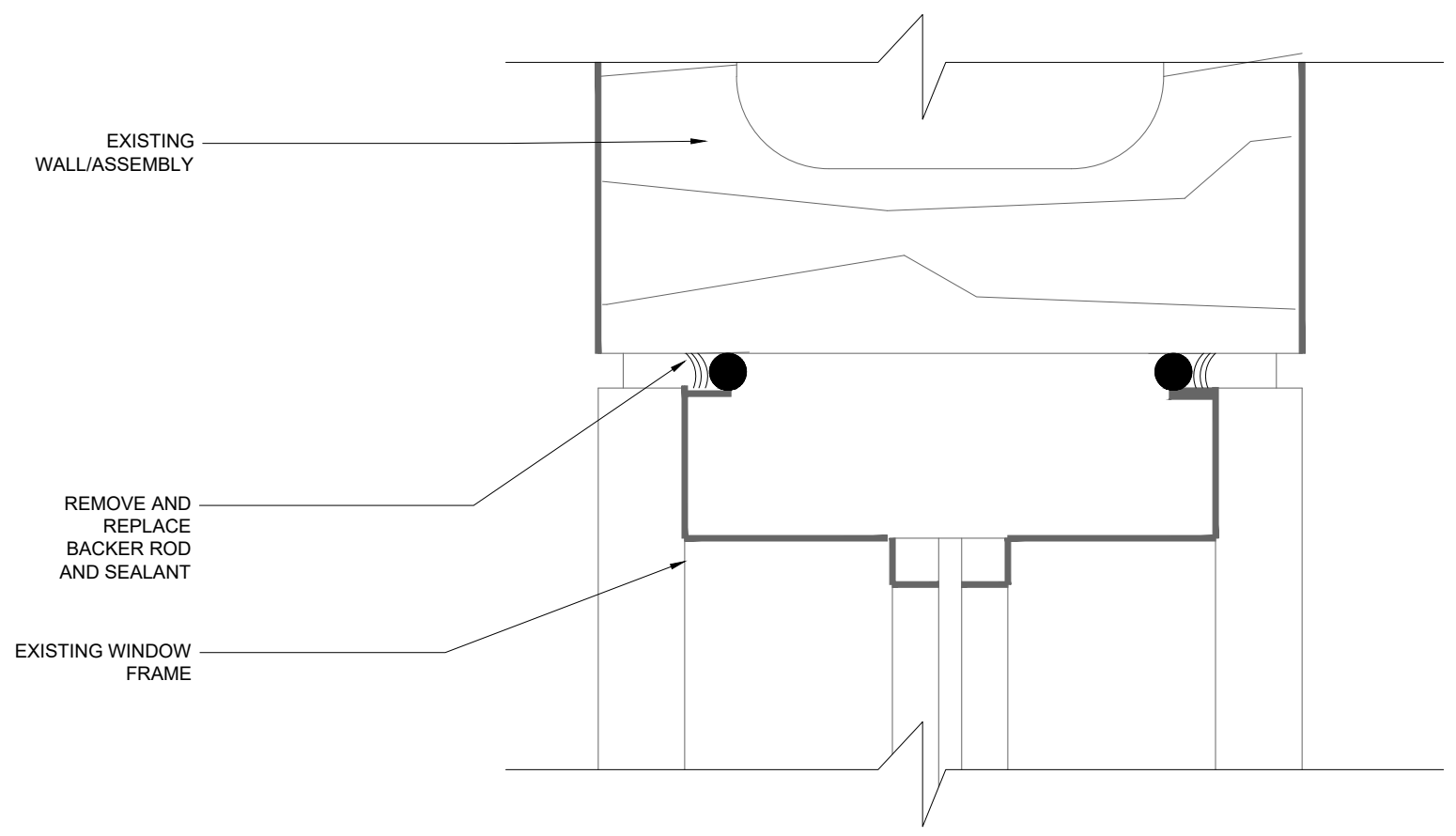
**03** TYPICAL SEALANT AT DOOR @ MASONRY WALL ( JAMB VIEW)  
 SCALE: 6" = 1'-0"



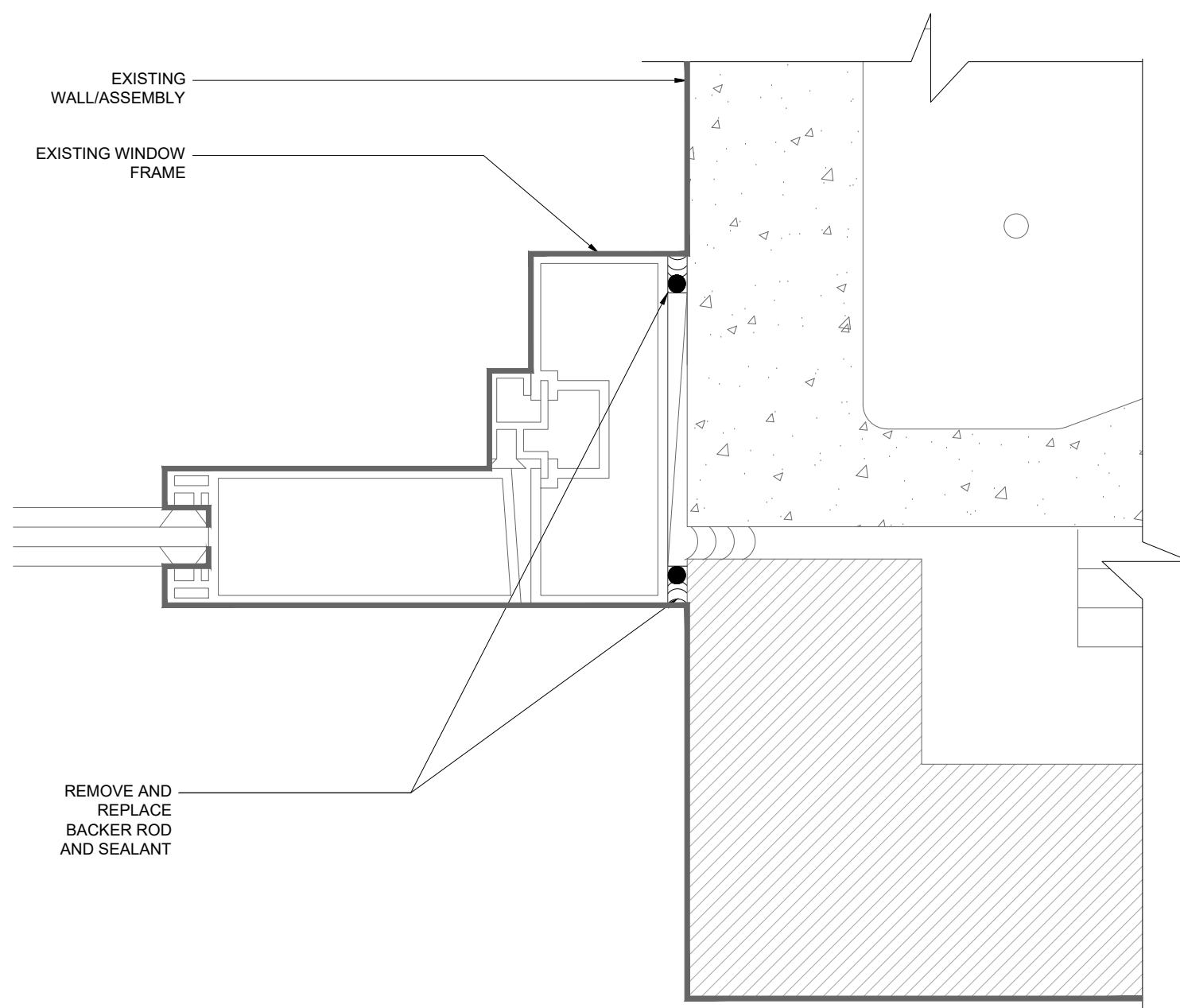
**04** TYPICAL SEALANT AT STOREFRONT DOOR @ MASONRY WALL ( HEADER VIEW)  
 SCALE: 6" = 1'-0"



**08** TYPICAL SEALANT AT WINDOW @ STORE FRONT ( JAMB VIEW)  
 SCALE: 6" = 1'-0"

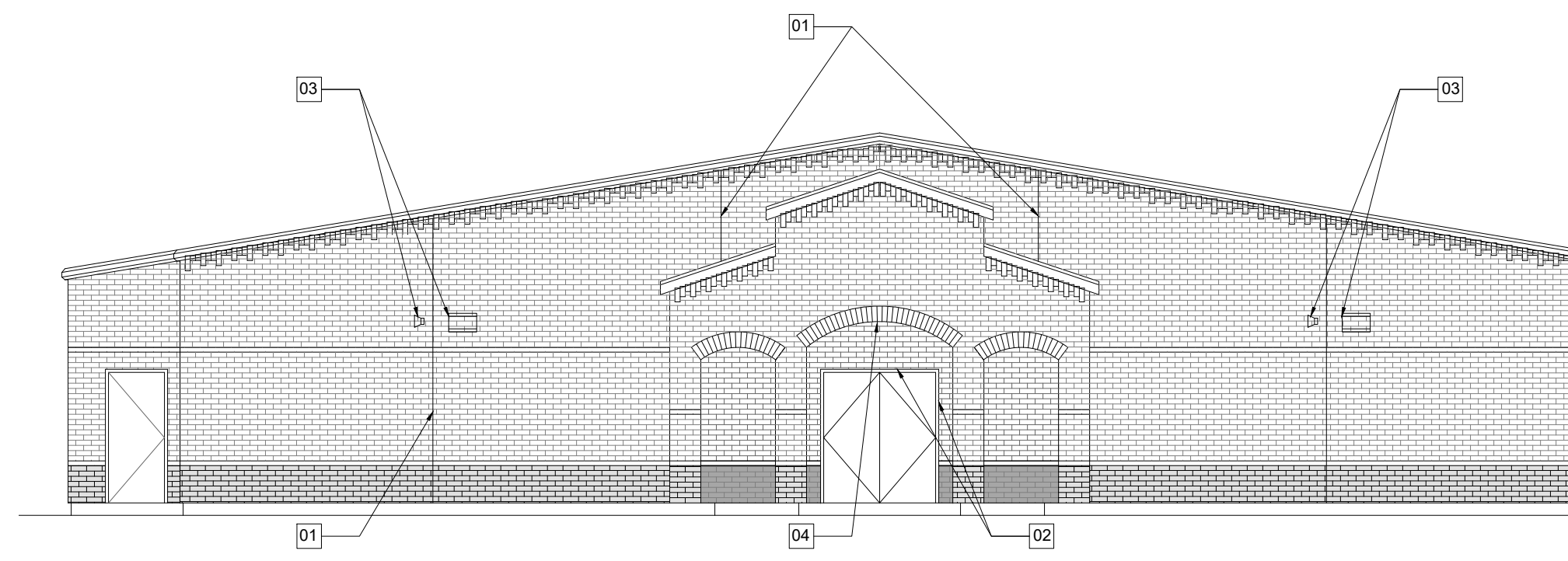


**05** TYPICAL SEALANT AT WINDOW @ CMU ( HEADER VIEW/JAMB SIM.)  
 SCALE: 6" = 1'-0"

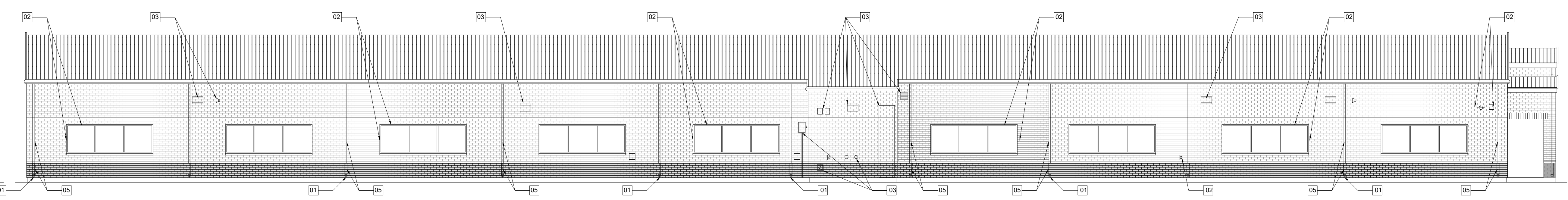


**06** TYPICAL SEALANT AT STOREFRONT DOOR @ MASONRY WALL ( JAMB VIEW)  
 SCALE: 6" = 1'-0"

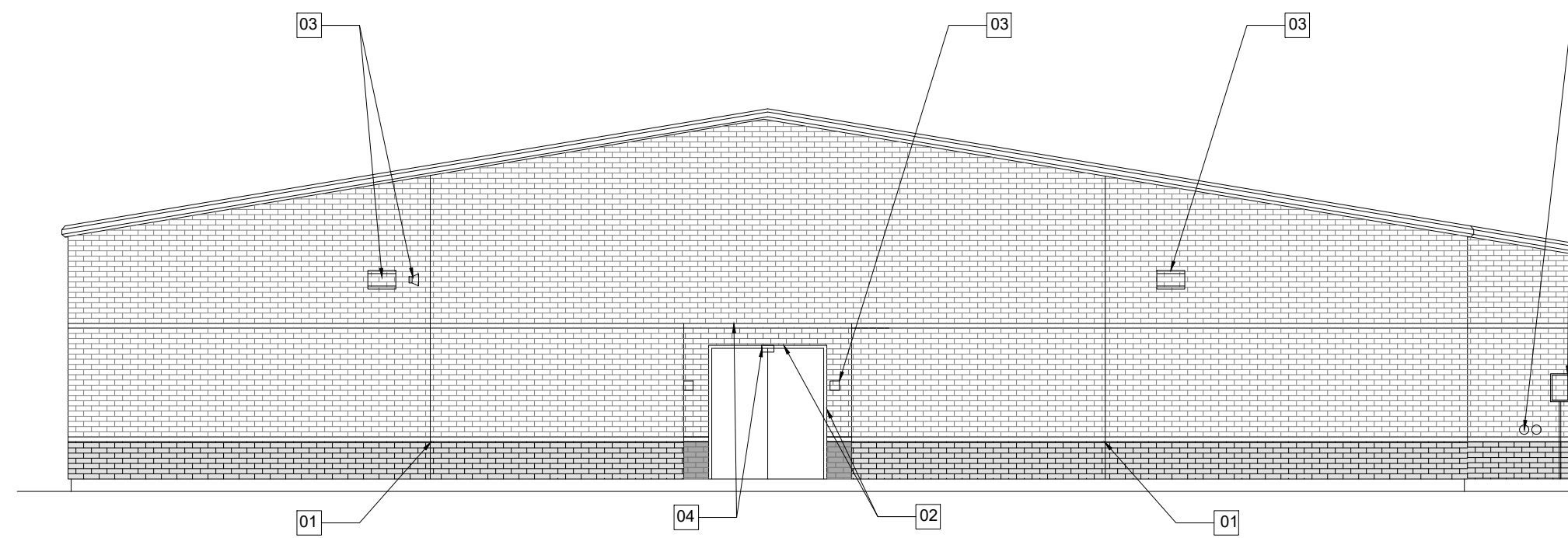




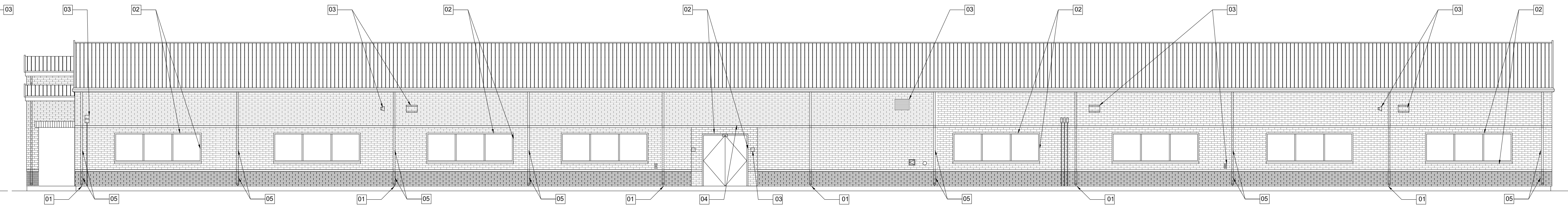
**01 EAST ELEVATION**  
 SCALE : 1/8" = 1'-0"



**02 NORTH ELEVATION**  
 SCALE : 1/8" = 1'-0"

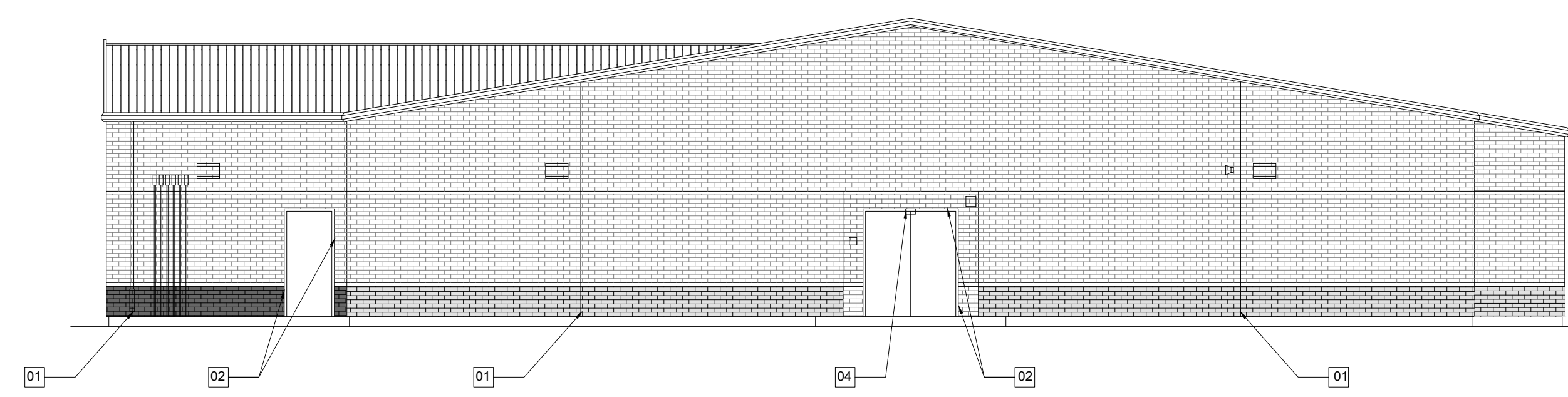


**03 WEST ELEVATION**  
 SCALE : 1/8" = 1'-0"

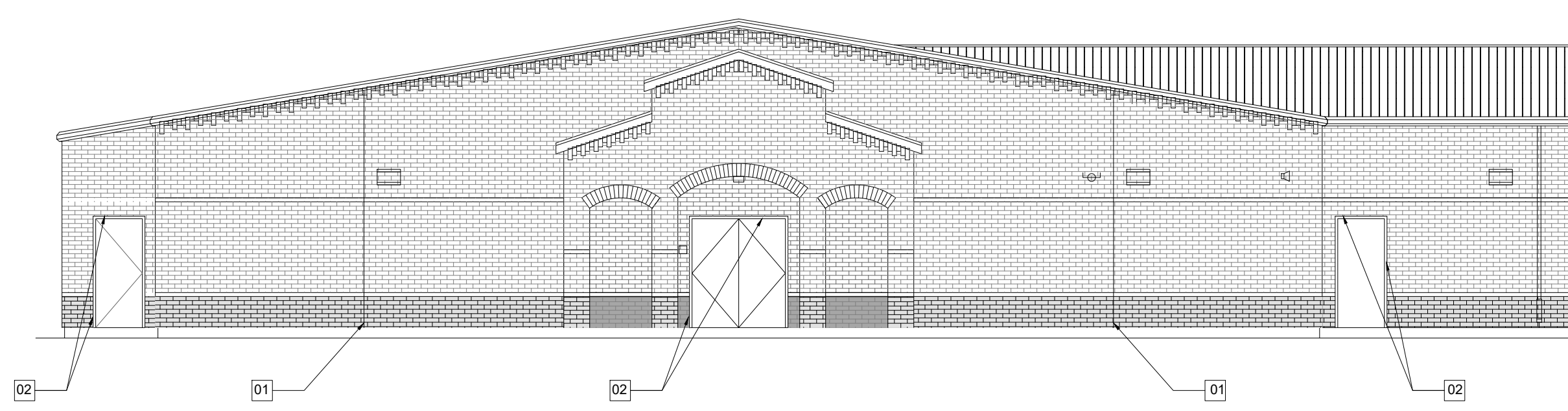


**04 SOUTH ELEVATION**  
 SCALE : 1/8" = 1'-0"

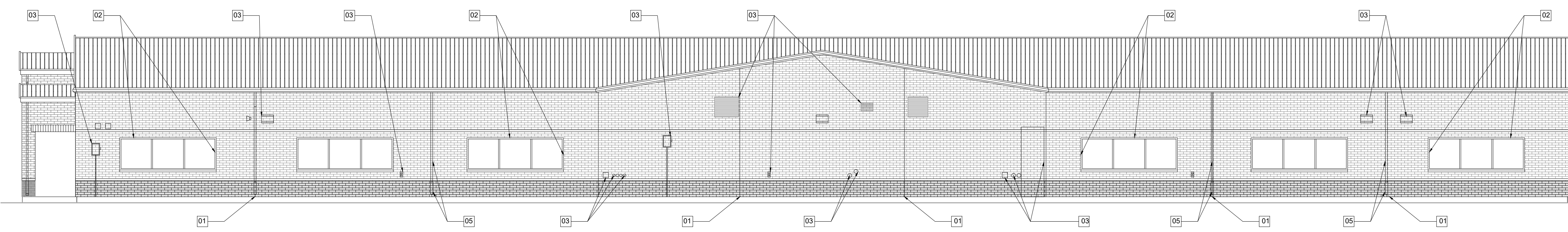
**BUILDING 'A'**



**05 WEST ELEVATION**  
 SCALE : 1/8" = 1'-0"

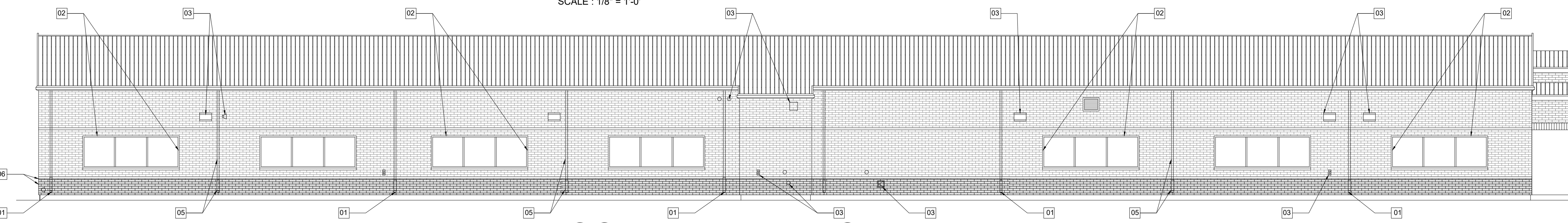


**06 EAST ELEVATION**  
 SCALE : 1/8" = 1'-0"



**07 NORTH ELEVATION**  
 SCALE : 1/8" = 1'-0"

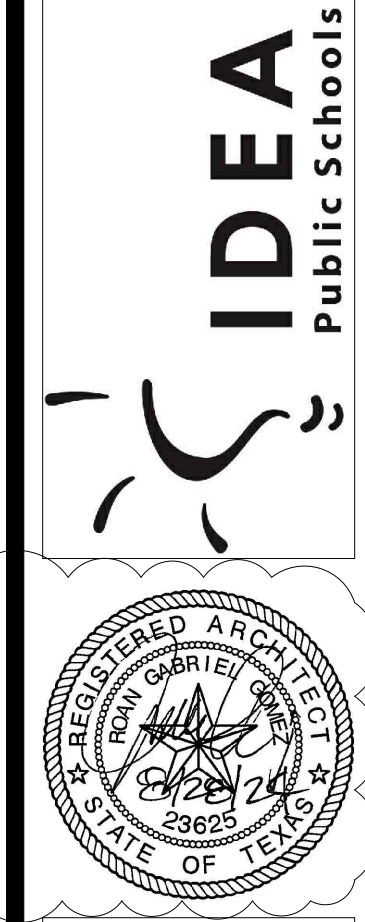
**BUILDING 'B'**



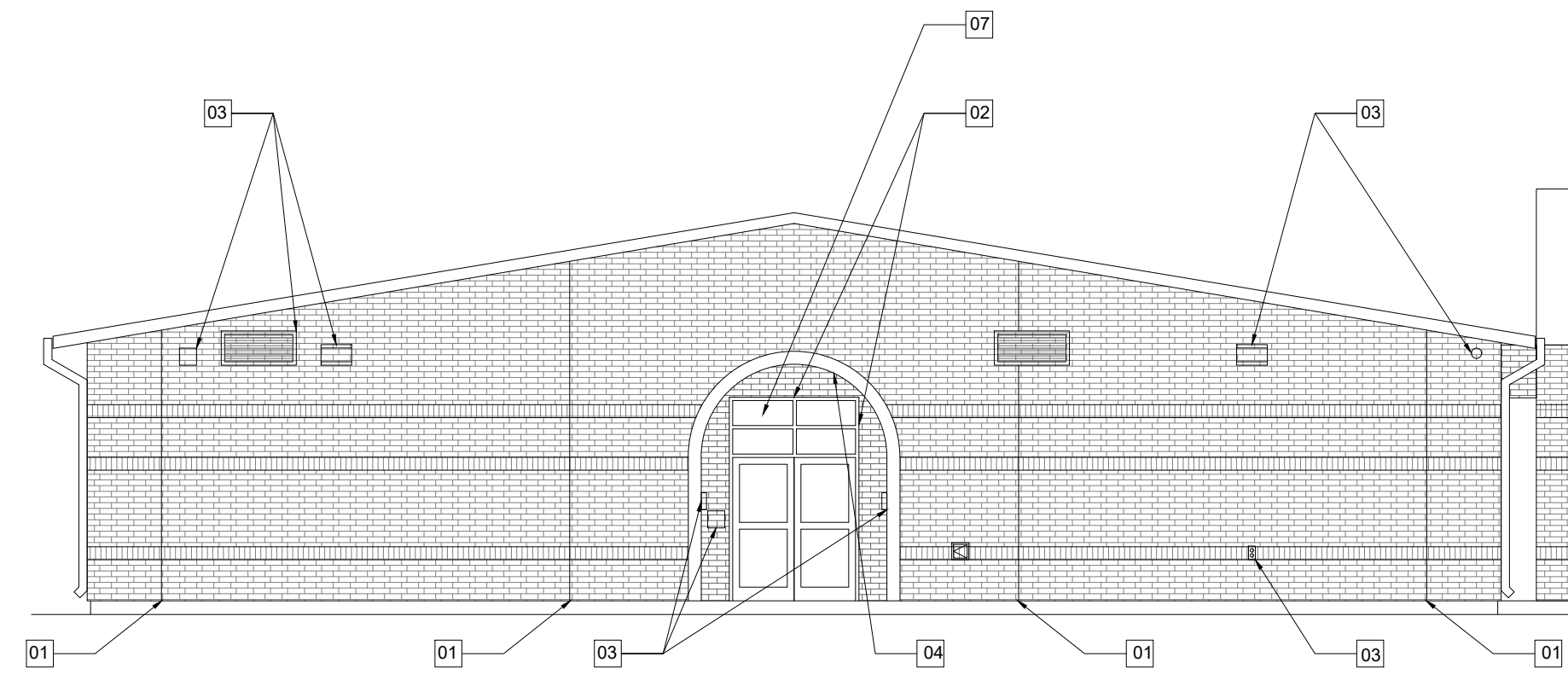
**08 SOUTH ELEVATION**  
 SCALE : 1/8" = 1'-0"

- BUILDING A: SCOPE OF WORK**
1. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
  2. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
  3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
  4. ADD BACKER ROD AND SEALANT TO ALL METAL INTERFACES ON EXTERIOR WALLS
  5. REPLACE GUTTERS AND DOWNSPOUTS THROUGHOUT PROJECT AND PROVIDE DOWNSPOUT BOOTS

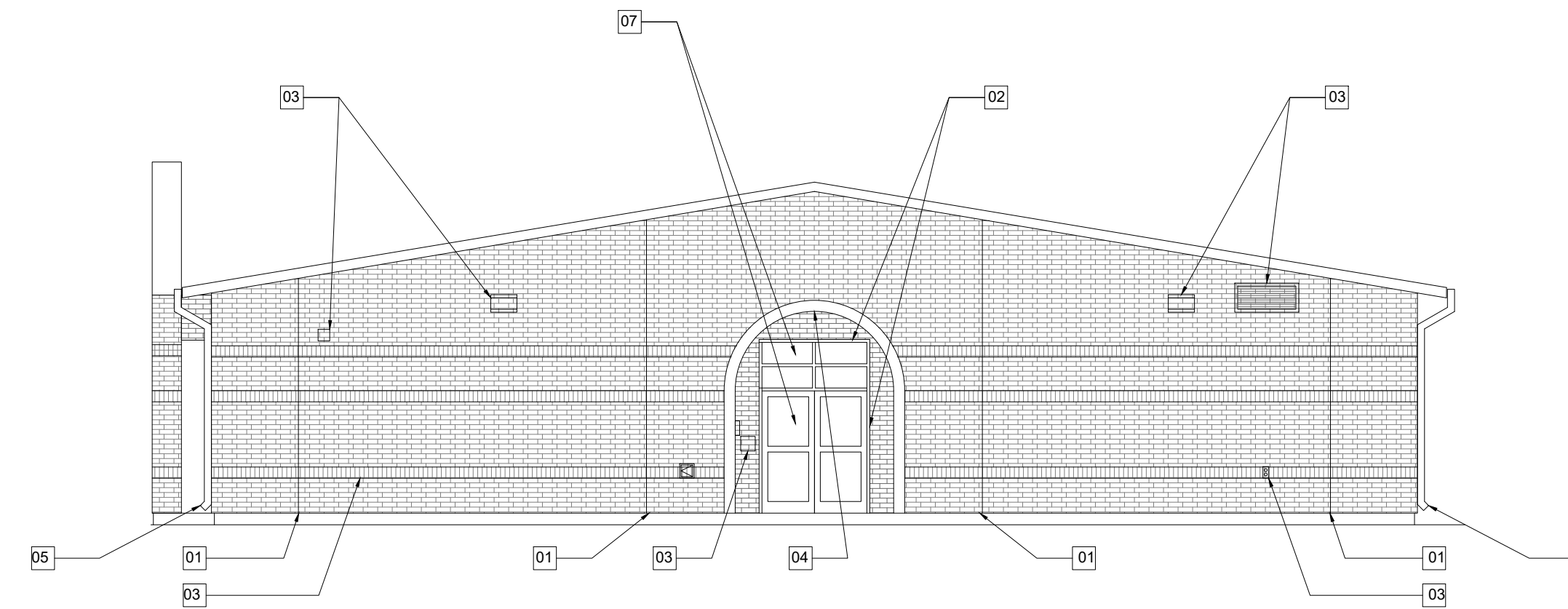
- KEYED NOTES**
- 01 REPLACE CONTROL/EXPANSION MATERIAL CHANGE JOINTS WITH NEW BACKER ROD AND SEALANT. CHECK FOR CONTROL JOINT BEHIND GUTTER IF HIDDEN AND REMOVE AND REPLACE GUTTER AS REQUIRED. REFER TO A4.01, A6.01
  - 02 REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS. TYP. REFER TO SHEETS A4.01-A4.02, A6.01
  - 03 RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. INCLUDING AT ATTACHMENT OF OVERHANGS TO WALL.
  - 04 RE-SEAL AT ALL FIXTURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT. TYP.
  - 05 NEW GUTTER, DOWNSPOUT AND BOOT. TYP. REFER TO DETAIL 04/A4.01.
  - 06 REPOINT MASONRY
  - 07 REPLACE WINDOW FILM. TYP.
  - 08 LEAKS REPORTED IN WALLS NEAR INTERNAL ROOF DRAIN MANIFOLD LINES THROUGHOUT BUILDING (TYP.). TEST FOR LEAKS AND REPAIR AS REQUIRED. REFER TO ROOF S.O.W. ON ROOF PLAN.



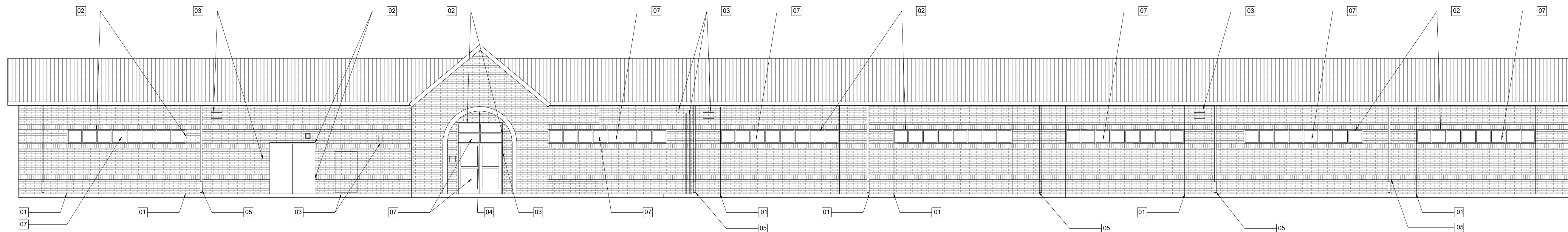




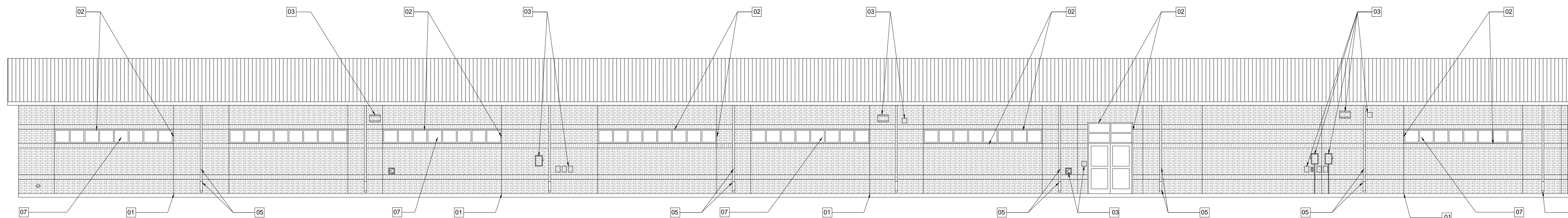
**01 WEST ELEVATION**  
SCALE : 1/8" = 1'-0"



**02 EAST ELEVATION**  
SCALE : 1/8" = 1'-0"



**03 SOUTH ELEVATION**  
SCALE : 1/8" = 1'-0"



**04 NORTH ELEVATION**  
SCALE : 1/8" = 1'-0"

**BUILDING 'C'**

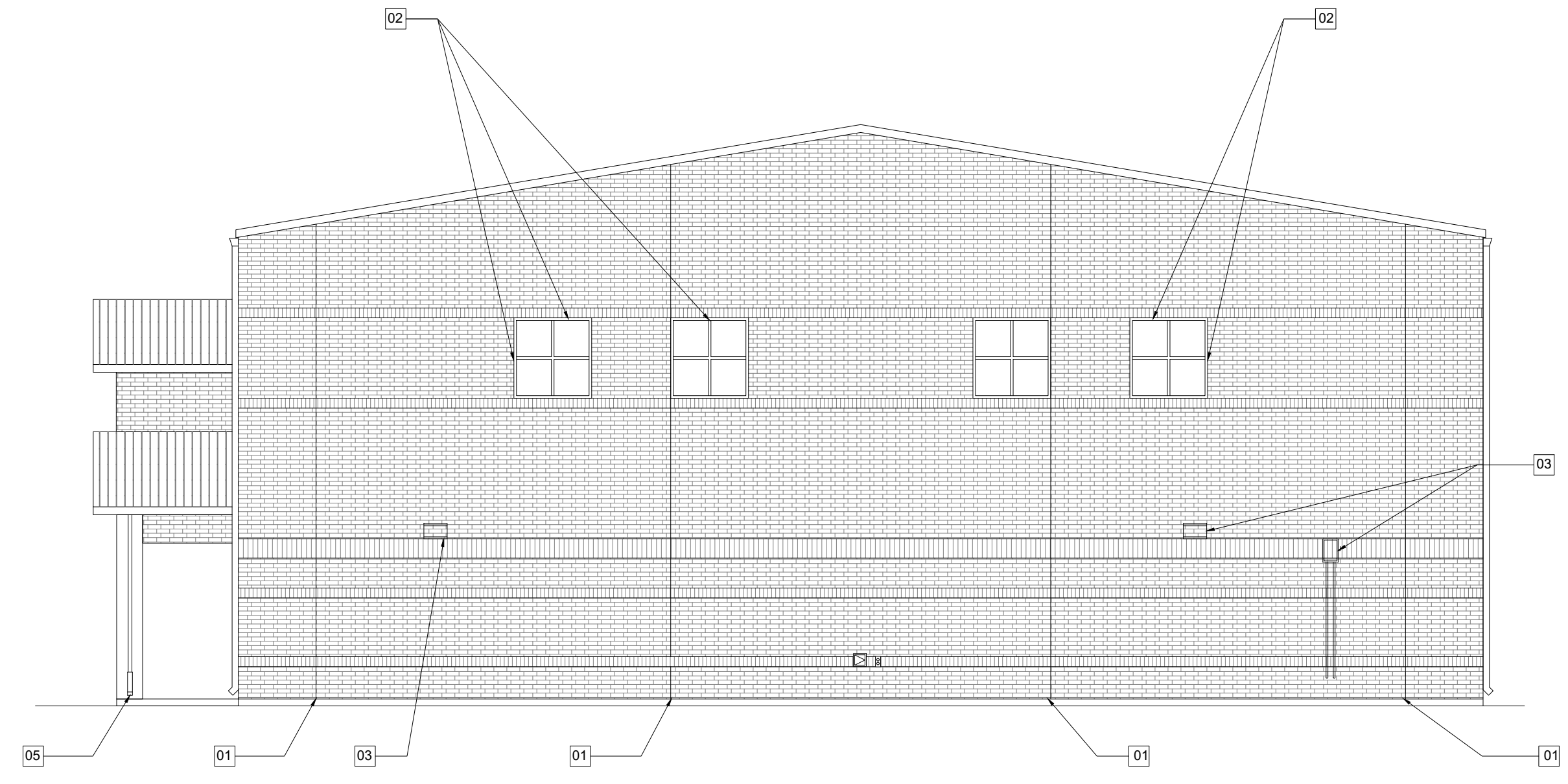
**BUILDING A: SCOPE OF WORK**

1. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
2. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
4. ADD BACKER ROD AND SEALANT TO ALL METAL INTERFACES ON EXTERIOR WALLS
5. REPLACE GUTTERS AND DOWNSPOUTS THROUGHOUT PROJECT AND PROVIDE DOWNSPOUT BOOTS
6. REPLACE WINDOW FILM WITH 3M ULTRA CLEAR SOLAR FILM

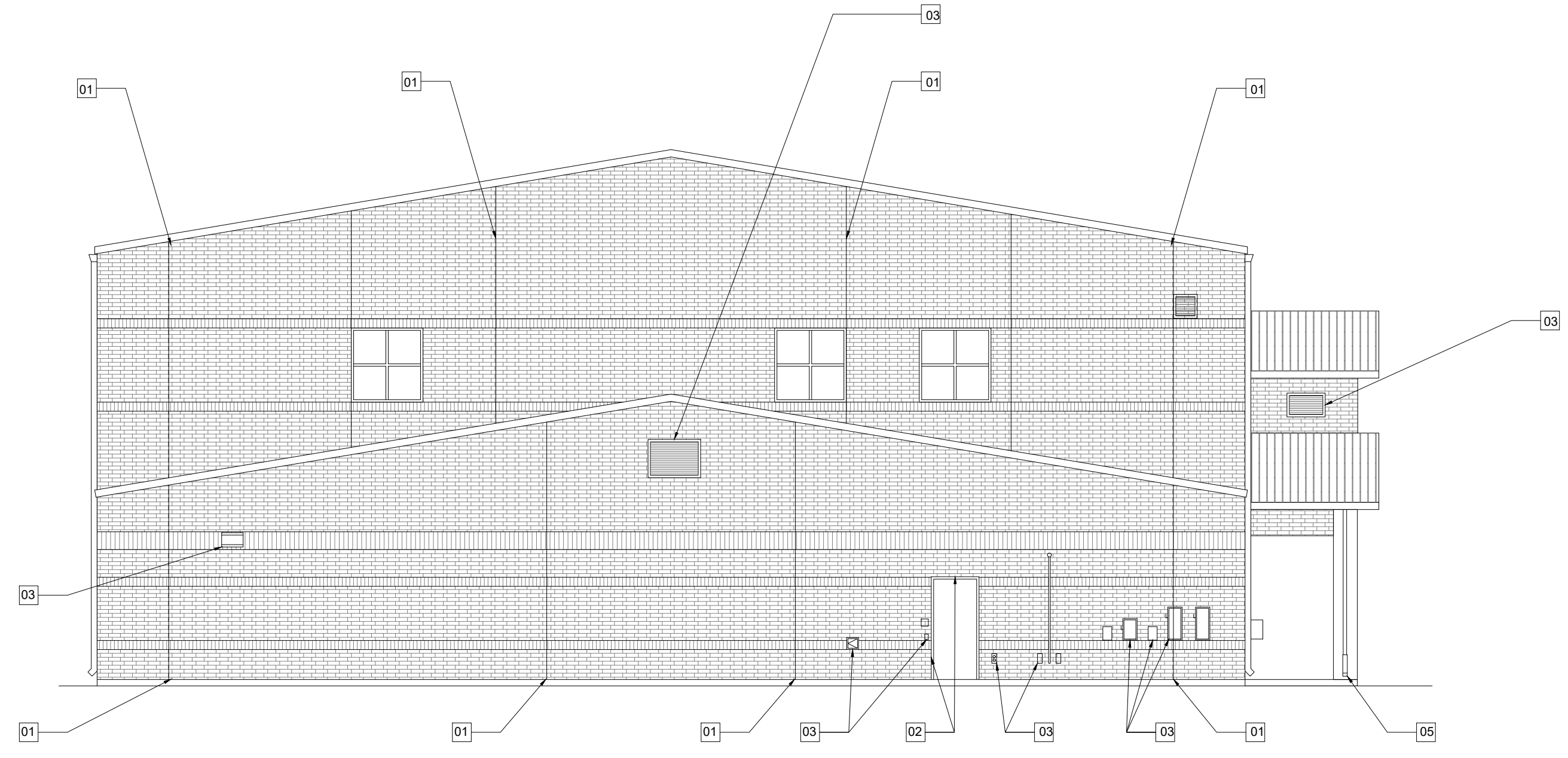
**KEYED NOTES**

- 01 REPLACE CONTROL/EXPANSION/MATERIAL CHANGE JOINTS WITH NEW BACKER ROD AND SEALANT. CHECK FOR CONTROL JOINT BEHIND GUTTER IF HIDDEN AND REMOVE AND REPLACE GUTTER AS REQUIRED, REFER TO A4.01, A6.01
- 02 REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEETS A4.01-A4.02, A6.01
- 03 RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. INCLUDING AT ATTACHMENT OF OVERHANGS TO WALL
- 04 RE-SEAL AT ALL FIXTURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP.
- 05 NEW GUTTER, DOWNSPOUT AND BOOT, TYP. REFER TO DETAIL 04/A.01.
- 06 REPOINT MASONRY
- 07 REPLACE WINDOW FILM, TYP.
- 08 LEAKS REPORTED IN WALLS NEAR INTERNAL ROOF DRAIN MANIFOLD LINES THROUGHOUT BUILDING (TYP.) TEST FOR LEAKS AND REPAIR AS REQUIRED, REFER TO ROOF S.O.W. ON ROOF PLAN.

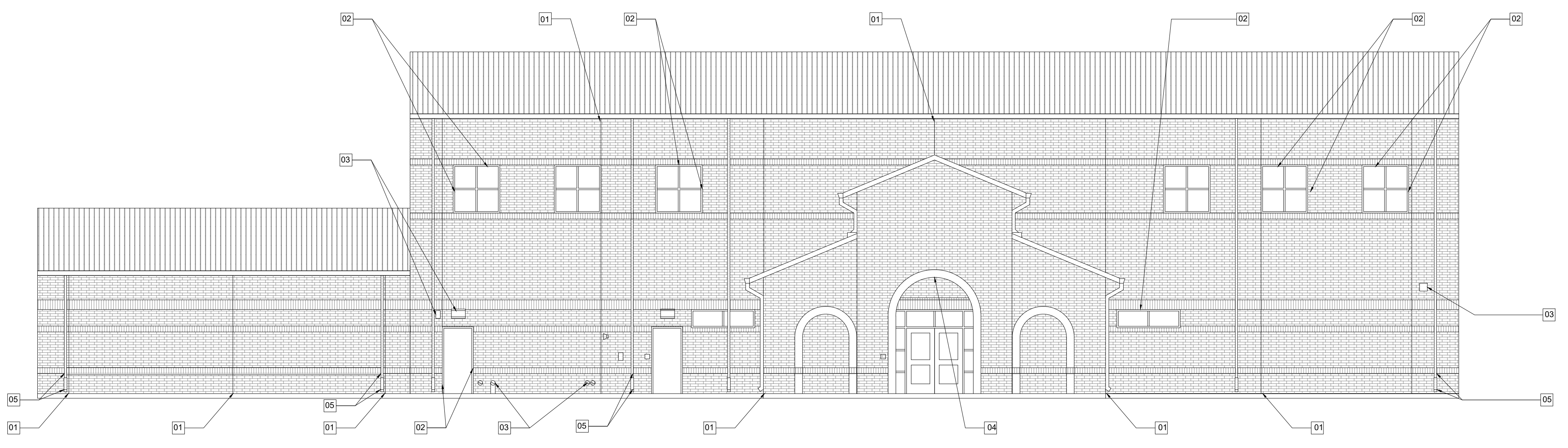




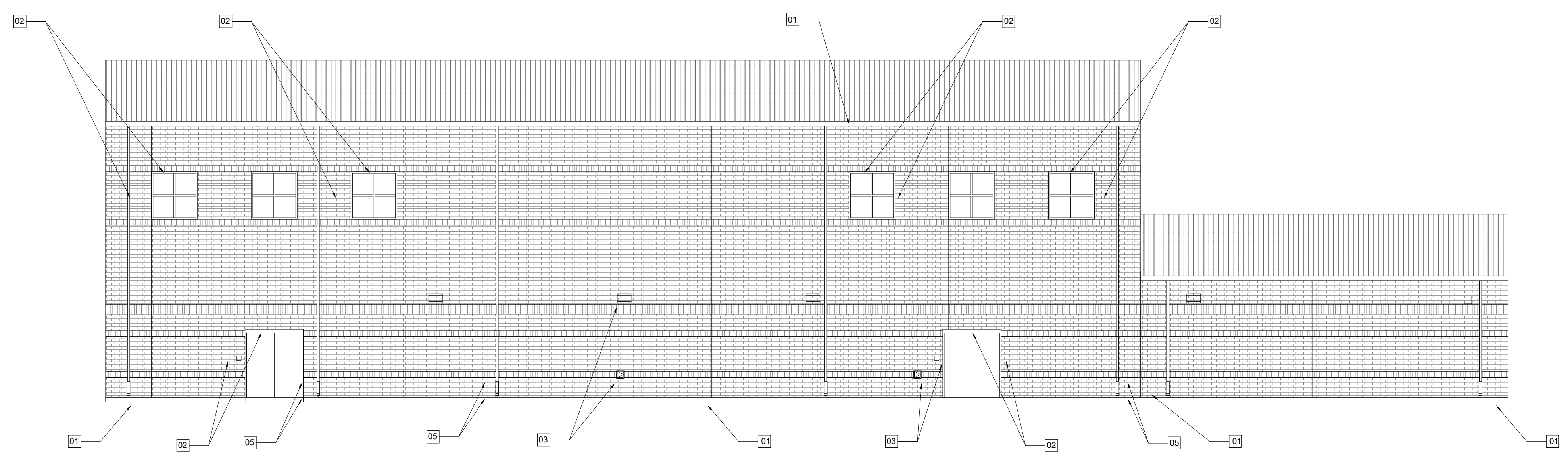
**01 EAST ELEVATION**  
 SCALE : 1/8" = 1'-0"



**02 WEST ELEVATION**  
 SCALE : 1/8" = 1'-0"



**03 EAST ELEVATION**  
 SCALE : 1/8" = 1'-0"



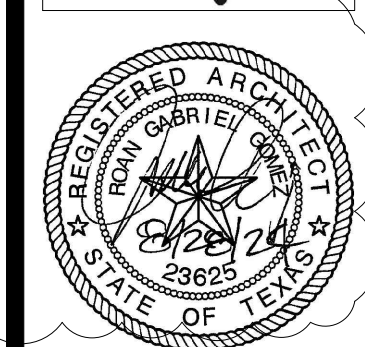
**04 WEST ELEVATION**  
 SCALE : 1/8" = 1'-0"

**BUILDING 'D'**

- BUILDING D: SCOPE OF WORK**
1. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
  2. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
  3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
  4. ADD BACKER ROD AND SEALANT TO ALL METAL INTERFACES ON EXTERIOR WALLS
  5. REPLACE GUTTERS AND DOWNSPOUTS THROUGHOUT PROJECT AND PROVIDE DOWNSPOUT BOOTS

- KEYED NOTES**
- 01 REPLACE CONTROL/EXPANSION/MATERIAL CHANGE JOINTS WITH NEW BACKER ROD AND SEALANT. CHECK FOR CONTROL JOINT BEHIND GUTTER IF HIDDEN AND REMOVE AND REPLACE GUTTER AS REQUIRED, REFER TO A4.01, A6.01
  - 02 REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEETS A4.01-A4.02, A6.01
  - 03 RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. INCLUDING AT ATTACHMENT OF OVERHANGS TO WALL
  - 04 RE-SEAL AT ALL FIXTURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP.
  - 05 NEW GUTTER, DOWNSPOUT AND BOOT, TYP. REFER TO DETAIL 04A4.01.
  - 06 REPOINT MASONRY
  - 07 REPLACE WINDOW FILM, TYP.
  - 08 LEAKS REPORTED IN WALLS NEAR INTERNAL ROOF DRAIN MANIFOLD LINES THROUGHOUT BUILDING (TYP.) TEST FOR LEAKS AND REPAIR AS REQUIRED, REFER TO ROOF S.O.W. ON ROOF PLAN.

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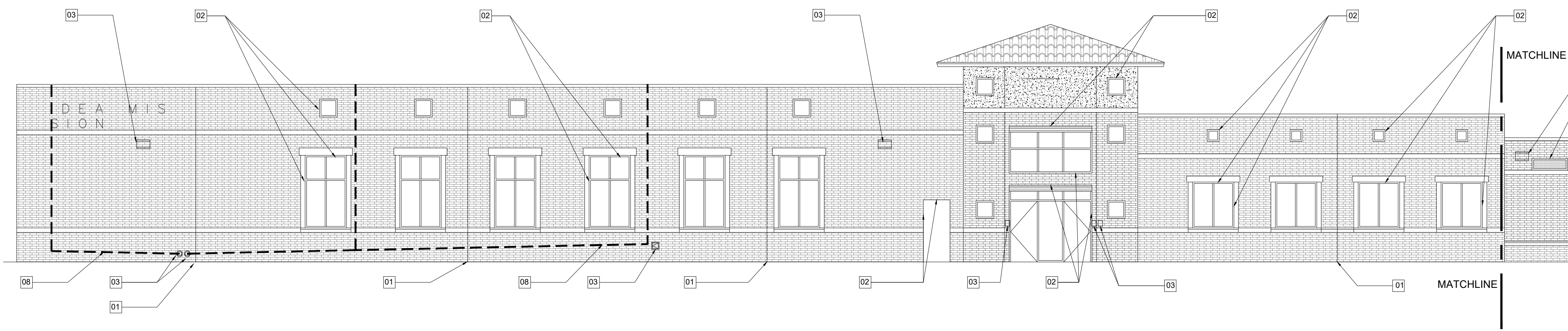


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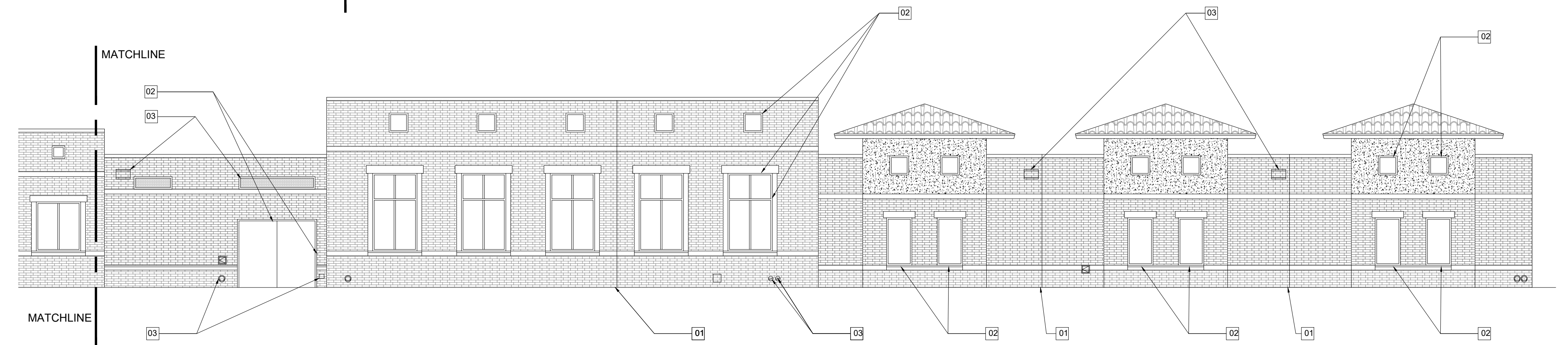
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 Scale: As Noted  
 Project Architect: Roan Gomez, AIA  
 Drawn By: RG, CG  
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 Sheet: Exterior Envelope

IDEA MISSION

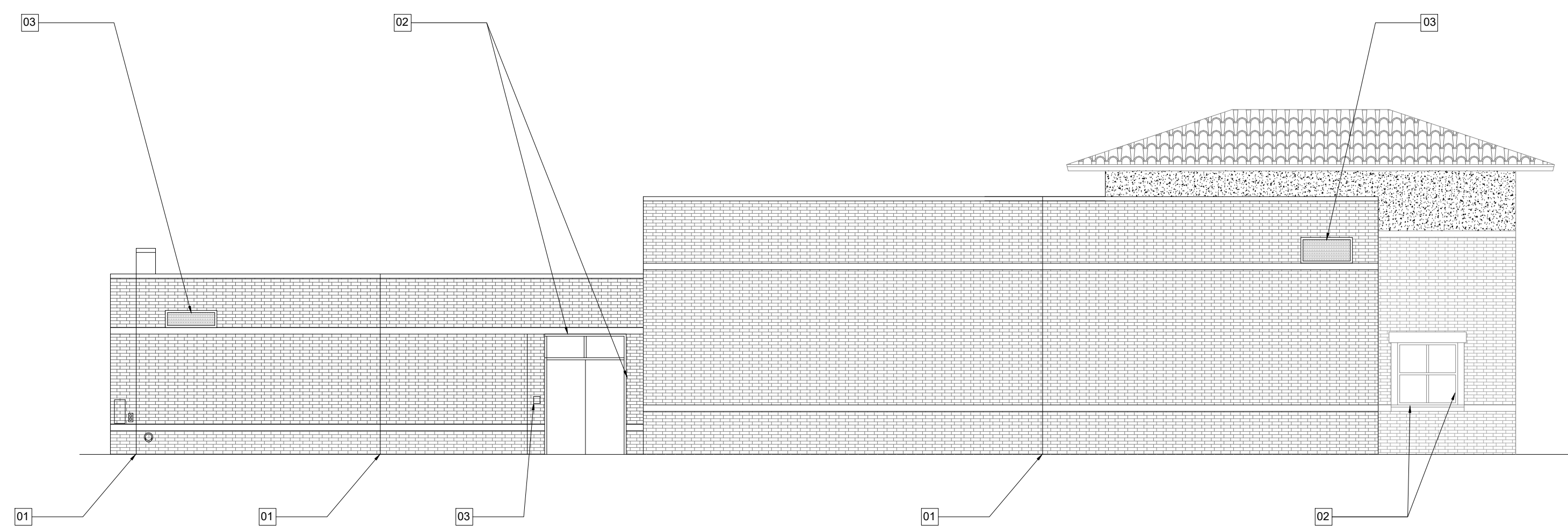




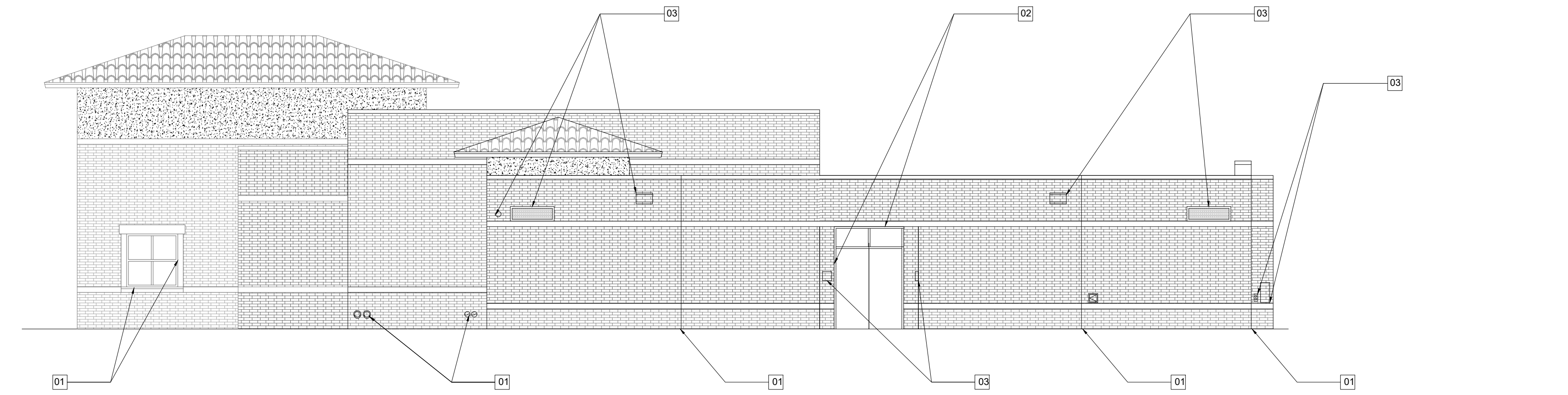
**1A EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



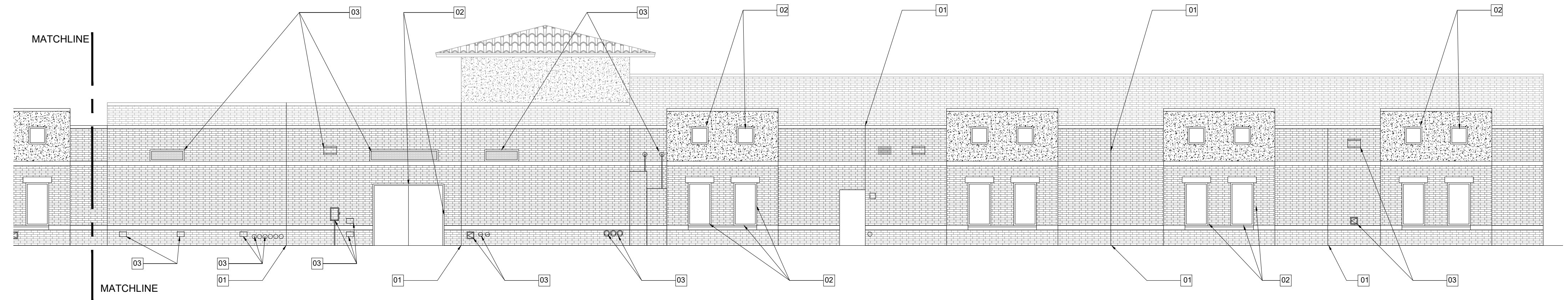
**1B EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



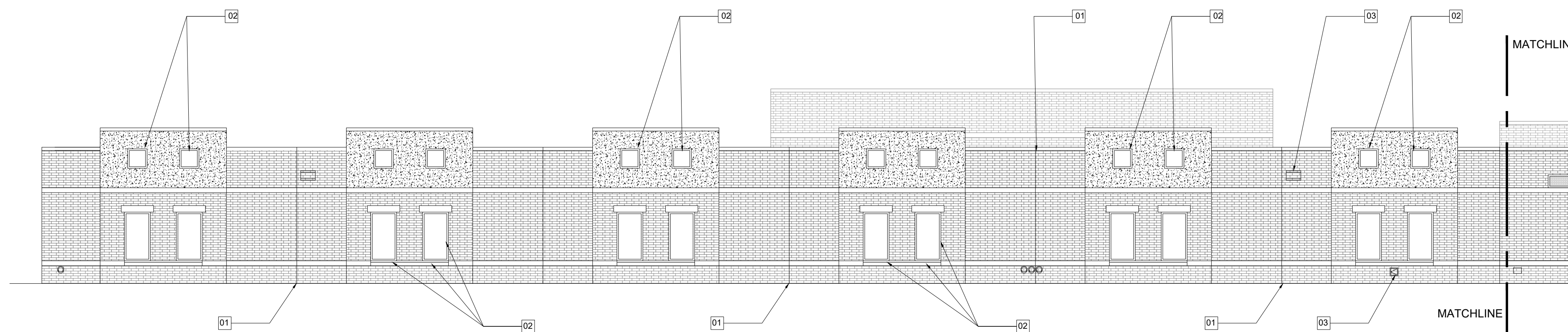
**02 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**03 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**4A WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**4B WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**BUILDING 'E'**

**BUILDING E: SCOPE OF WORK**

1. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
2. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
4. ADD BACKER ROD AND SEALANT TO ALL METAL INTERFACES ON EXTERIOR WALLS.
5. WATER TEST INTERNAL DRAINS FOR LEAKS AND REPAIR. REFER TO ROOF S.O.W. NOTES FOR MORE INFORMATION.

**KEYED NOTES**

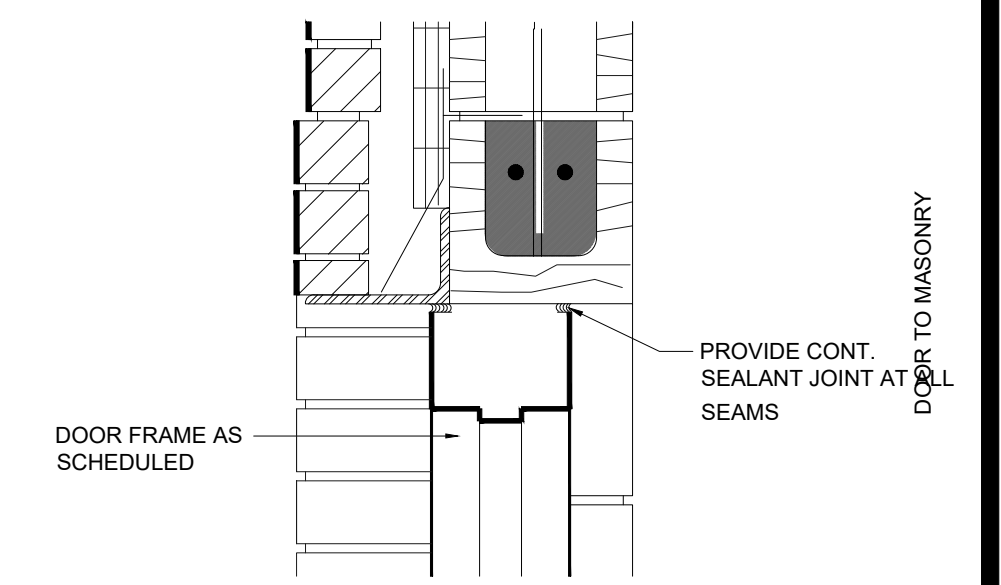
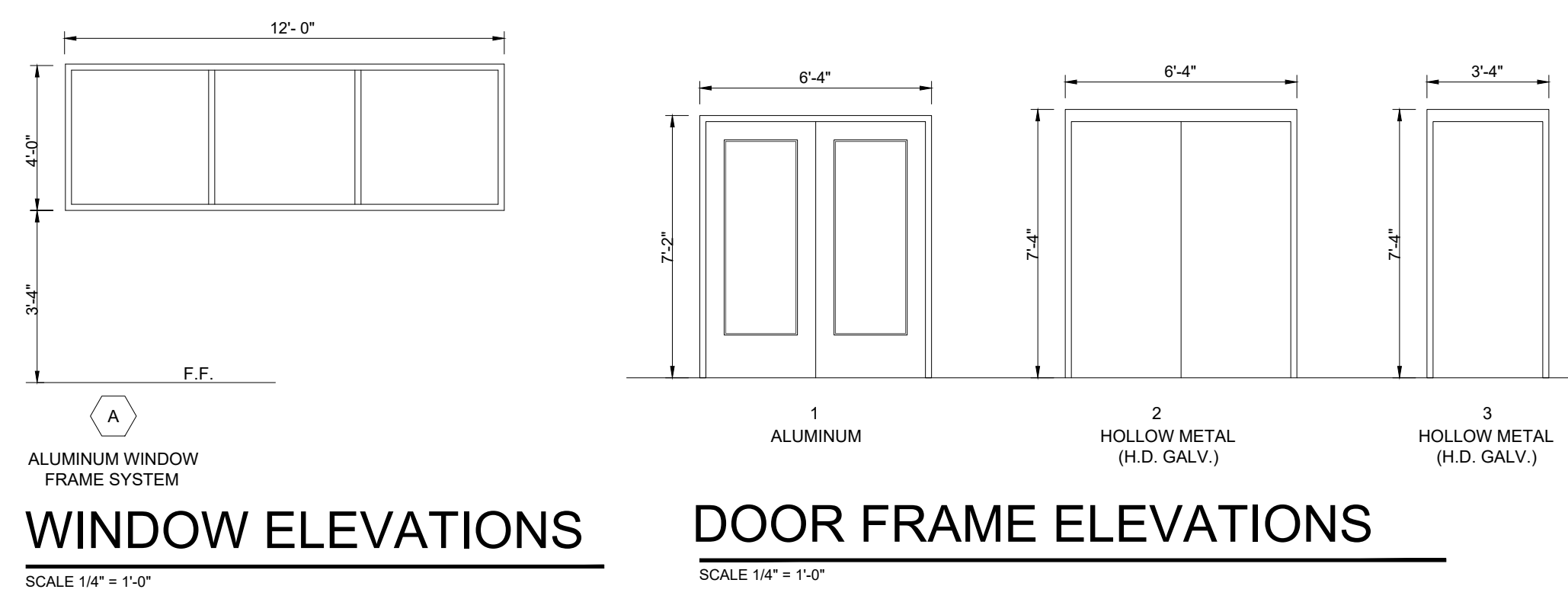
- 01 REPLACE CONTROL/EXPANSION MATERIAL CHANGE JOINTS WITH NEW BACKER ROD AND SEALANT. CHECK FOR CONTROL JOINT BEHIND GUTTER IF HIDDEN AND REMOVE AND REPLACE GUTTER AS REQUIRED, REFER TO A4.01, A6.01
- 02 REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEETS A4.01-A4.02, A6.01
- 03 RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. INCLUDING AT ATTACHMENT OF OVERHANGS TO WALL
- 04 RE-SEAL AT ALL FIXTURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP.
- 05 NEW GUTTER, DOWNSPOUT AND BOOT, TYP. REFER TO DETAIL 04A.01.
- 06 REPOINT MASONRY
- 07 REPLACE WINDOW FILM, TYP.
- 08 LEAKS REPORTED IN WALLS NEAR INTERNAL ROOF DRAIN MANIFOLD LINES THROUGHOUT BUILDING (TYP.). TEST FOR LEAKS AND REPAIR AS REQUIRED, REFER TO ROOF S.O.W. ON ROOF PLAN.



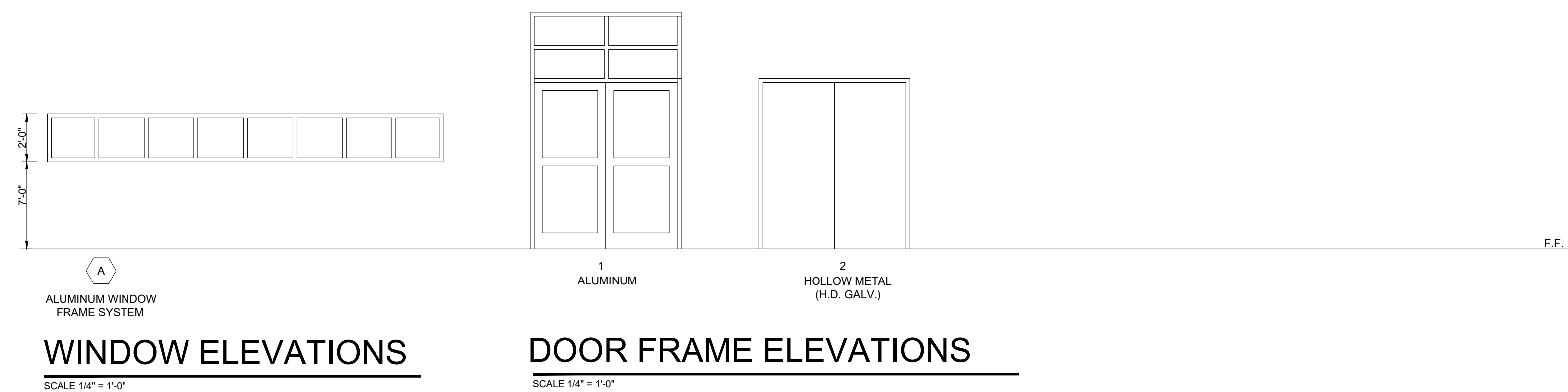


# DOOR & WINDOW ELEVATIONS

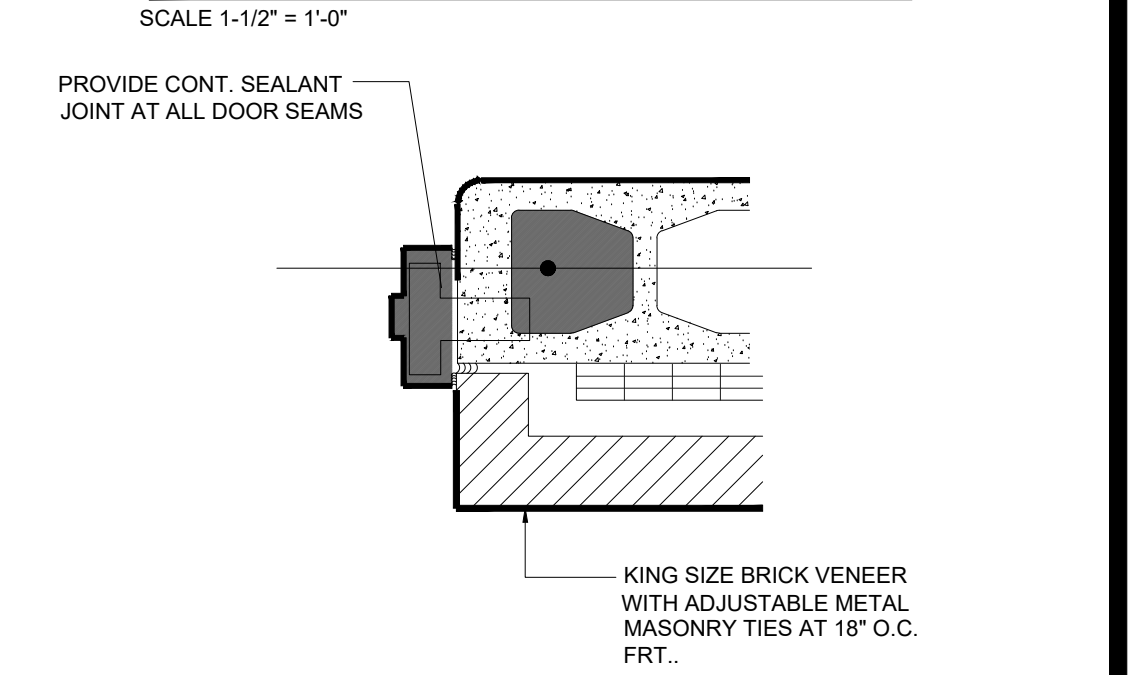
## BUILDING A & B



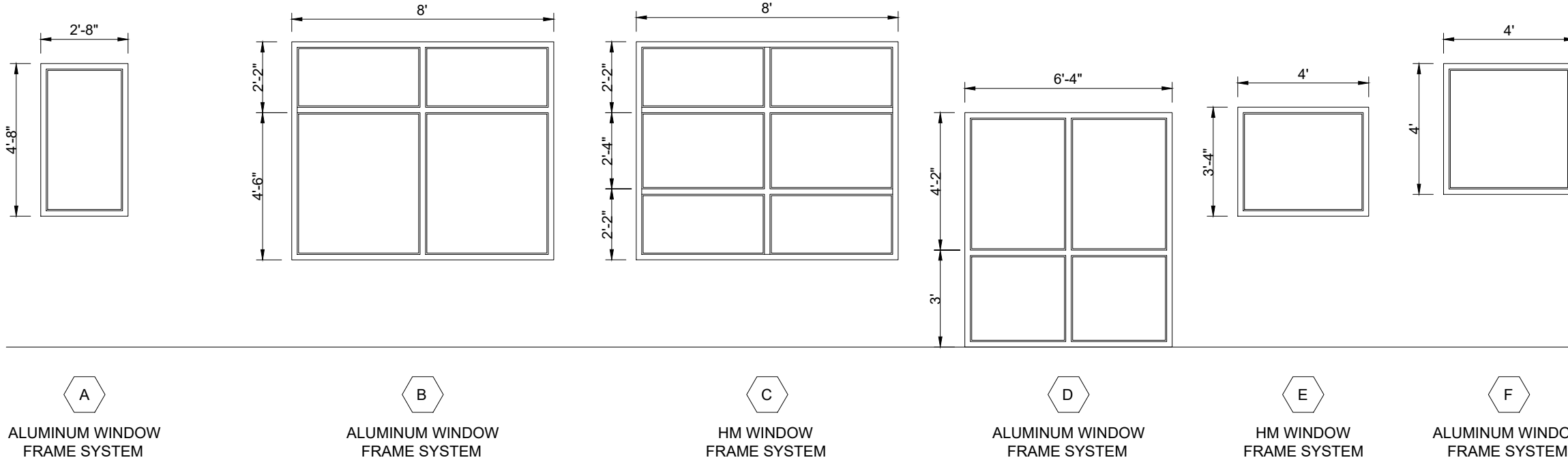
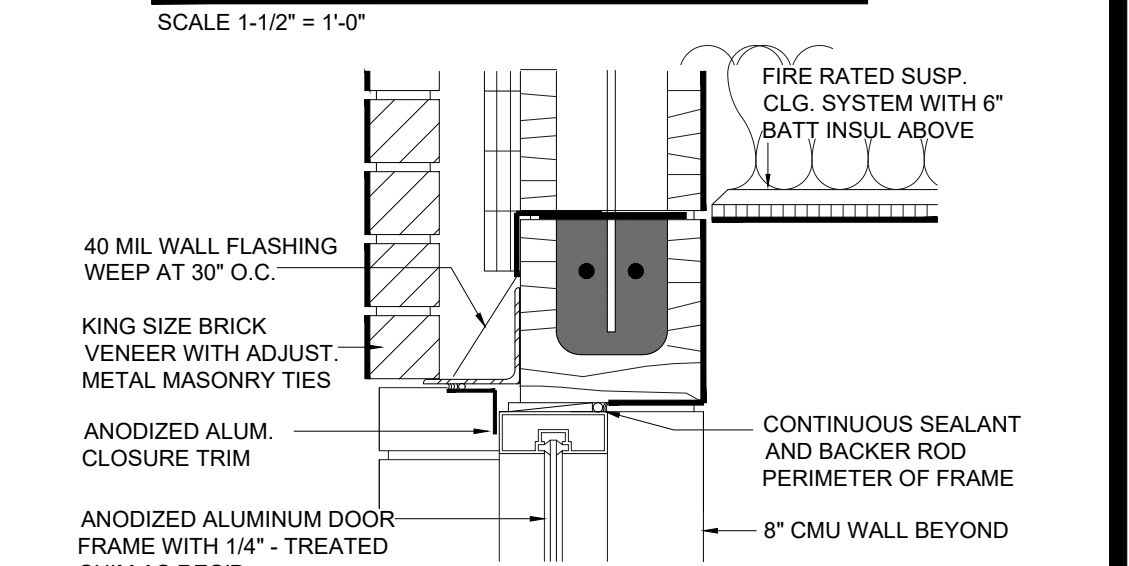
## BUILDING C



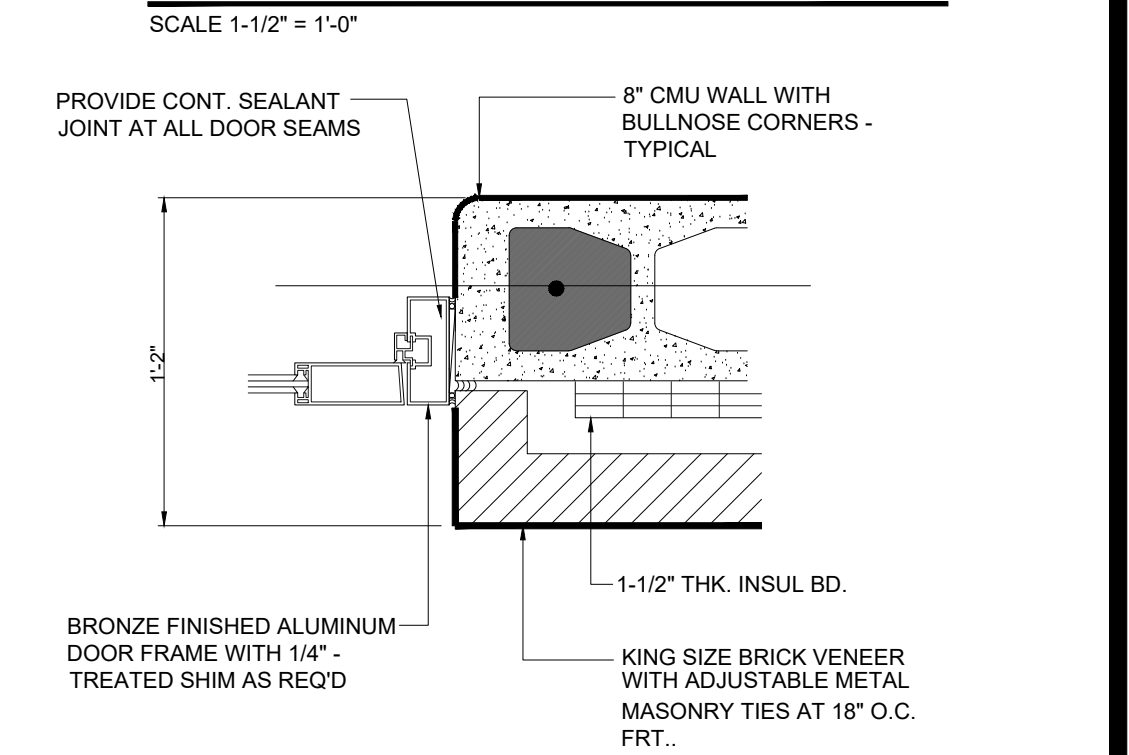
## 05 DOOR HEAD DETAIL



## 04 DOOR JAMB DETAIL

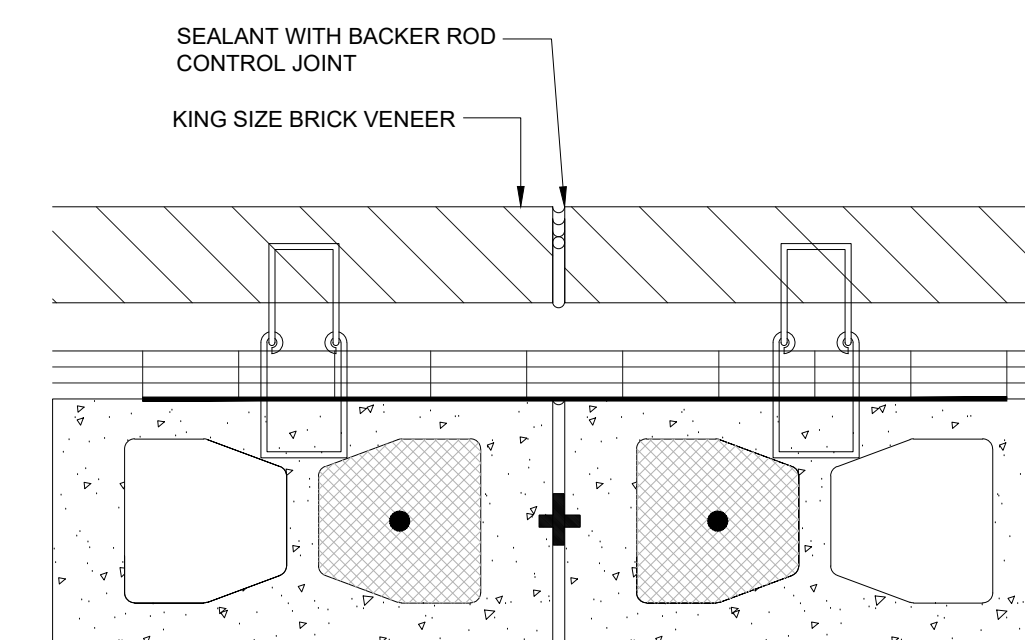
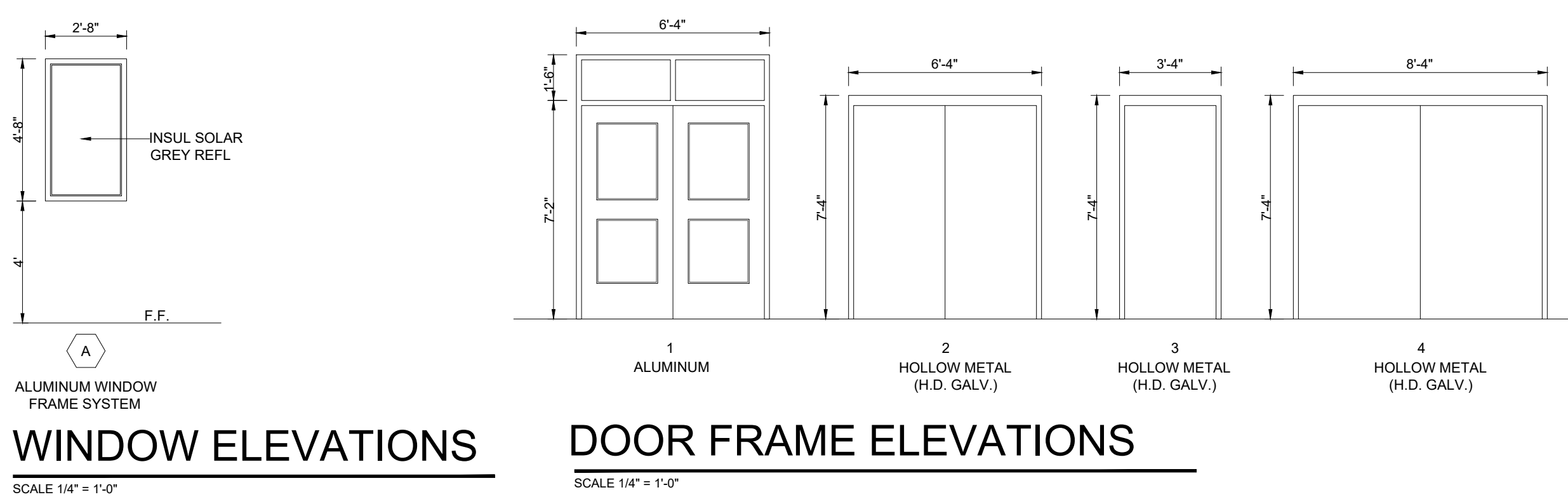


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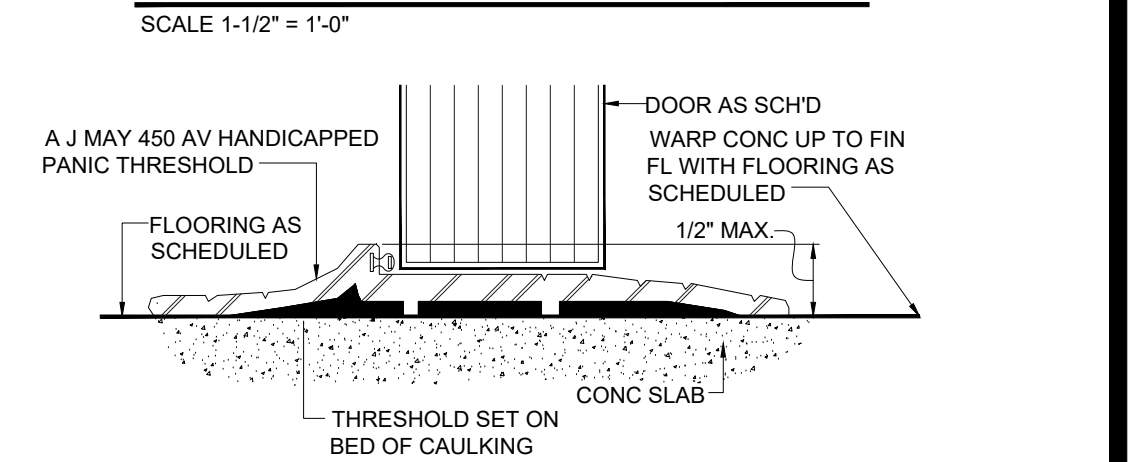


## WINDOW ELEVATIONS

## BUILDING E



## 02 DOOR JAMB DETAIL



## 01 THRESHOLD DETAIL

SCALE: NONE

# IDEA PUBLIC SCHOOLS ENVELOPE IMPROVEMENTS QUEST - RIO GRANDE VALLEY

## IDEA Public Schools Board of Directors 2024

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## D R A W I N G I N D E X

### IDEA QUEST

COVER	COVER SHEET
A1.01	SITE PLAN
A2.01	ROOF PLAN - BLDG. A-B
A2.02	ROOF PLAN - BLDG. C-D
A2.03	ROOF PLAN - BLDG. E-F
A4.01	DETAILS
A4.02	DETAILS
A5.01	ELEVATIONS - BLDG. A
A5.02	ELEVATIONS - BLDG. B
A5.03	ELEVATIONS - BLDG. C
A5.04	ELEVATIONS - BLDG. D
A5.05	ELEVATIONS - BLDG. E
A5.06	ELEVATIONS - BLDG. F
A6.01	DOOR/WINDOW, TYPICAL DETAILS/ELEVATIONS

### ARCHITECTS

GOMEZ MENDEZ SAENZ, INC.  
1150 PAREDES LINE RD. BROWNSVILLE, TX. 78521  
PH. (956) 546-0110 FAX. (956) 546-0196

No.	REVISIONS	BY
1	11/22/24 DRAWING	GMS
	CORRECTIONS	

**GMS ARCHITECTS**  
1150 Paredes Line Rd.  
Brownsville TX 78526  
(956) 546-0110  
fax (956) 546-0196

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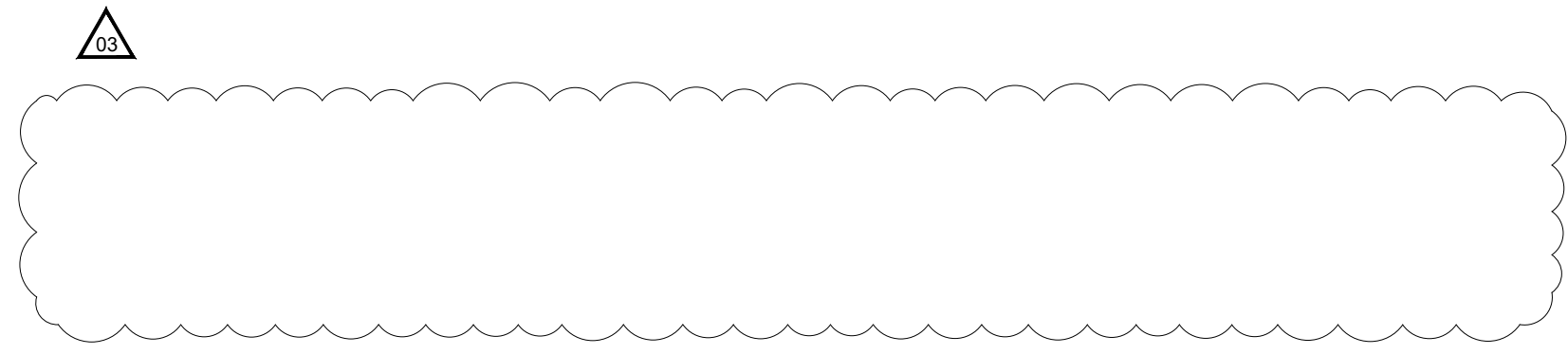
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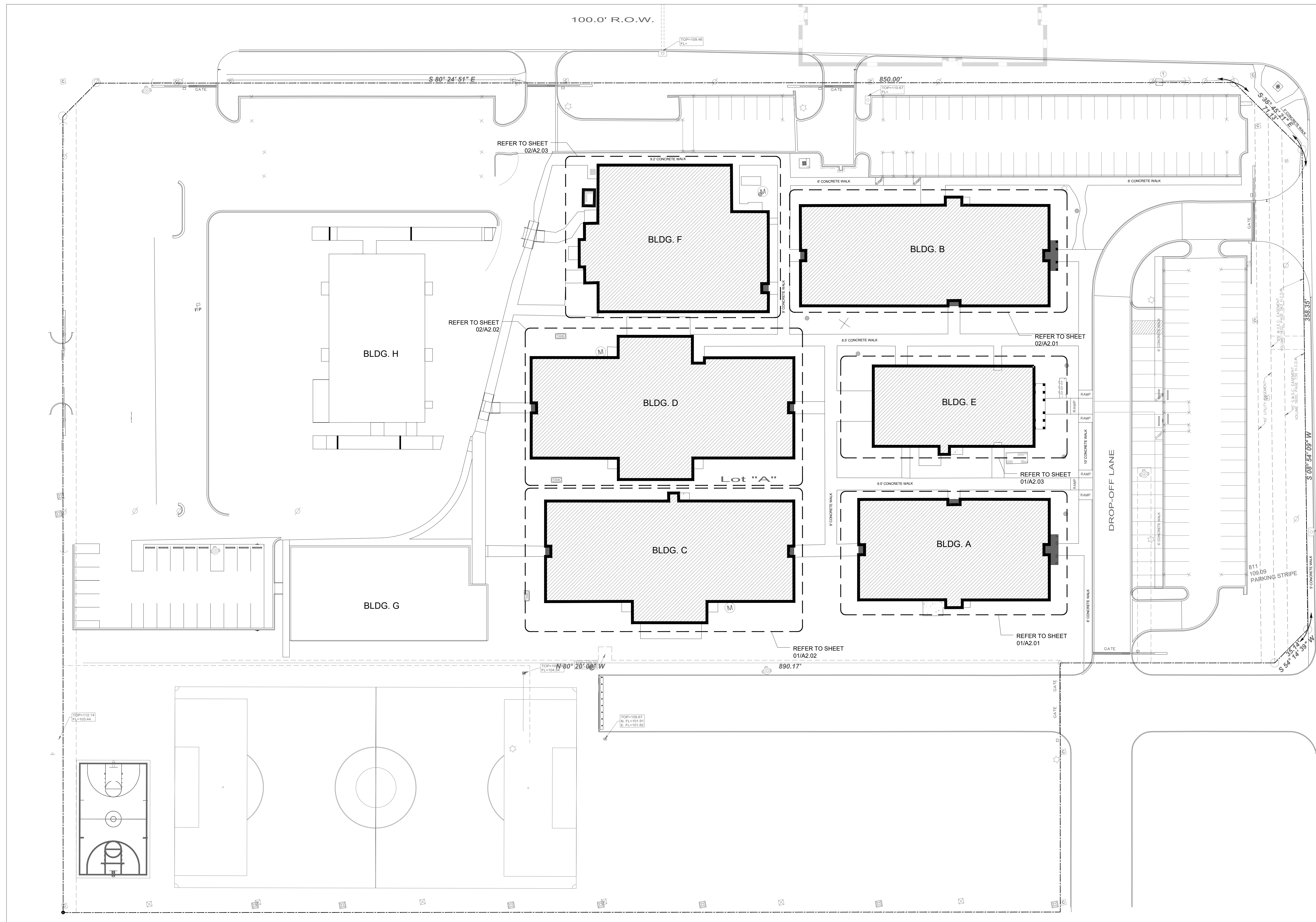
Date: AUGUST 2024  
Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: RG.CG  
Job No:  
Sheet: Exterior Envelope

IDEA QUEST



COVER

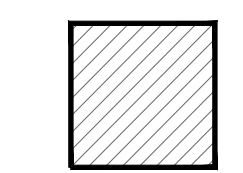




**01 SITE PLAN**  
SCALE: 1:40



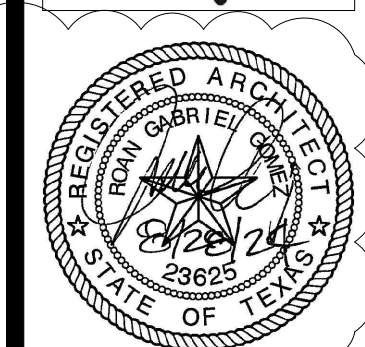
INDICATES WORK AREA



No.	REVISIONS	BY
1	11/22/24 DRAWING CORRECTIONS	GMS

**GMS ARCHITECTS**  
1150 Paredes Line Rd.  
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Job No: Exterior Envelope  
Sheet:

IDEA QUEST

**A1.01**



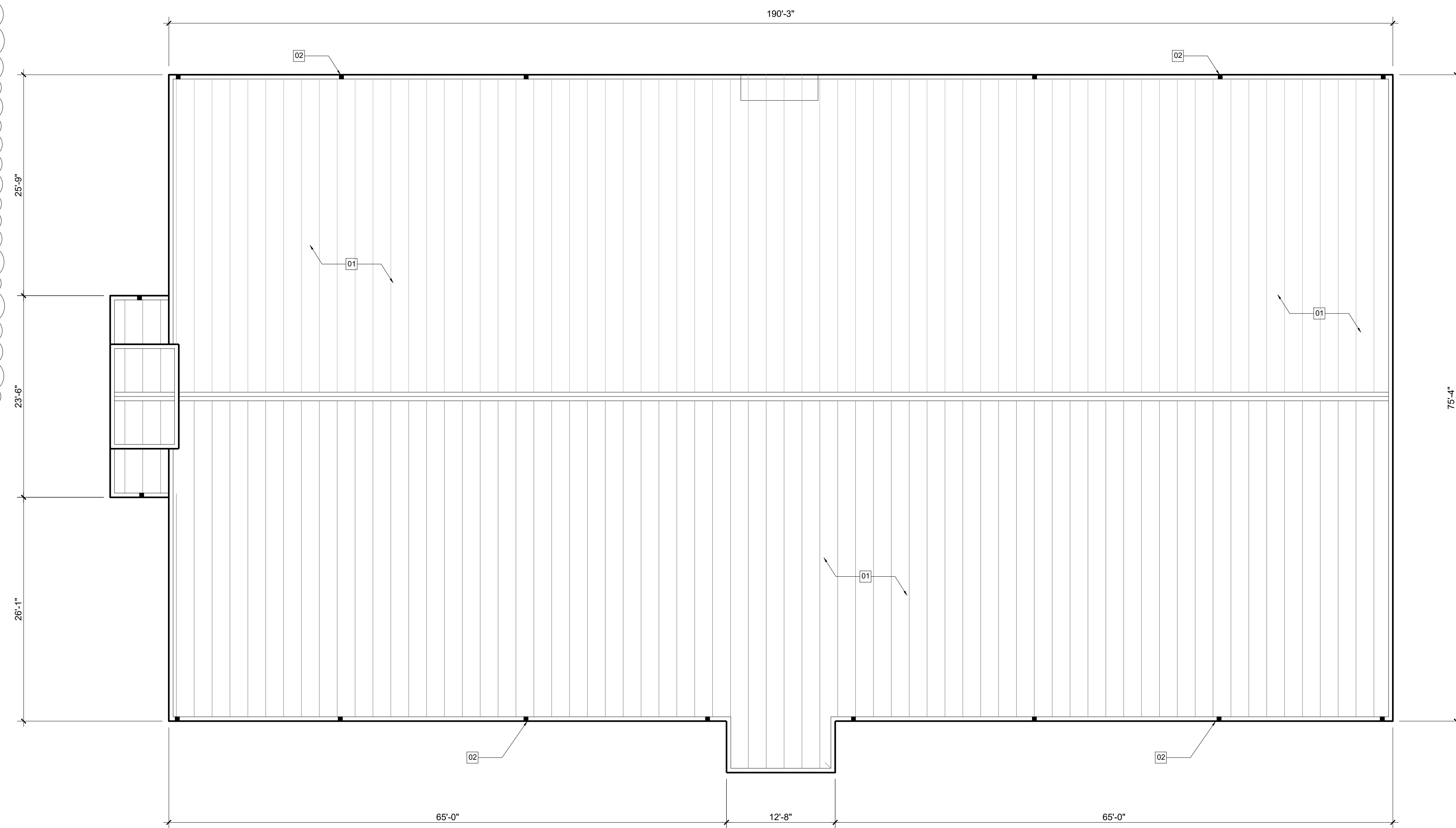
**GENERAL ROOFING NOTES:**

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING.  
 INSPECT ALL DECK AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTOR CAREFULLY REMOVE, RAISE OR MODIFY AND CAREFULLY REINSTALL EXISTING OPERATING MECHANICAL, ELECTRICAL, PLUMBING AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.

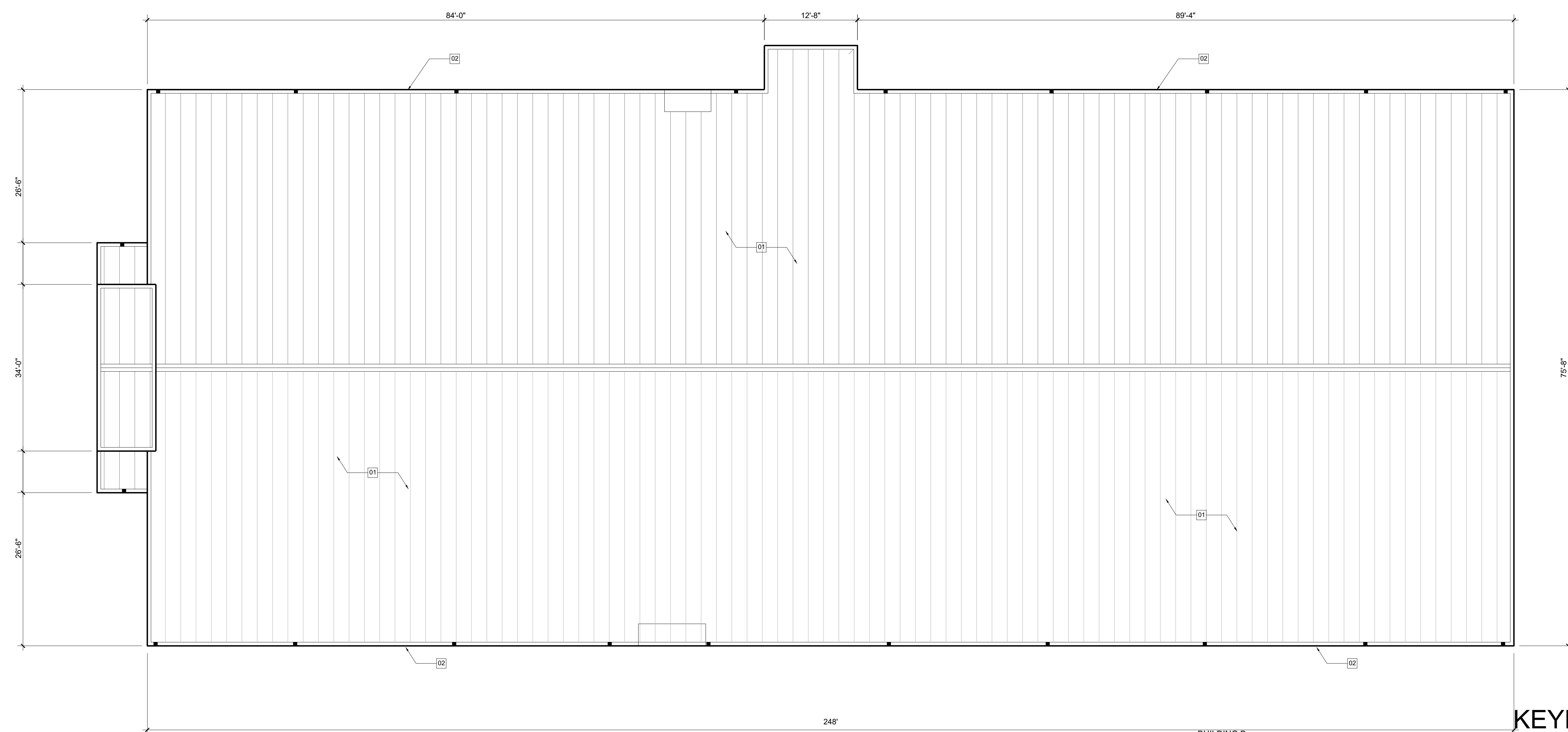
THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

**ROOF: SCOPE OF WORK ALL BUILDINGS**

- 01. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS WHEN MISSING.
- 02. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS IN INSIDE CLOSURES
- 03. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS



**01 BUILDING A ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



**02 BUILDING B ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

**KEYED NOTES**

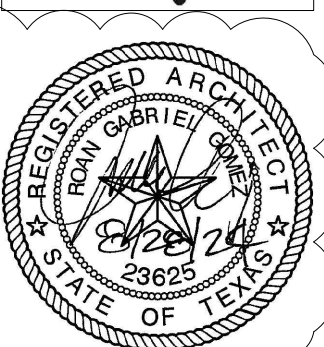
- 01 EXISTING ROOF TO REMAIN, TYP.
- 02 REMOVE AND REPLACE GUTTERS AND DOWNSPOUTS TO MATCH EXISTING, TYP.



No.	REVISIONS	BY
1	11/22/24-DRAWING CORRECTIONS	GMS

**GMS ARCHITECTS**  
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 Brownsville, TX 78526  
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 Scale: As Noted  
 Project Architect: Roan Gomez, AIA  
 Drawn By: RG, CG  
 Job No: Exterior Envelope  
 Sheet: A2.01

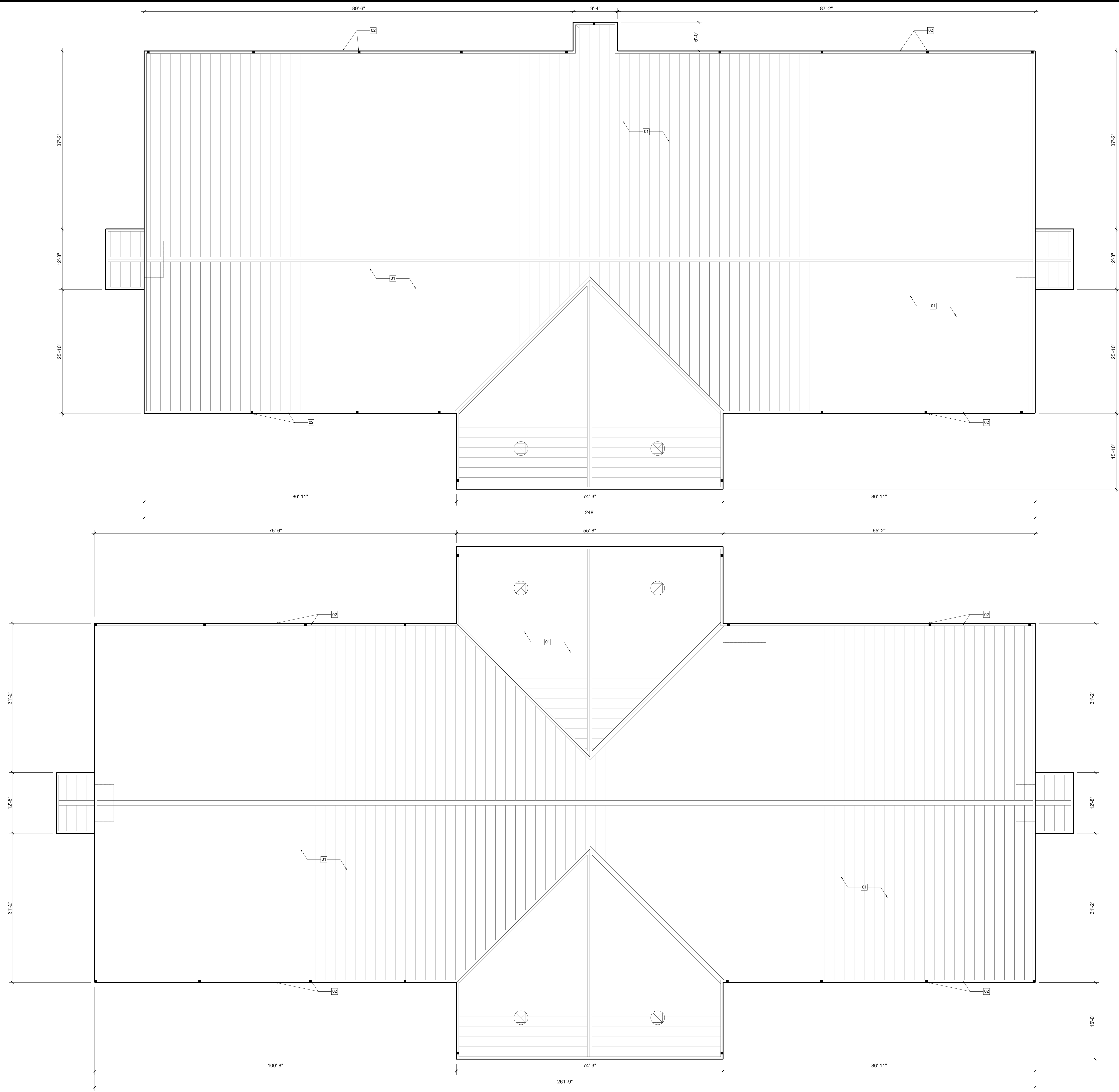
IDEA QUEST

**A2.01**





IDEA QUEST



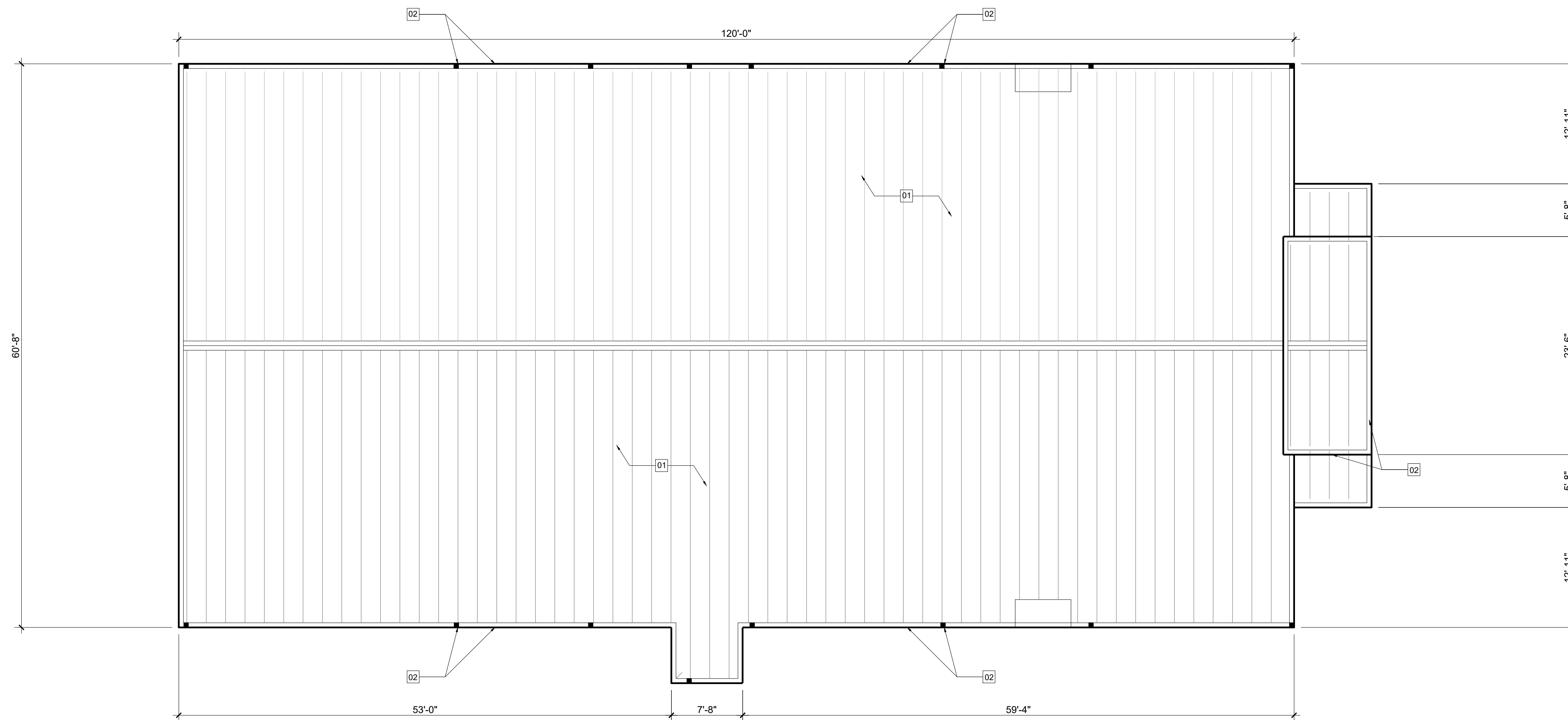
**01 BUILDING C ROOF PLAN**  
 SCALE: 1/8" = 1'-0"

**KEYED NOTES**

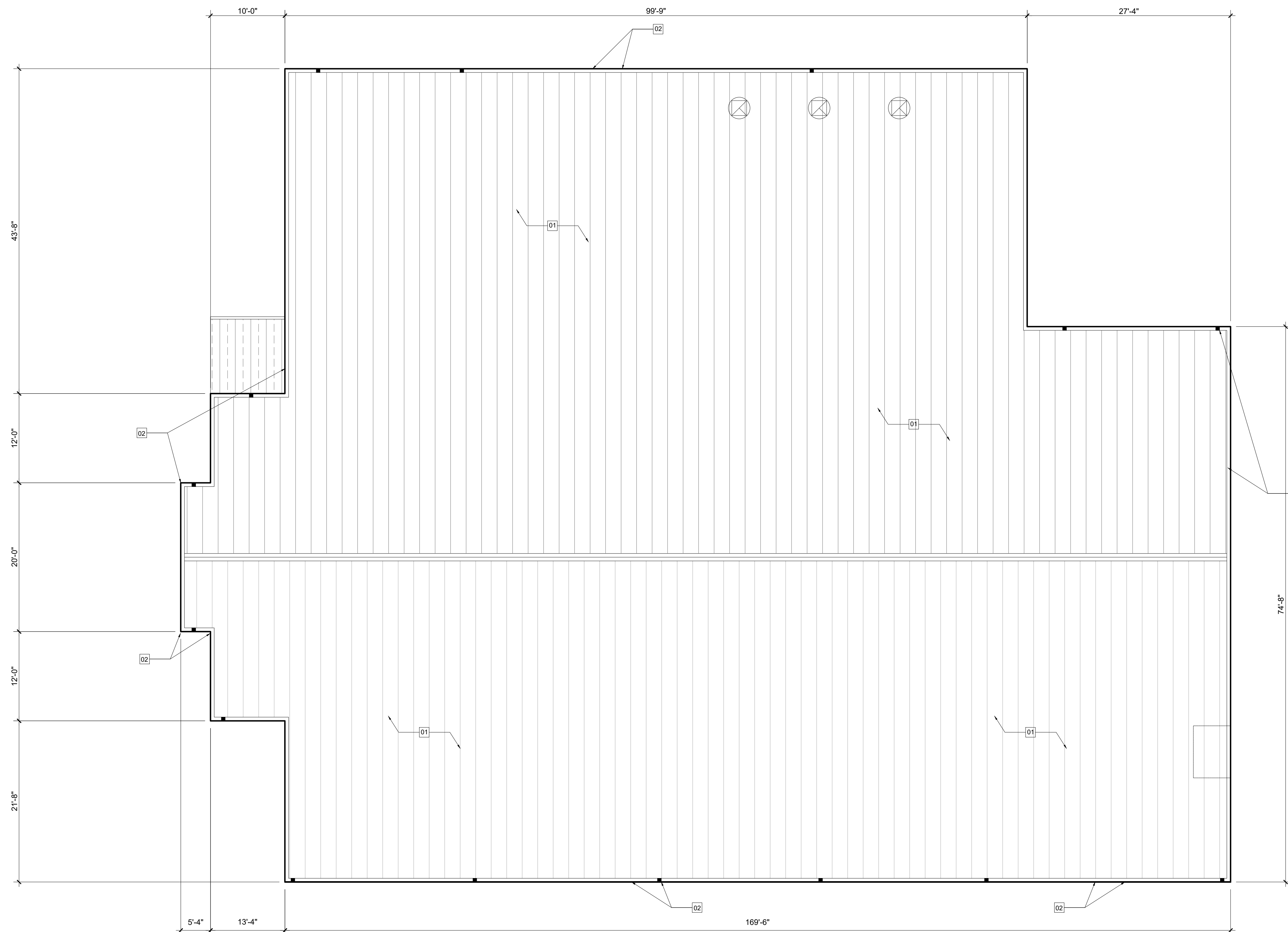
- 01 EXISTING ROOF TO REMAIN, TYP.
- 02 REMOVE AND REPLACE GUTTERS AND DOWNSPOUTS TO MATCH EXISTING, TYP.



**02 BUILDING D ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



**01 BUILDING E  
ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**02 BUILDING F  
ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**KEYED NOTES**

- 01 EXISTING ROOF TO REMAIN, TYP.
- 02 REMOVE AND REPLACE GUTTERS AND DOWNSPOUTS TO MATCH EXISTING, TYP.



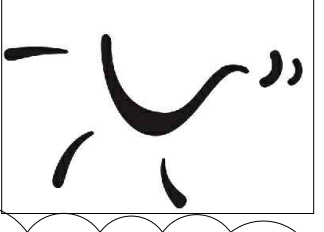
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Interior Designers  
Date: AUGUST 2024  
Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: RG, CG  
Job No.: Exterior Envelope  
Sheet:

No.	REVISIONS	BY
1	DRAWING	GMS
2	CORRECTIONS	GMS

**GMS ARCHITECTS**  
1150 Paredes Line Rd.  
Brownsville TX 78526  
(956) 546-0110  
fax (956) 546-0196

**IDEA Public Schools - Exterior Envelope Repairs**  
**IDEA McAllen Quest**  
McAllen, Texas

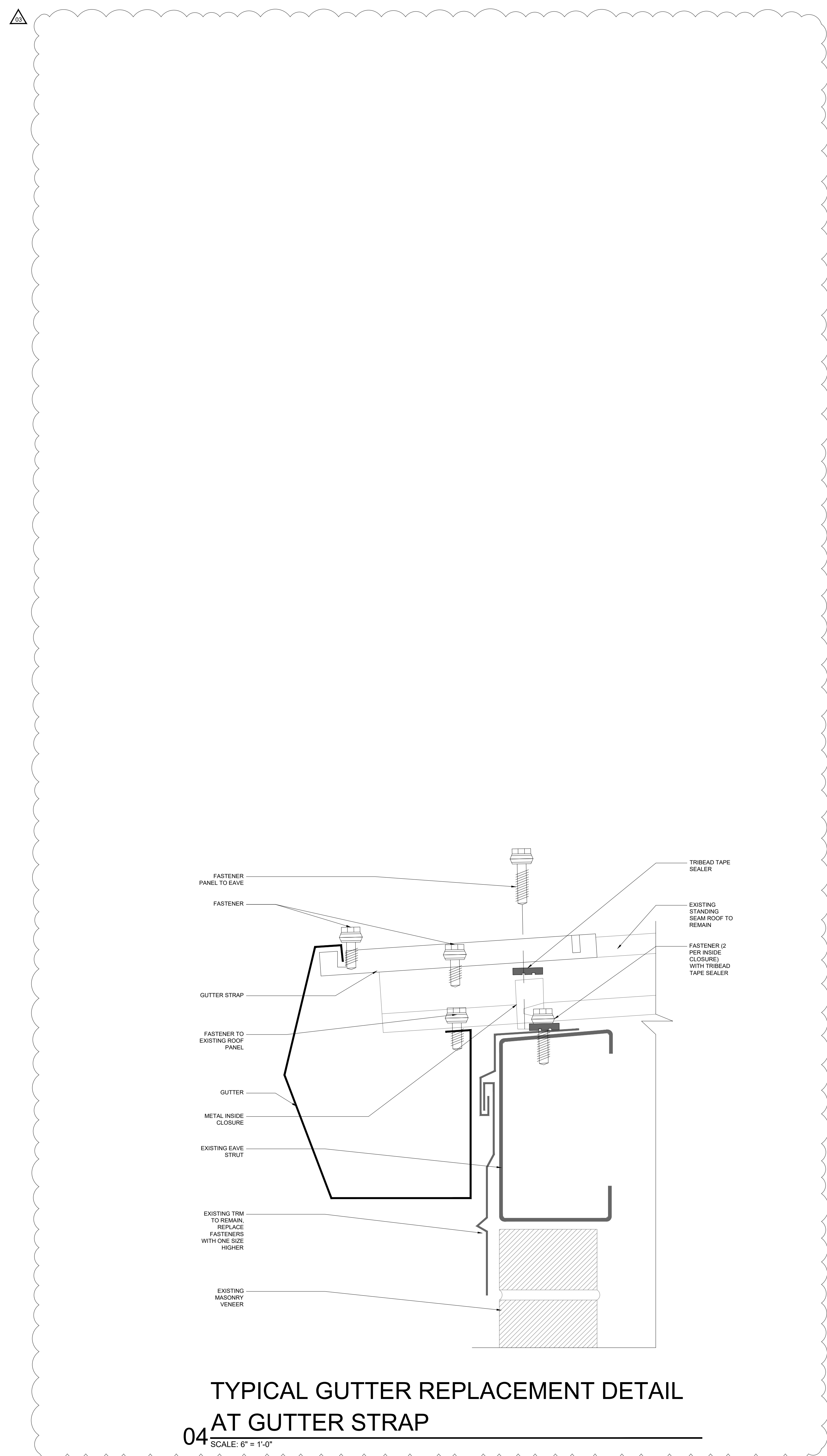
**IDEA**  
Public Schools



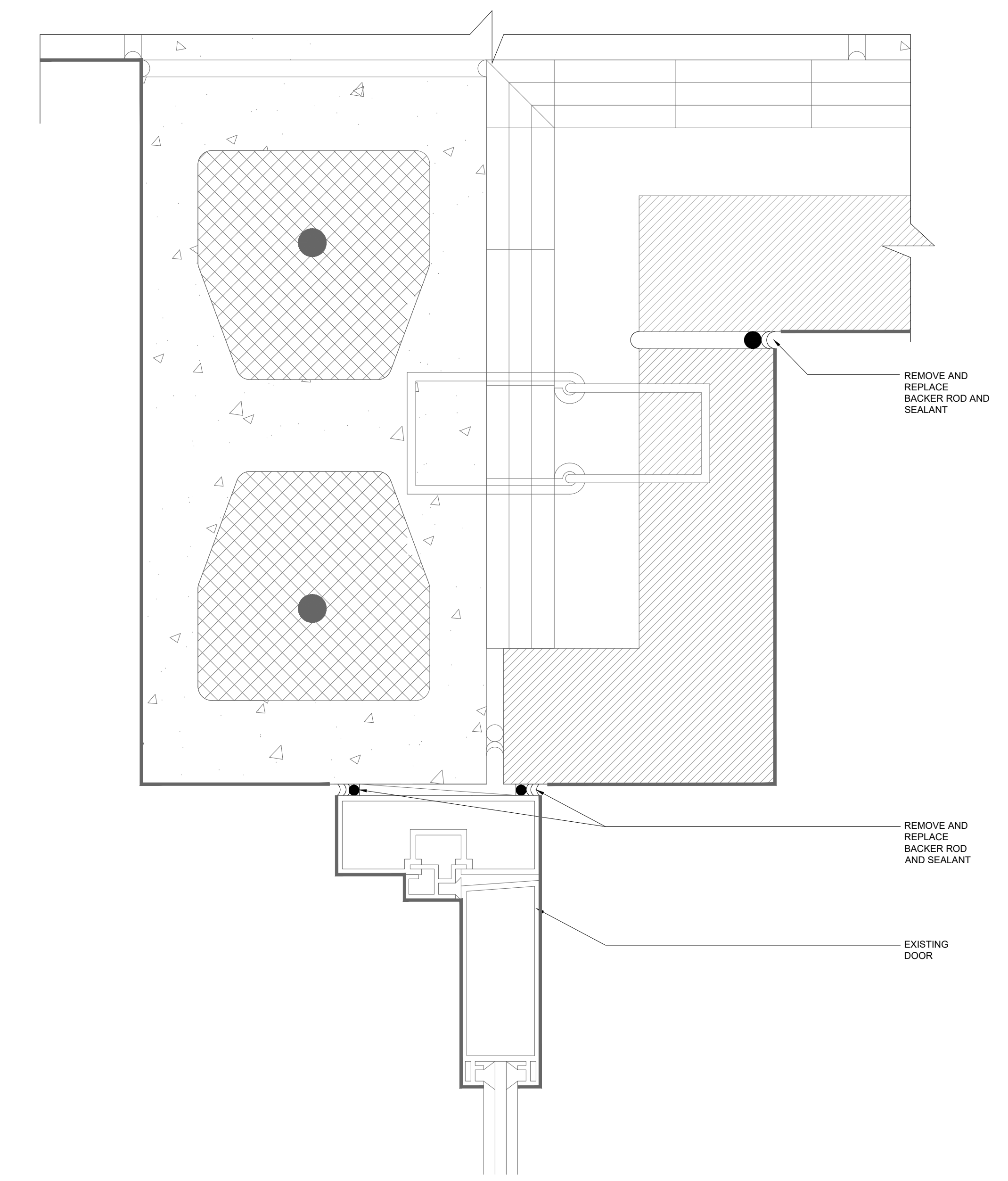
IDEA QUEST

**A2.03**

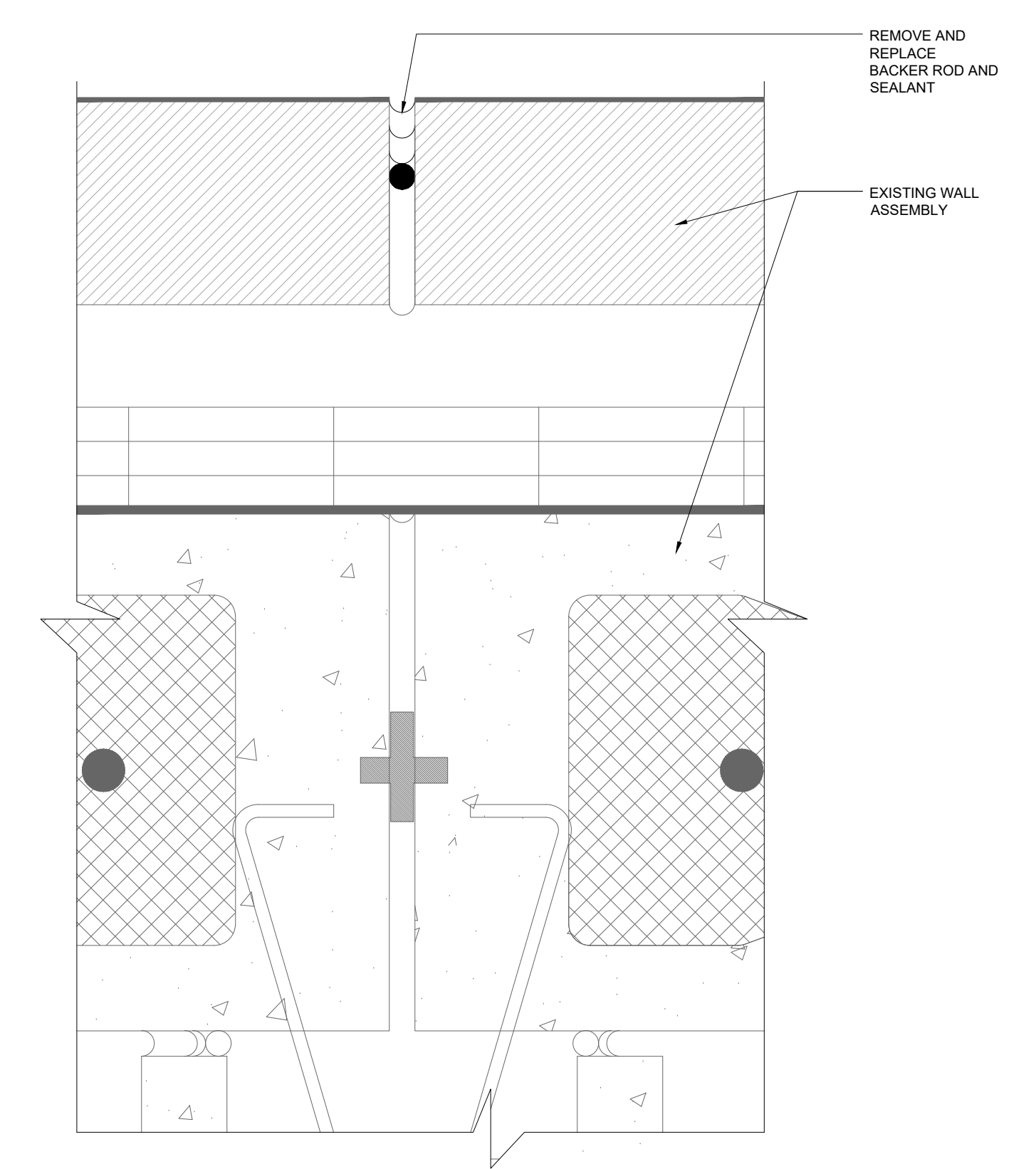




**04** TYPICAL GUTTER REPLACEMENT DETAIL AT GUTTER STRAP  
 SCALE: 6" = 1'-0"



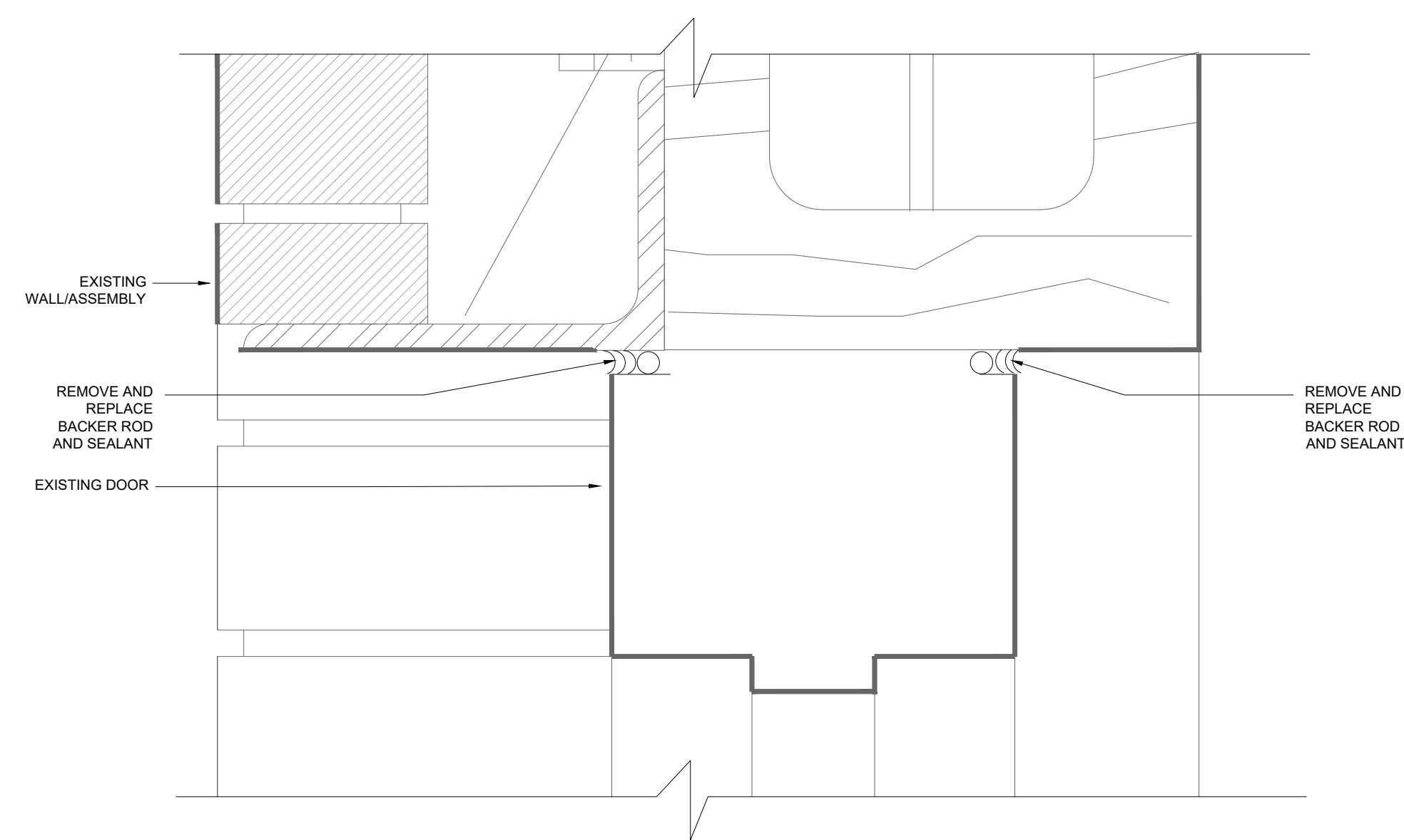
**03** TYPICAL SEALANT AT DOOR/BRICK RETURN @ MASONRY WALL ( PLAN VIEW)  
 SCALE: 6" = 1'-0"



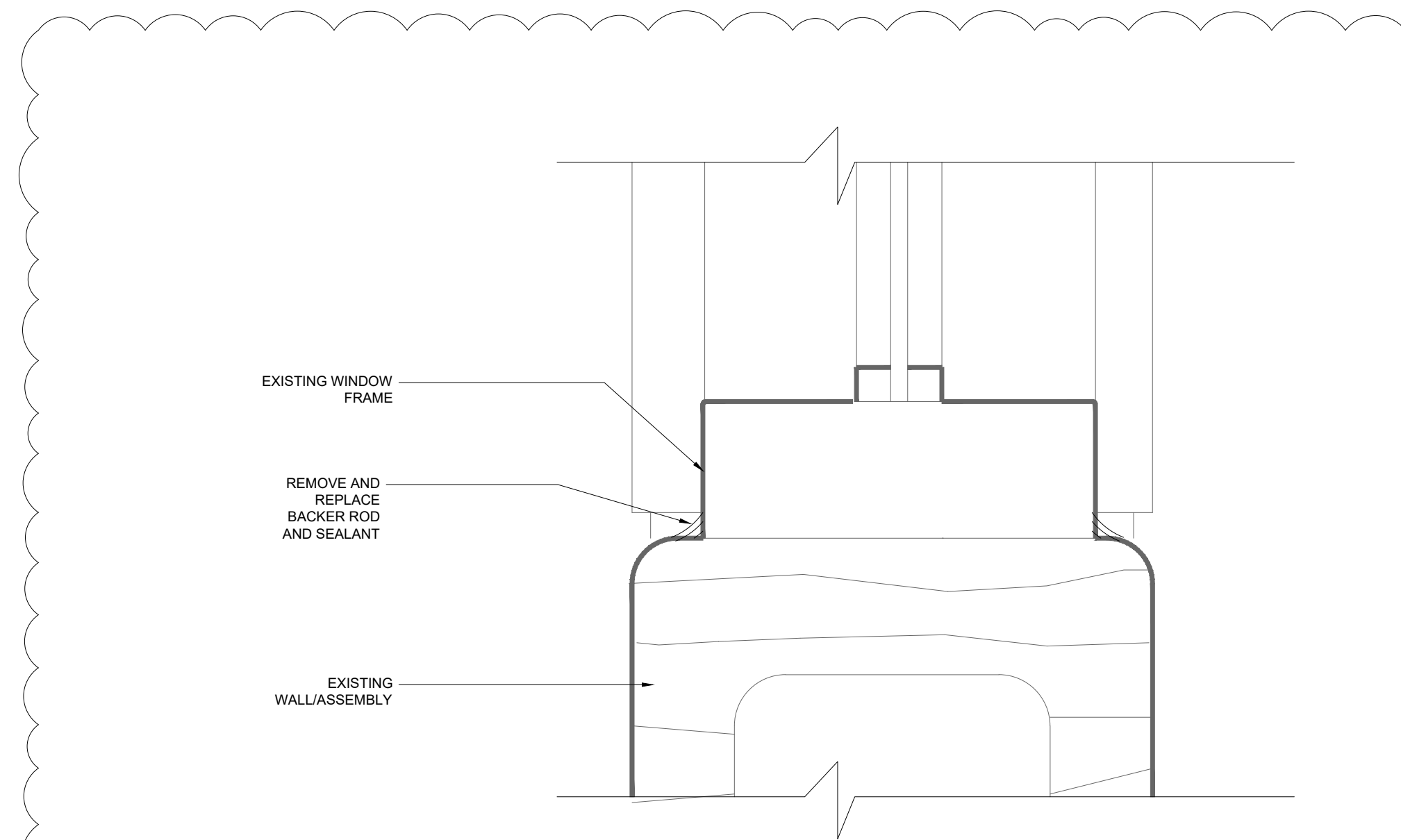
**05** TYPICAL CONTROL JOINT @ MASONRY WALL ( PLAN VIEW)  
 SCALE: 6" = 1'-0"

IDEA QUEST

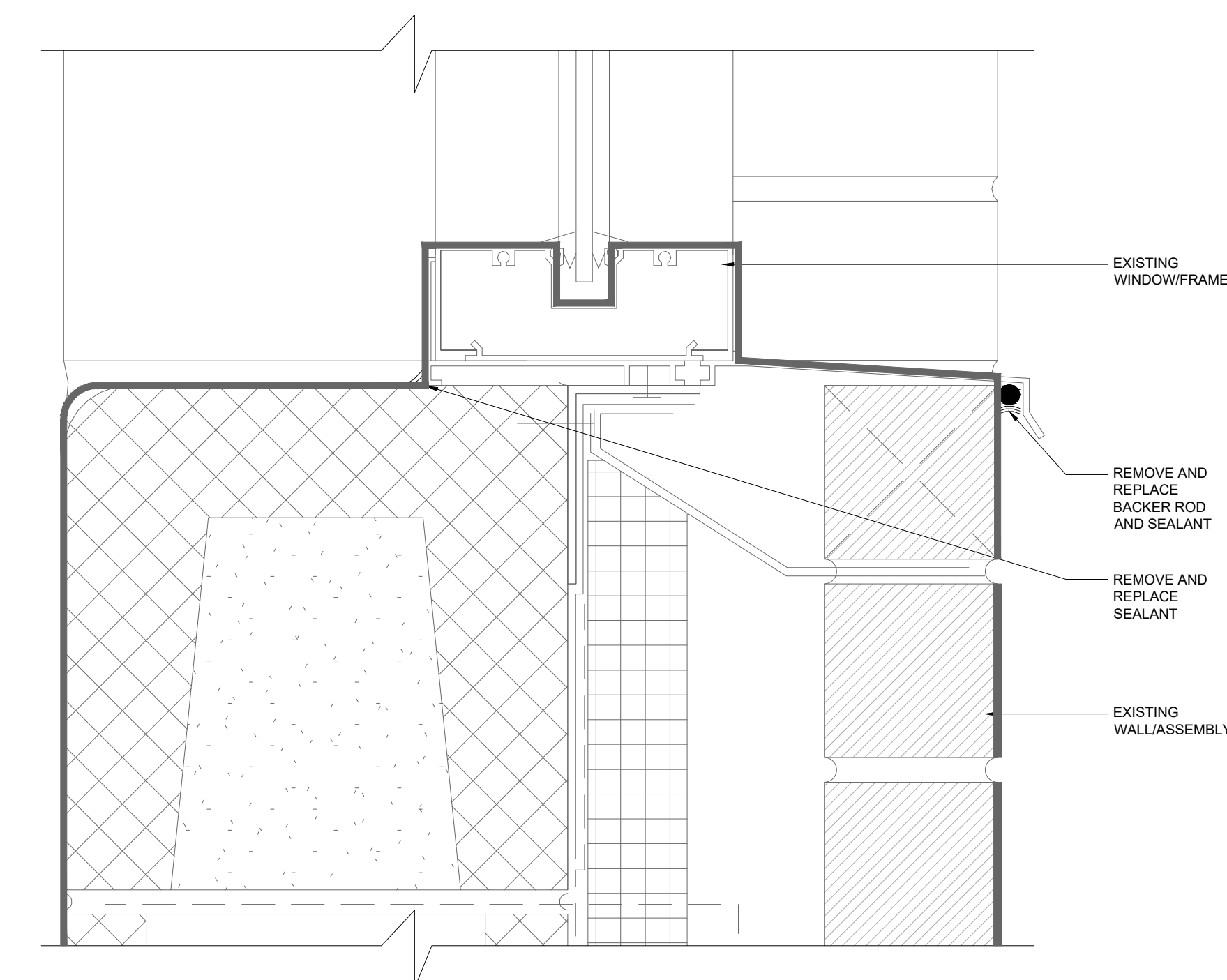




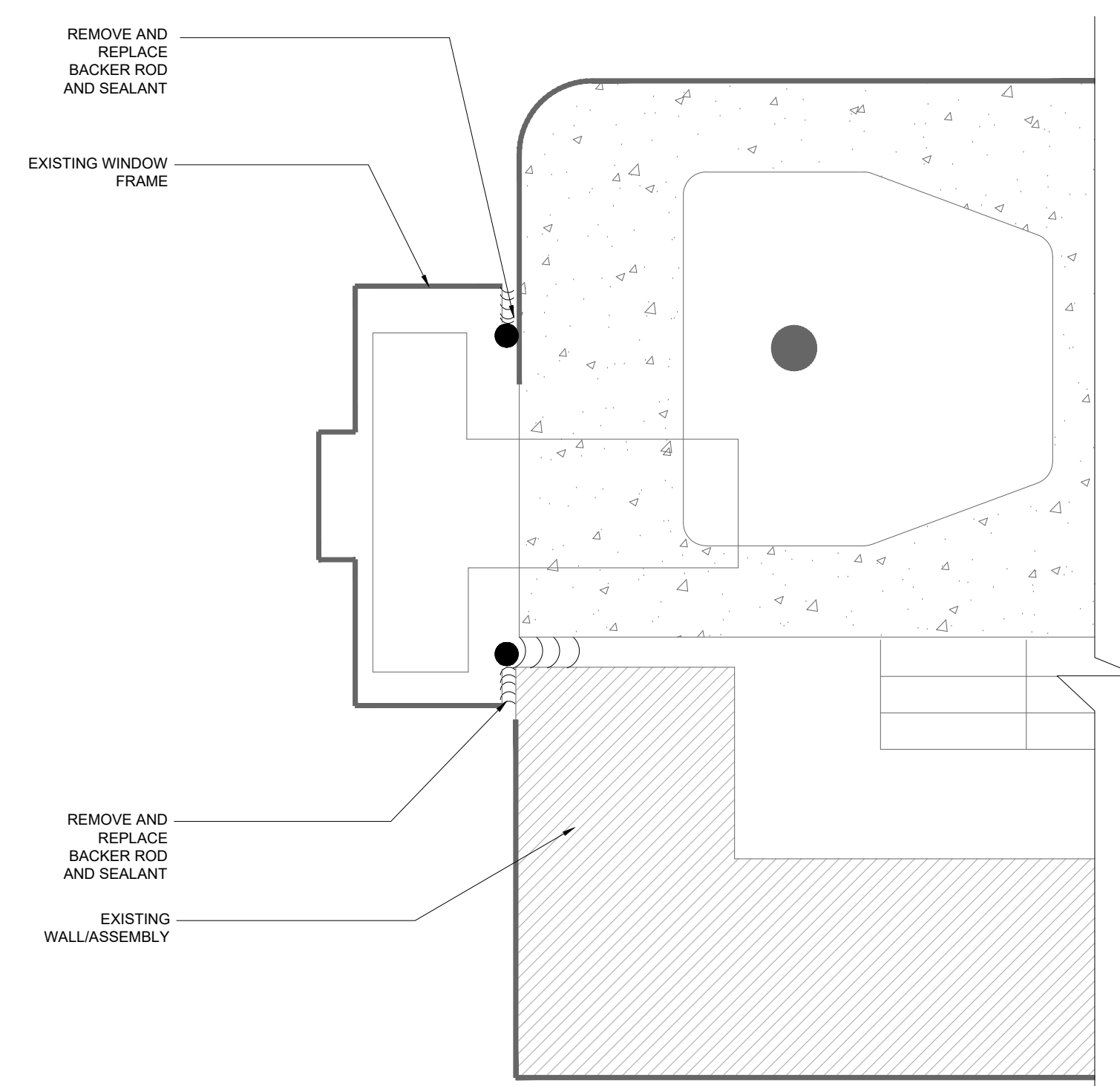
**01** TYPICAL SEALANT AT DOOR @ MASONRY WALL ( HEADER VIEW)  
 SCALE: 6" = 1'-0"



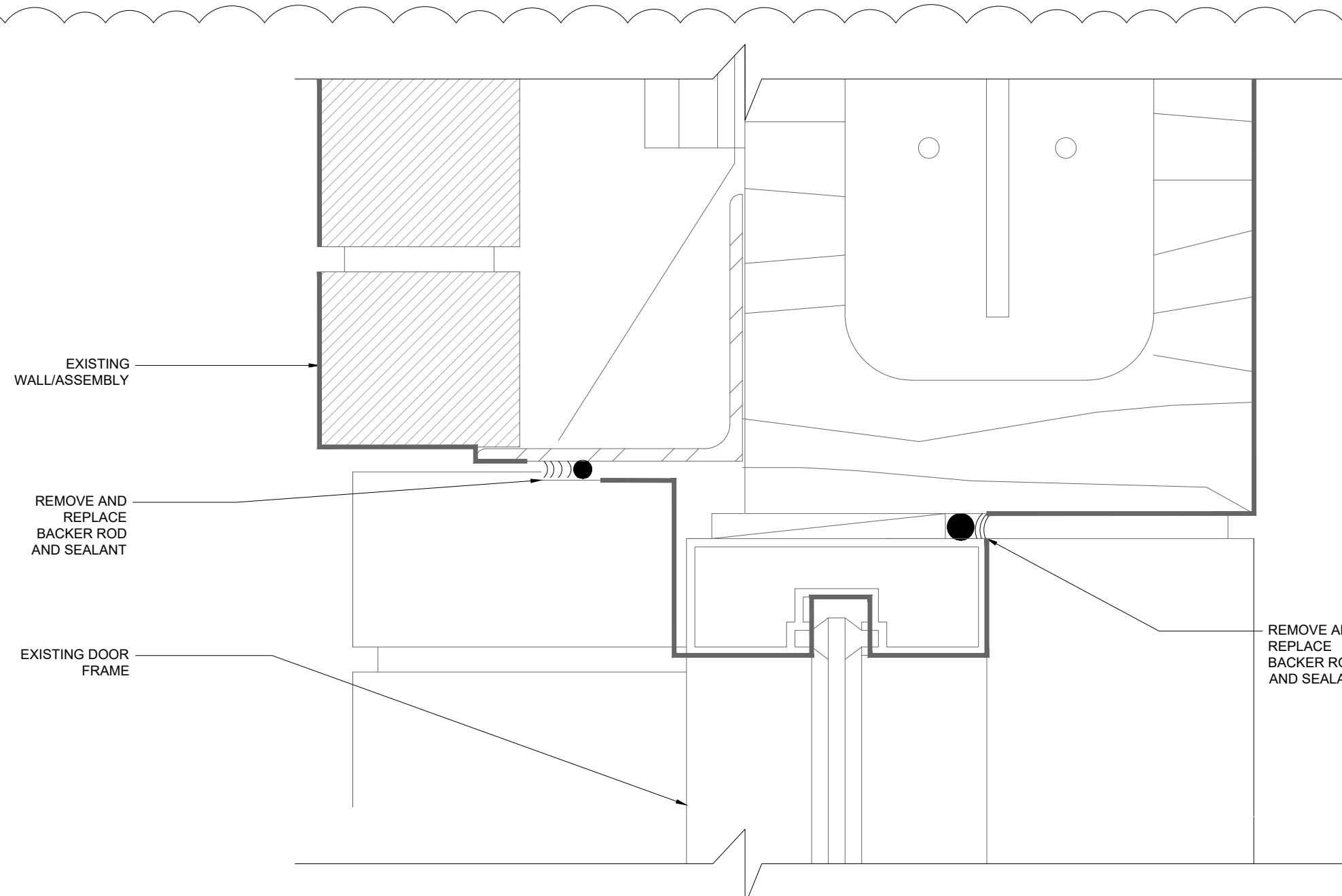
**02** TYPICAL SEALANT AT WINDOW @ MASONRY WALL ( SILL VIEW)  
 SCALE: 6" = 1'-0"



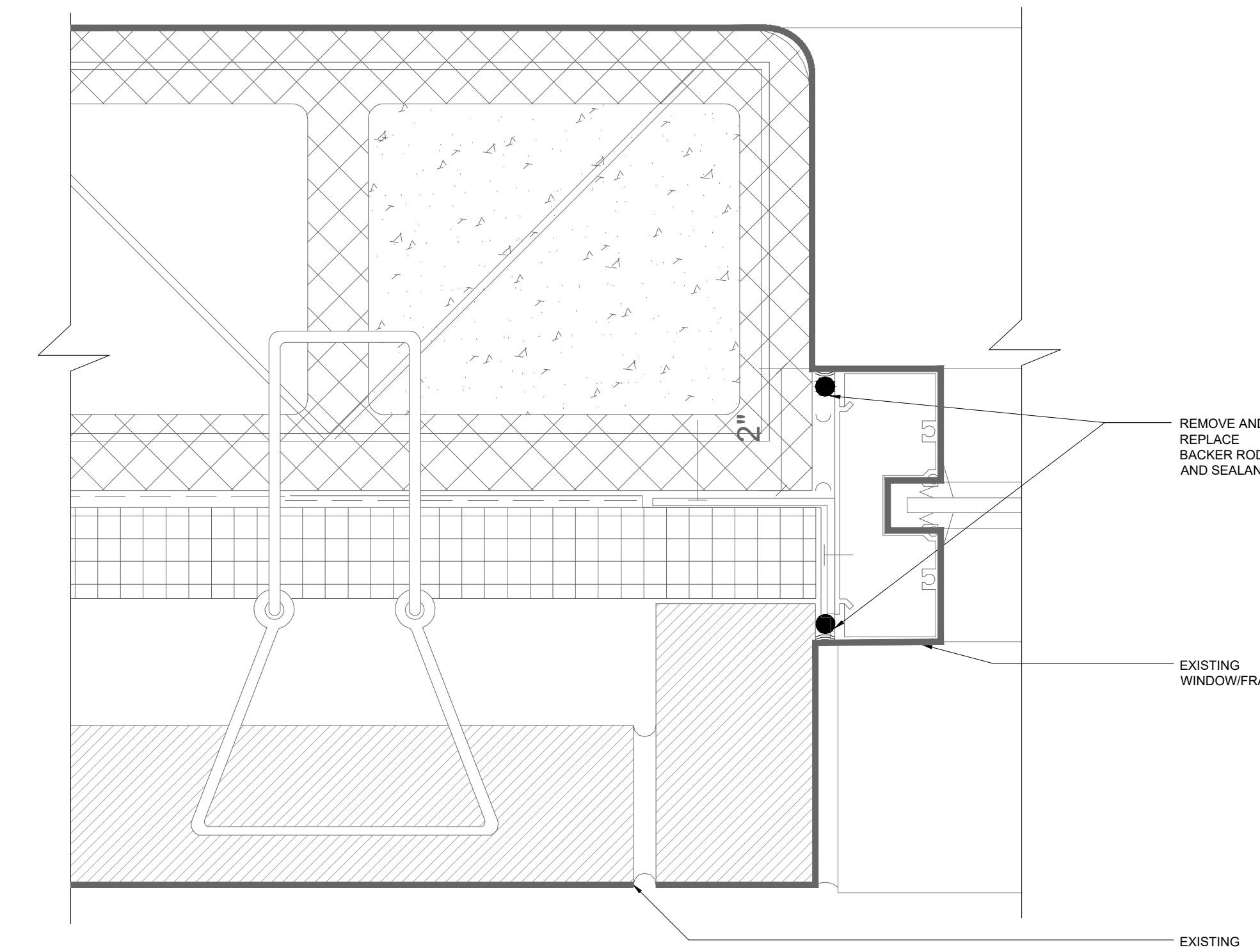
**07** TYPICAL SEALANT AT WINDOW @ STORE FRONT ( SILL VIEW)  
 SCALE: 6" = 1'-0"



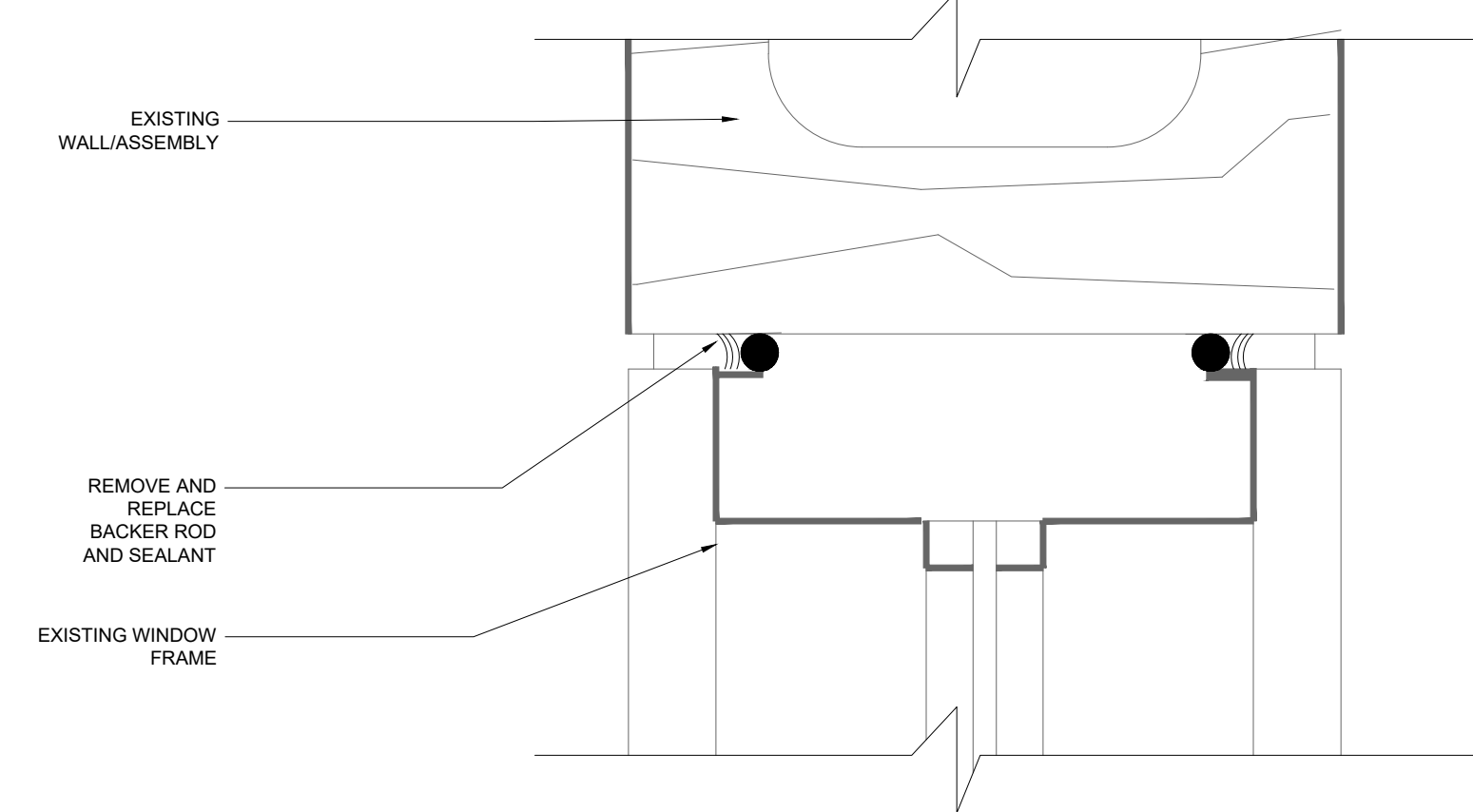
**03** TYPICAL SEALANT AT DOOR @ MASONRY WALL ( JAMB VIEW)  
 SCALE: 6" = 1'-0"



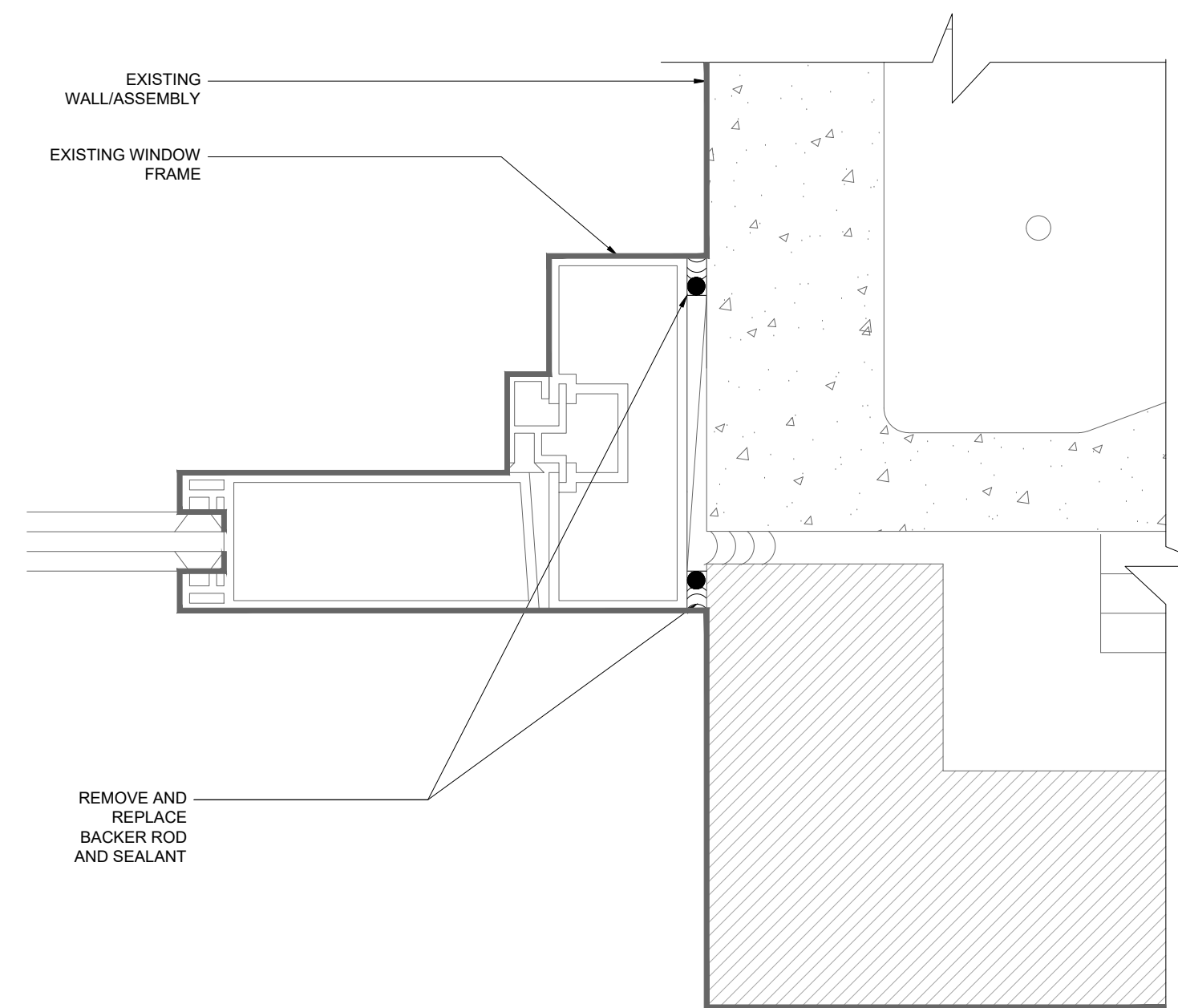
**04** TYPICAL SEALANT AT STOREFRONT DOOR @ MASONRY WALL ( HEADER VIEW)  
 SCALE: 6" = 1'-0"



**08** TYPICAL SEALANT AT WINDOW @ STORE FRONT ( JAMB VIEW)  
 SCALE: 6" = 1'-0"

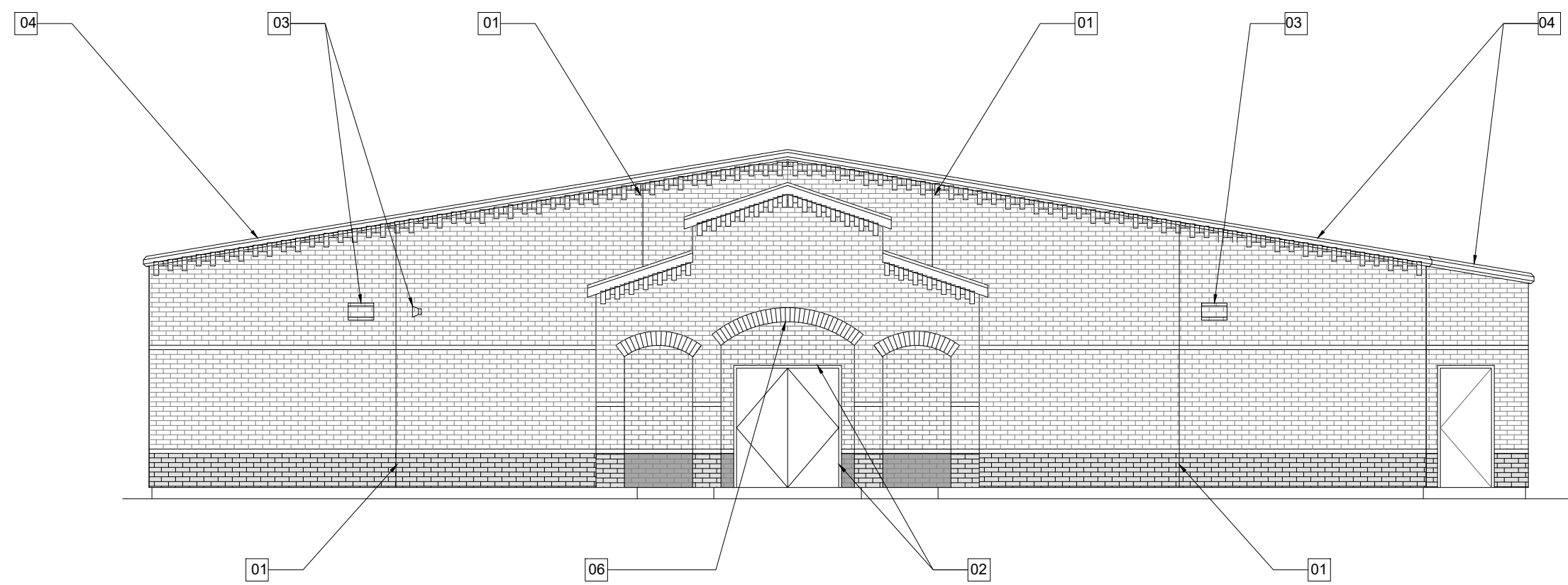
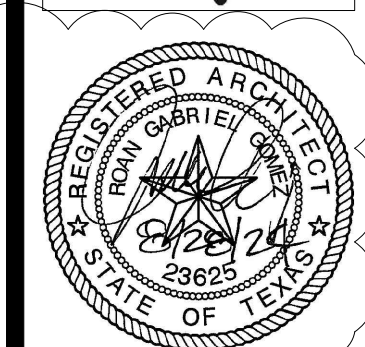


**05** TYPICAL SEALANT AT WINDOW @ CMU ( HEADER VIEW/JAMB SIM.)  
 SCALE: 6" = 1'-0"

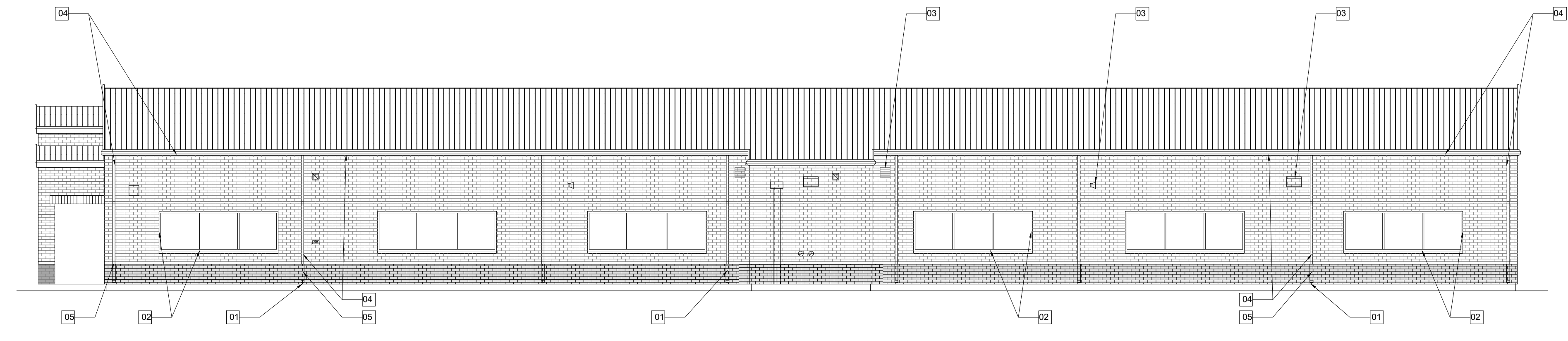


**06** TYPICAL SEALANT AT STOREFRONT DOOR @ MASONRY WALL ( JAMB VIEW)  
 SCALE: 6" = 1'-0"

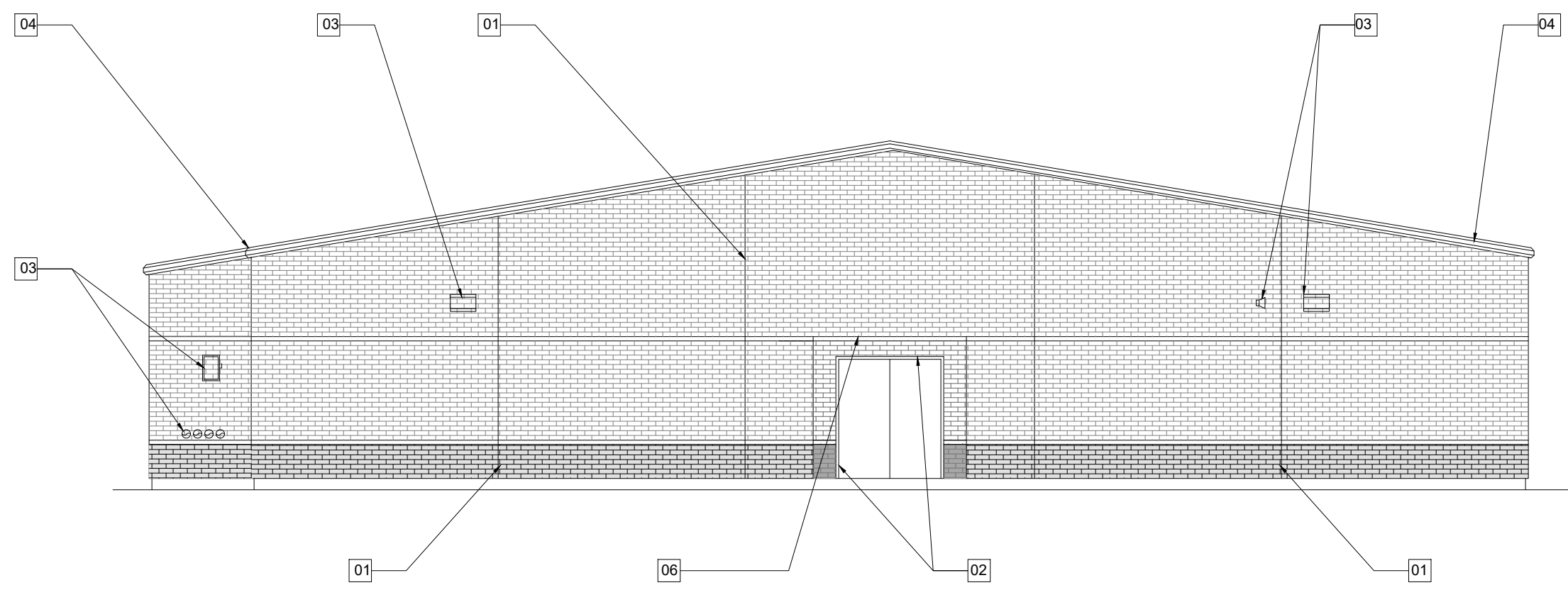




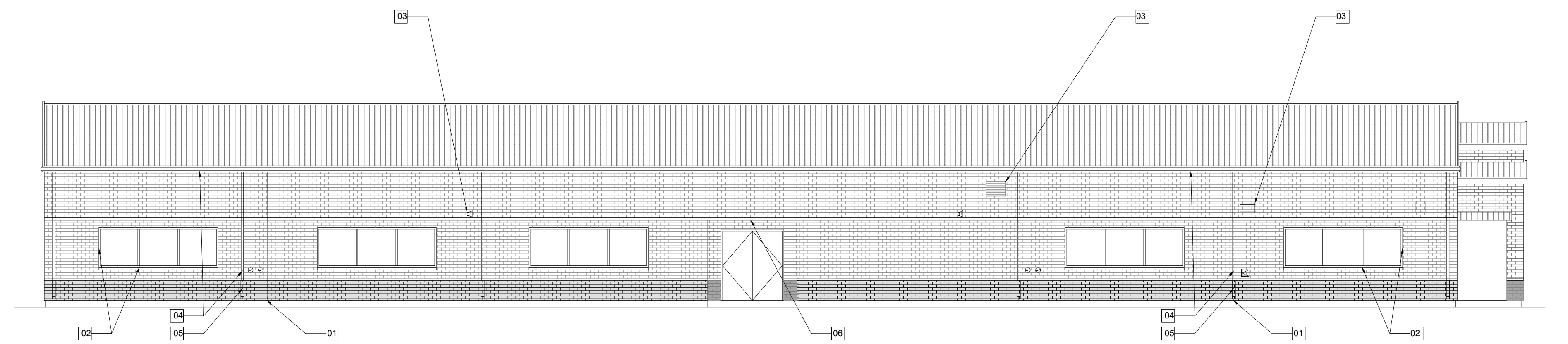
**01** BUILDING A  
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**02** BUILDING A  
**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**03** BUILDING A  
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**04** BUILDING A  
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

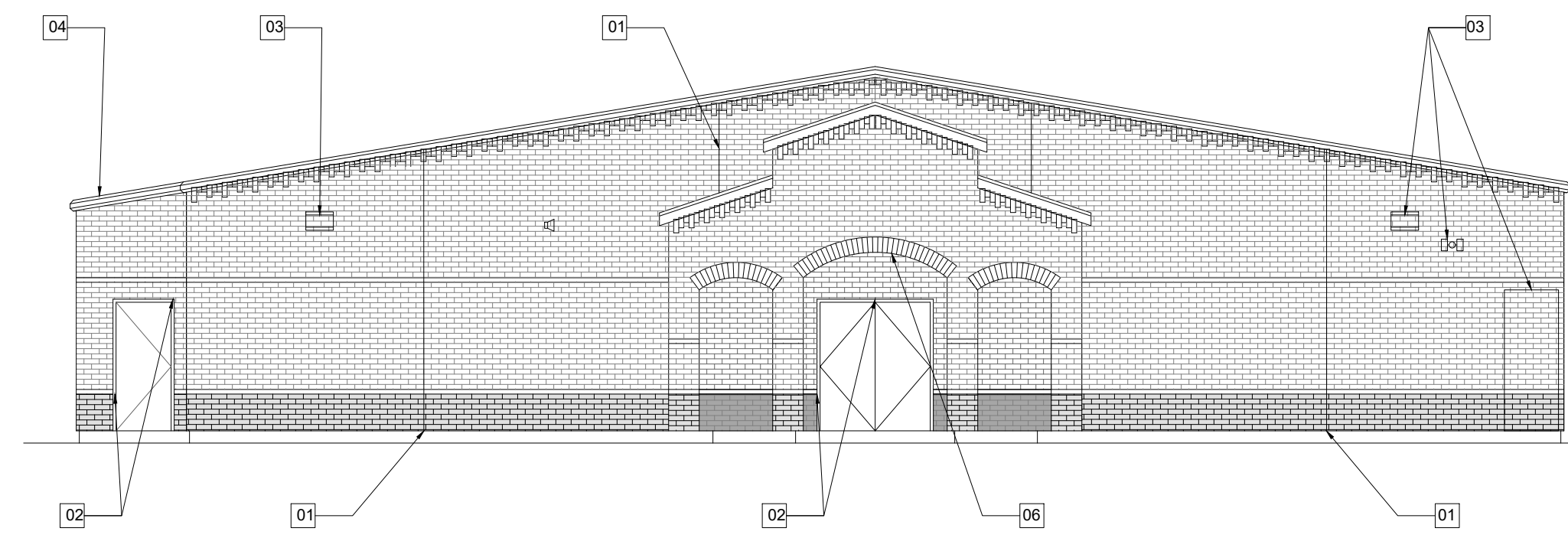
**BUILDING: SCOPE OF WORK**

1. PROVIDE NEW BOOT AT DOWNSPOUTS TO MATCH EXISTING
2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
4. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS AND PENETRATIONS.

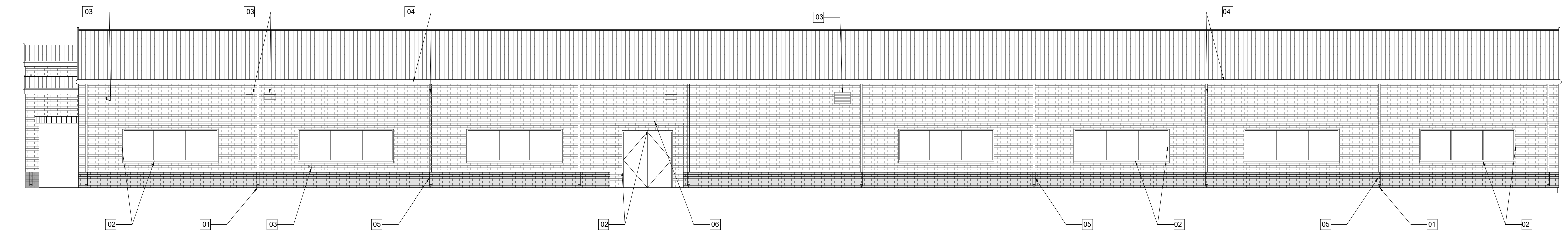
**KEYED NOTES**

- 01 REPLACE CONTROL EXPANSION JOINTS WITH NEW SEALANT, TYP. REMOVE DOWNSPOUT WHEN REQUIRED. REFER TO SHEET A4.01
- 02 REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.01-A4.02, A6.01
- 03 RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP.
- 04 REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING, TYP. REFER TO DETAIL 04A.01
- 05 PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP.
- 06 RE-SEAL AT ALL FIXTURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT
- 07 EXISTING CANOPY

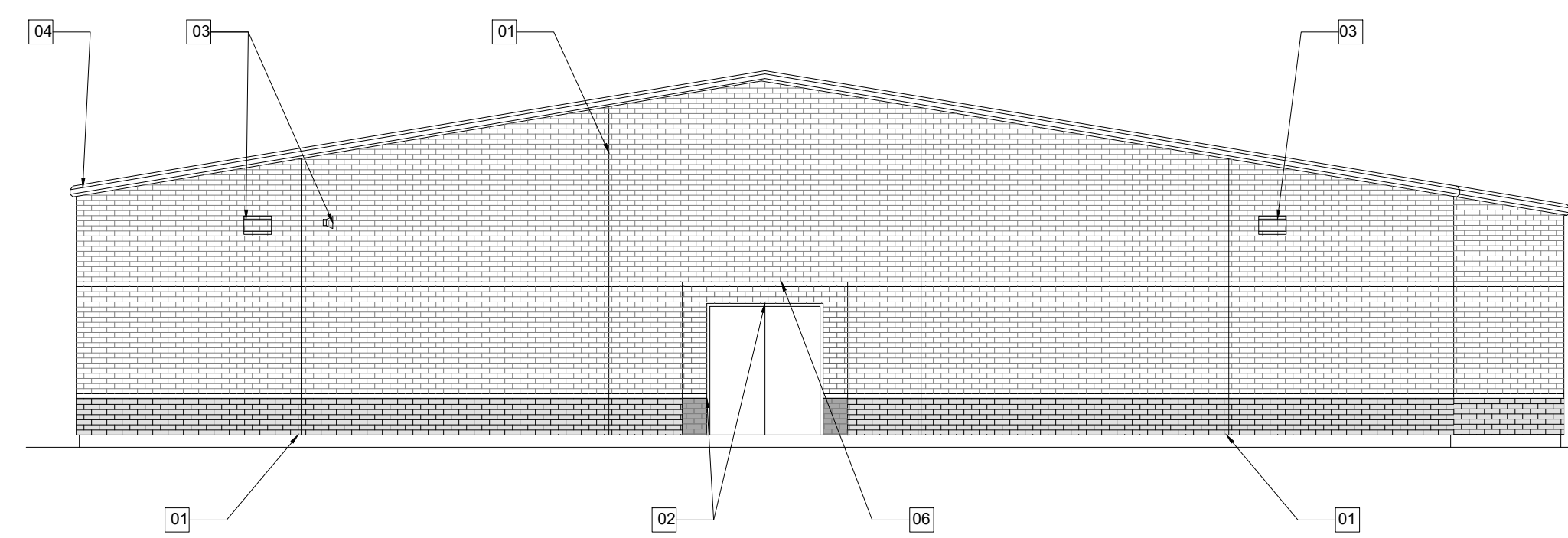




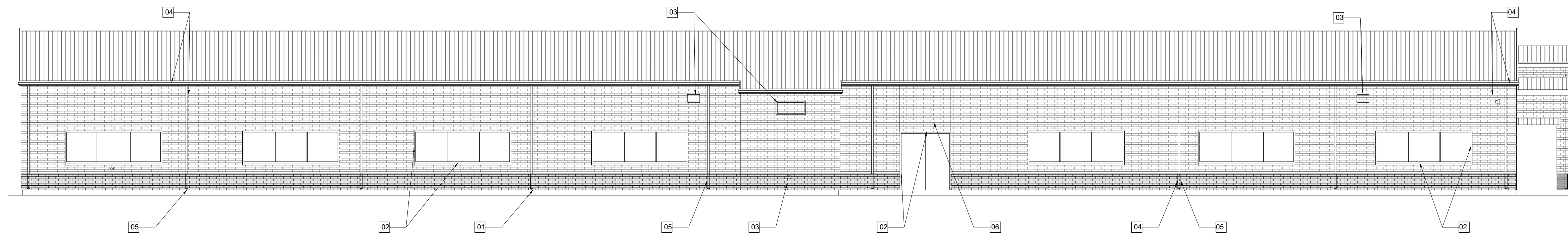
**01** BUILDING B  
**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**02** BUILDING B  
**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**03** BUILDING B  
**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**04** BUILDING B  
**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**KEYED NOTES**

- 01 REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REMOVE DOWNSPOUT WHEN REQUIRED. REFER TO SHEET A4.01
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- 03 RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP.
- 04 REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING, TYP. REFER TO DETAIL 04/A4.01
- 05 PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP.
- 06 RE-SEAL AT ALL FIXTURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT
- 07 EXISTING CANOPY

**BUILDING: SCOPE OF WORK**

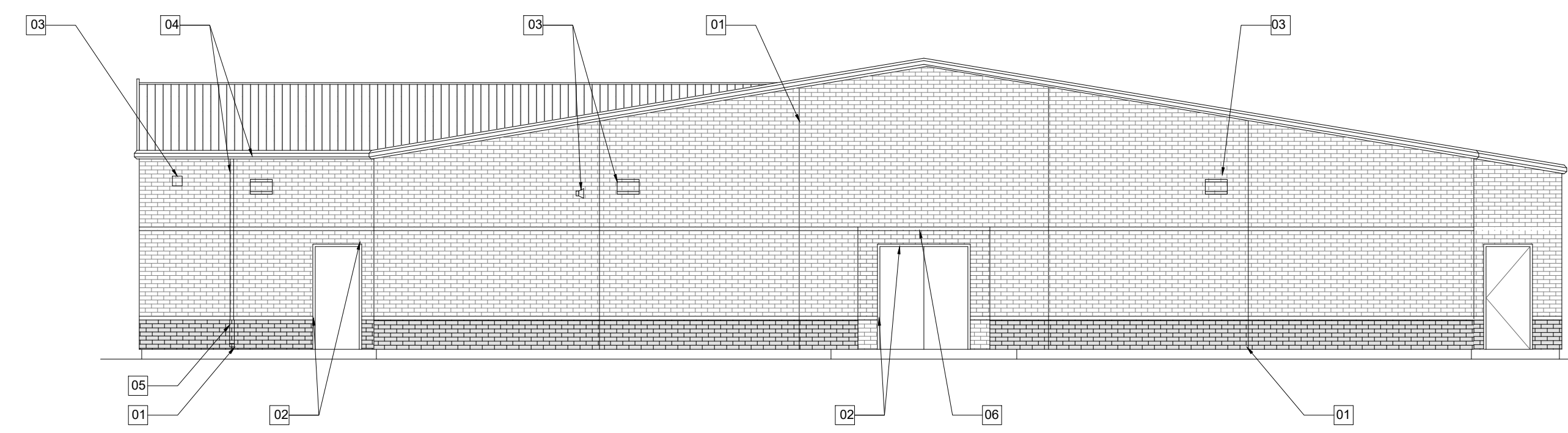
1. PROVIDE NEW BOOT AT DOWNSPOUTS TO MATCH EXISTING
2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
4. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS AND PENETRATIONS.



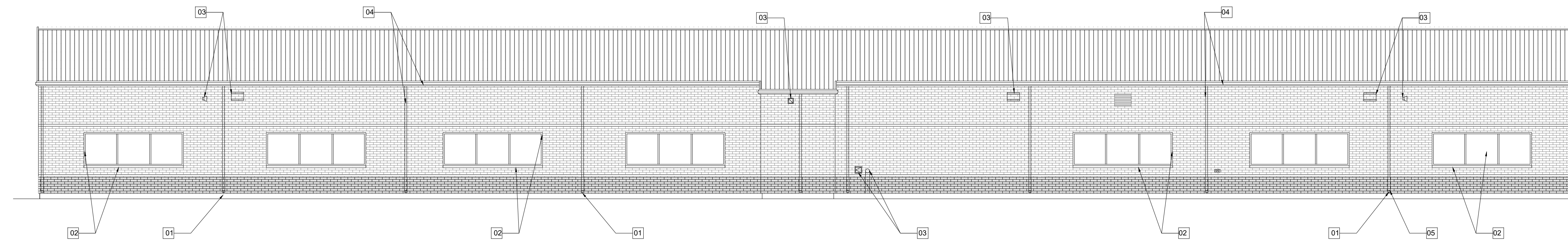
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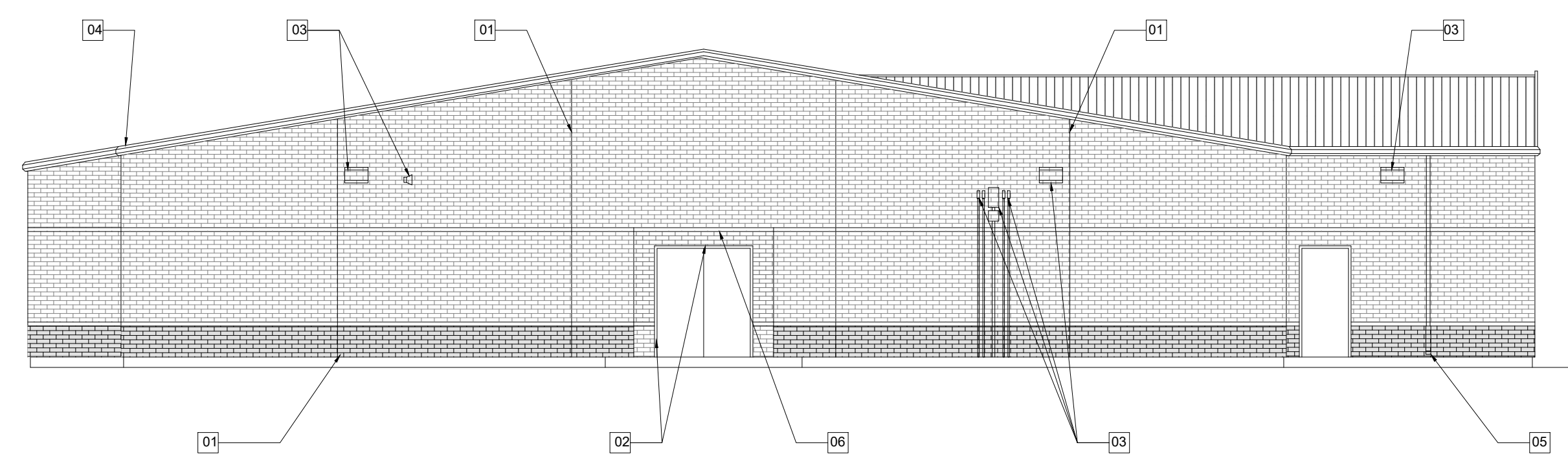




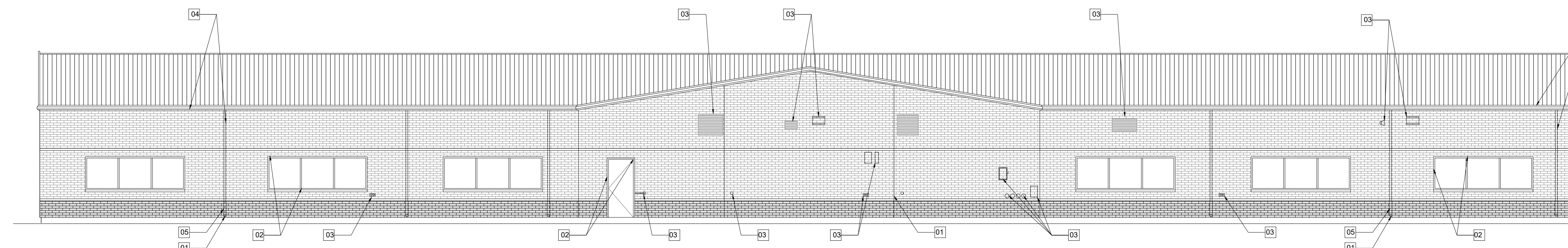
**01** BUILDING C  
**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**02** BUILDING C  
**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**03** BUILDING C  
**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



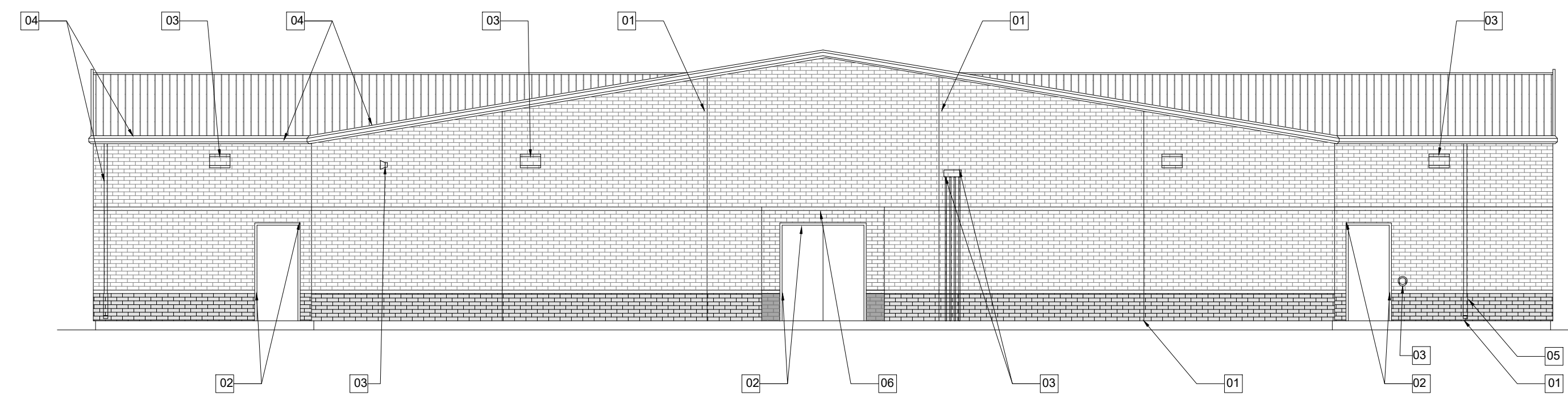
**04** BUILDING C  
**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

- BUILDING: SCOPE OF WORK**
1. PROVIDE NEW BOOT AT DOWNSPOUTS TO MATCH EXISTING
  2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
  3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
  4. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS AND PENETRATIONS.

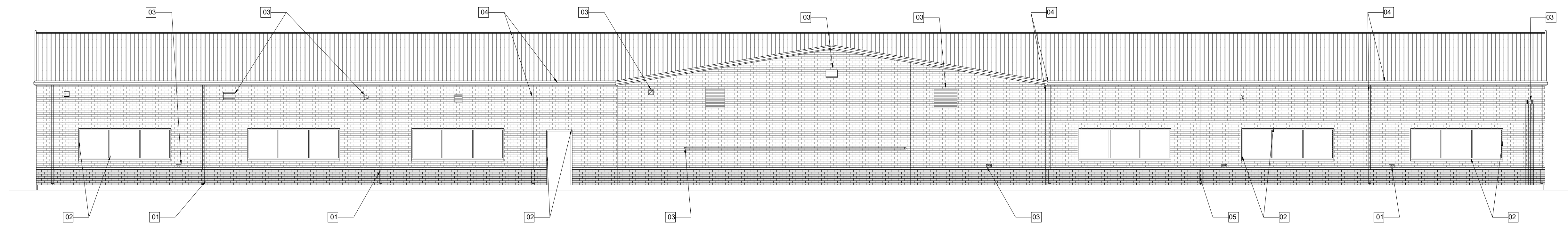
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  - 07 EXISTING CANOPY



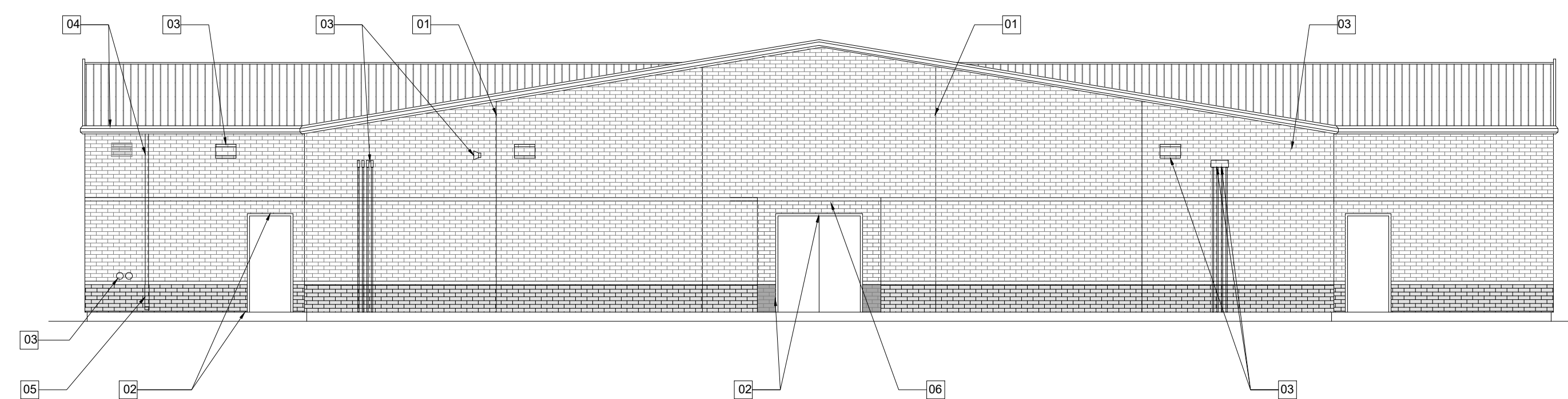




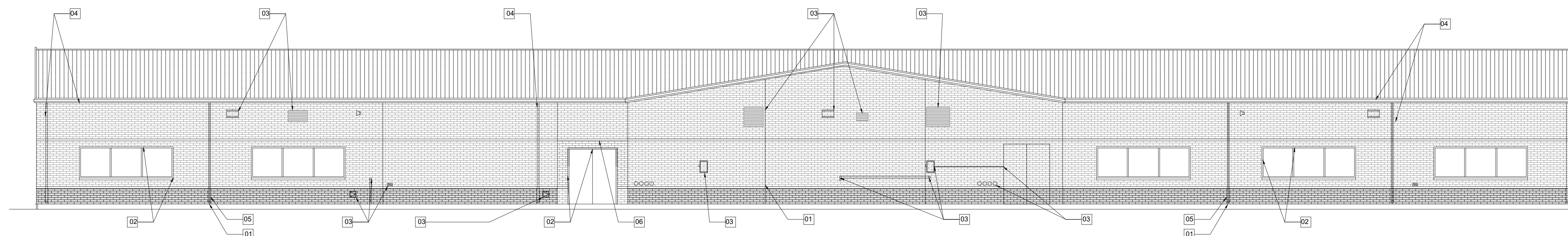
**01 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**02 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**03 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**04 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

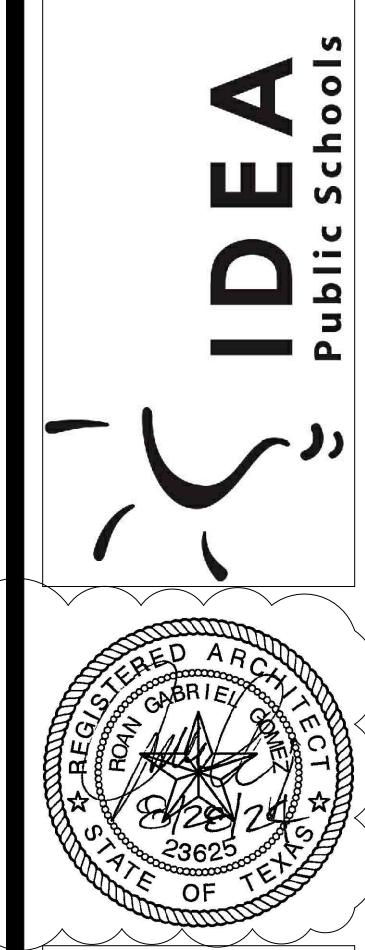
**KEYED NOTES**

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**BUILDING: SCOPE OF WORK**

1. PROVIDE NEW BOOT AT DOWNSPOUTS TO MATCH EXISTING
2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
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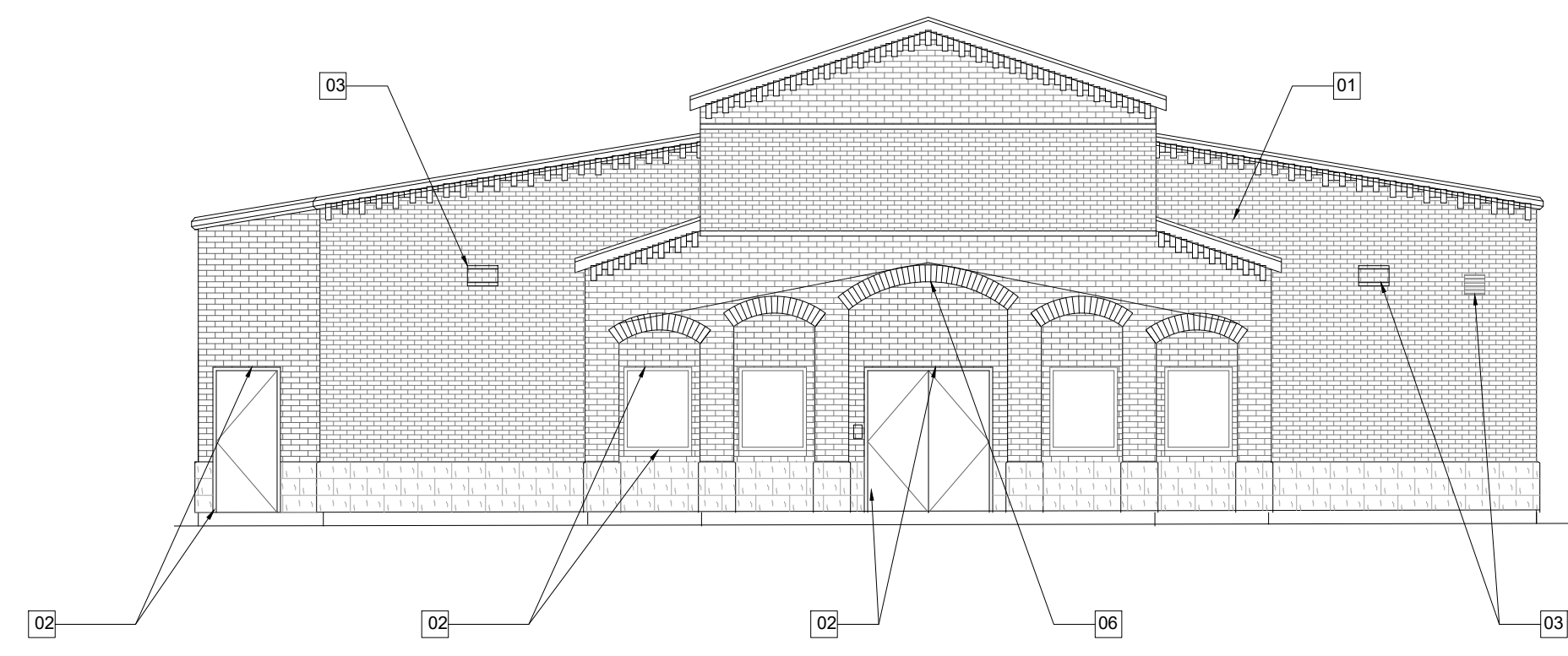
IDEA Public Schools - Exterior Envelope Repairs  
 IDEA McAllen Quest  
 McAllen, Texas



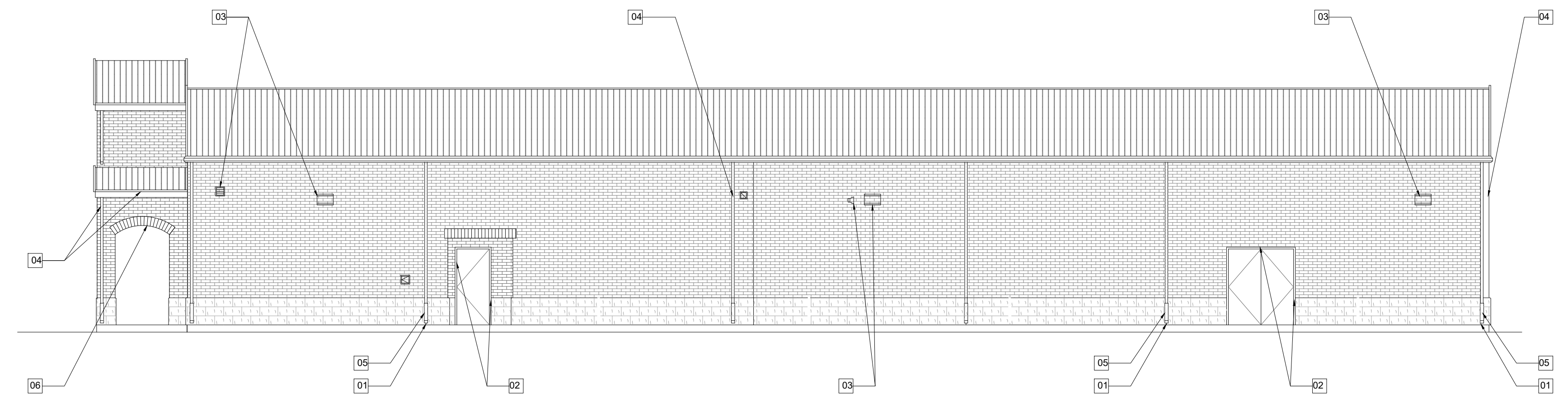
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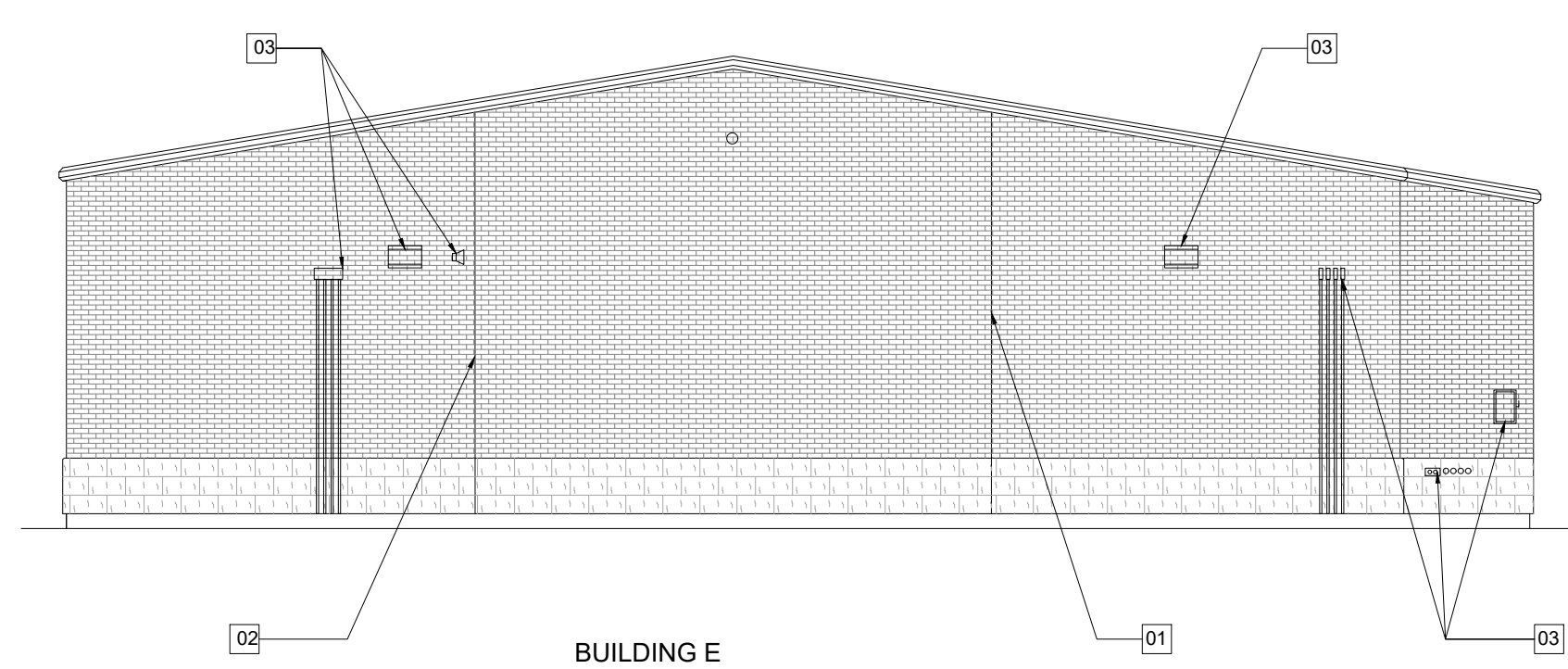




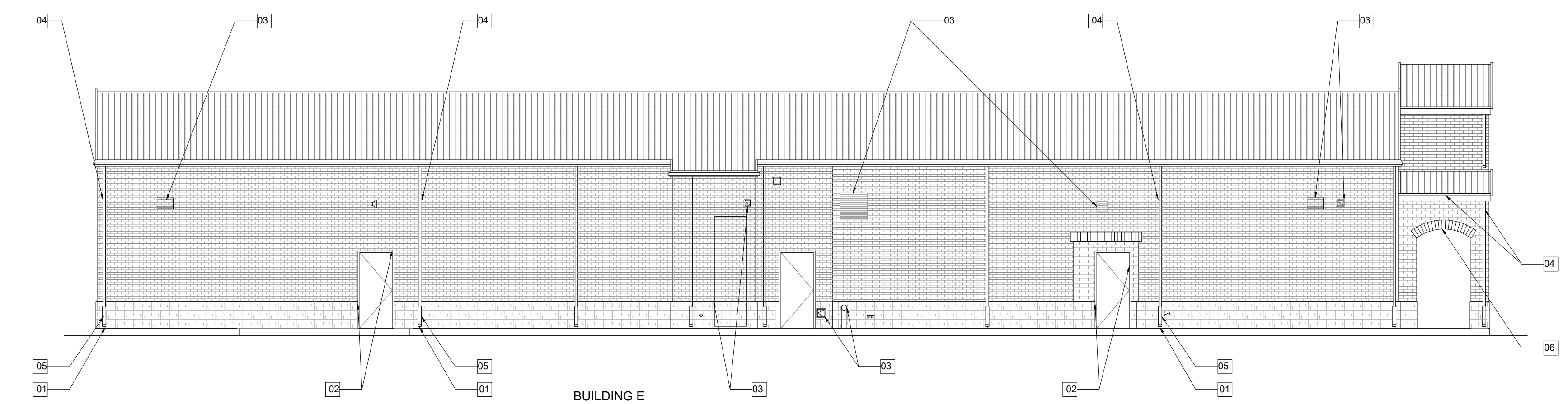
BUILDING E  
**01 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



BUILDING E  
**02 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



BUILDING E  
**03 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



BUILDING E  
**04 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**KEYED NOTES**

- 01 REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REMOVE DOWNSPOUT WHEN REQUIRED, REFER TO SHEET A4.01
- 02 REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.01-A4.02, A6.01
- 03 RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP.
- 04 REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING, TYP. REFER TO DETAIL 04.A4.01
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- 07 EXISTING CANOPY

**BUILDING: SCOPE OF WORK**

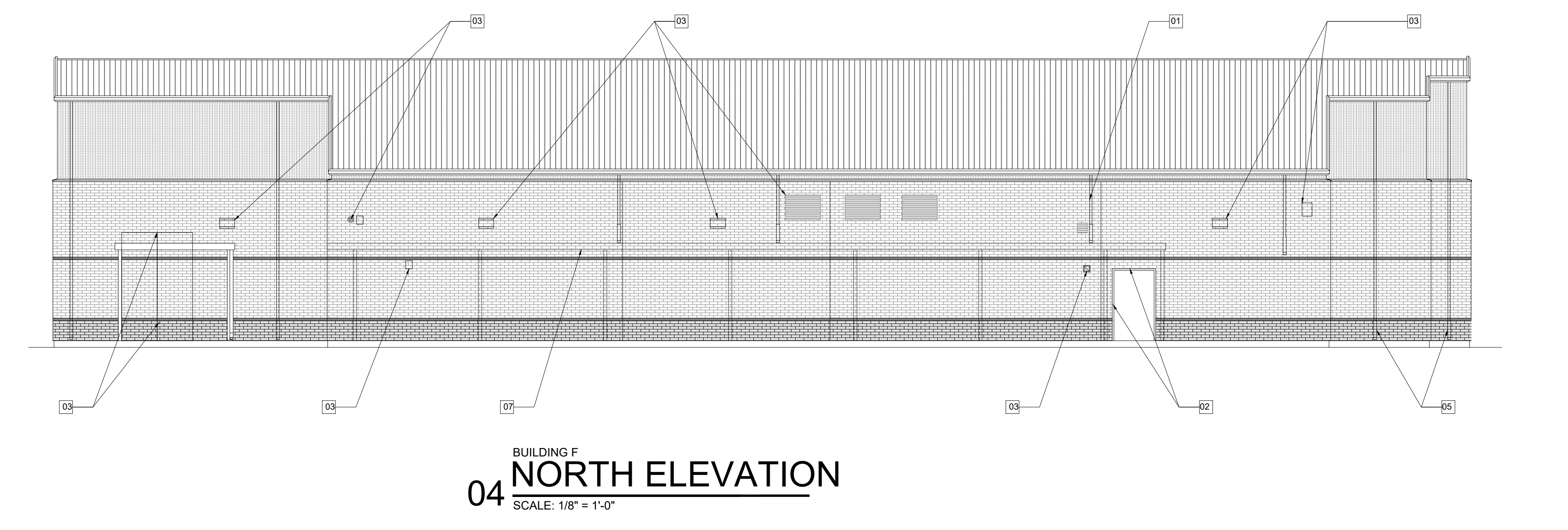
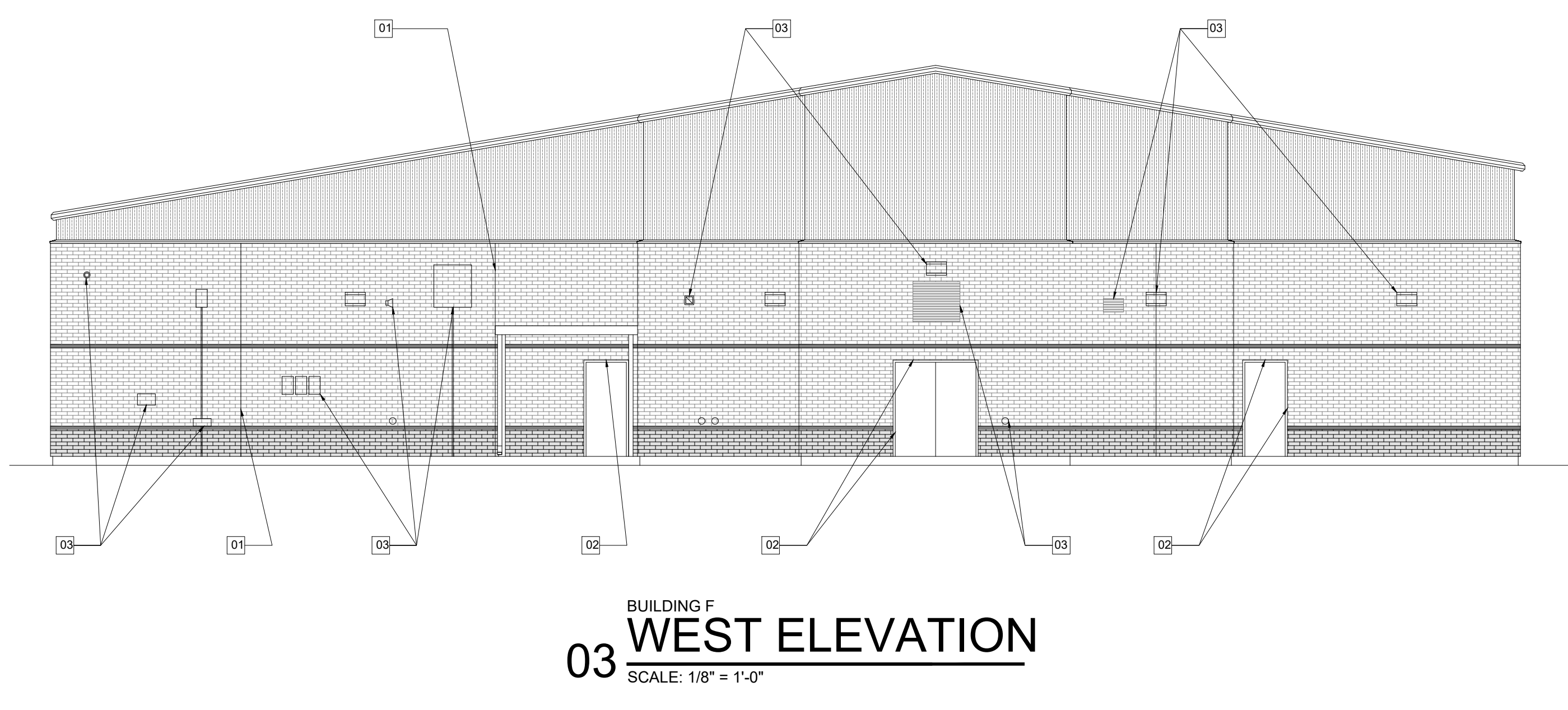
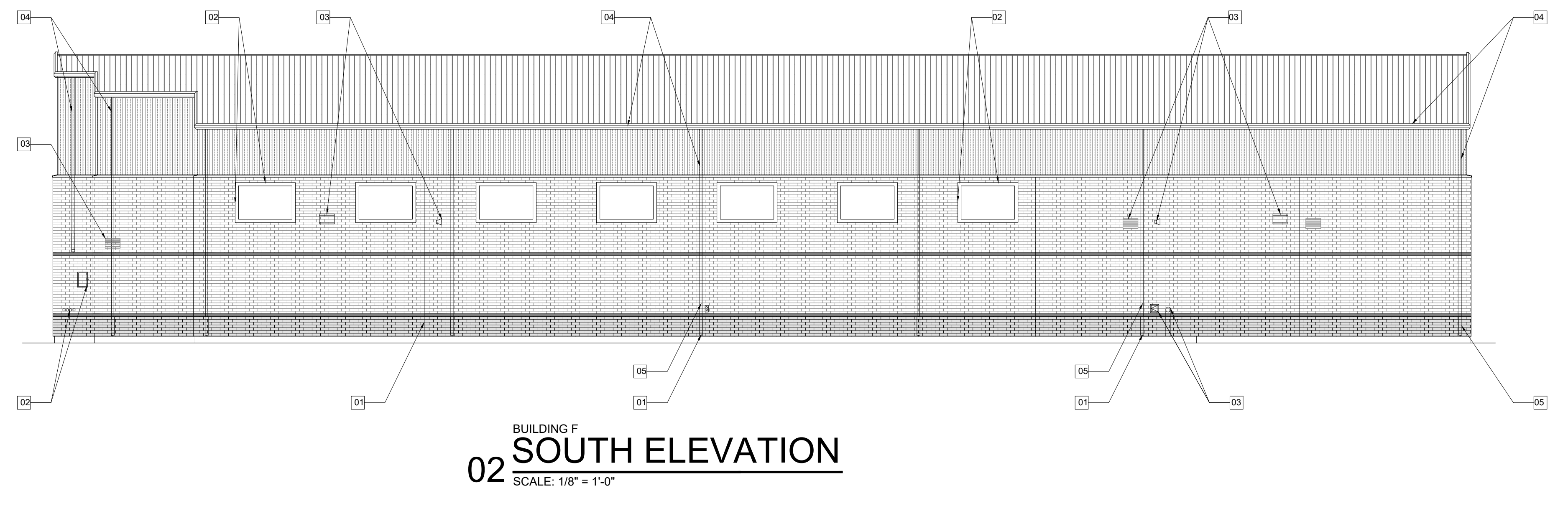
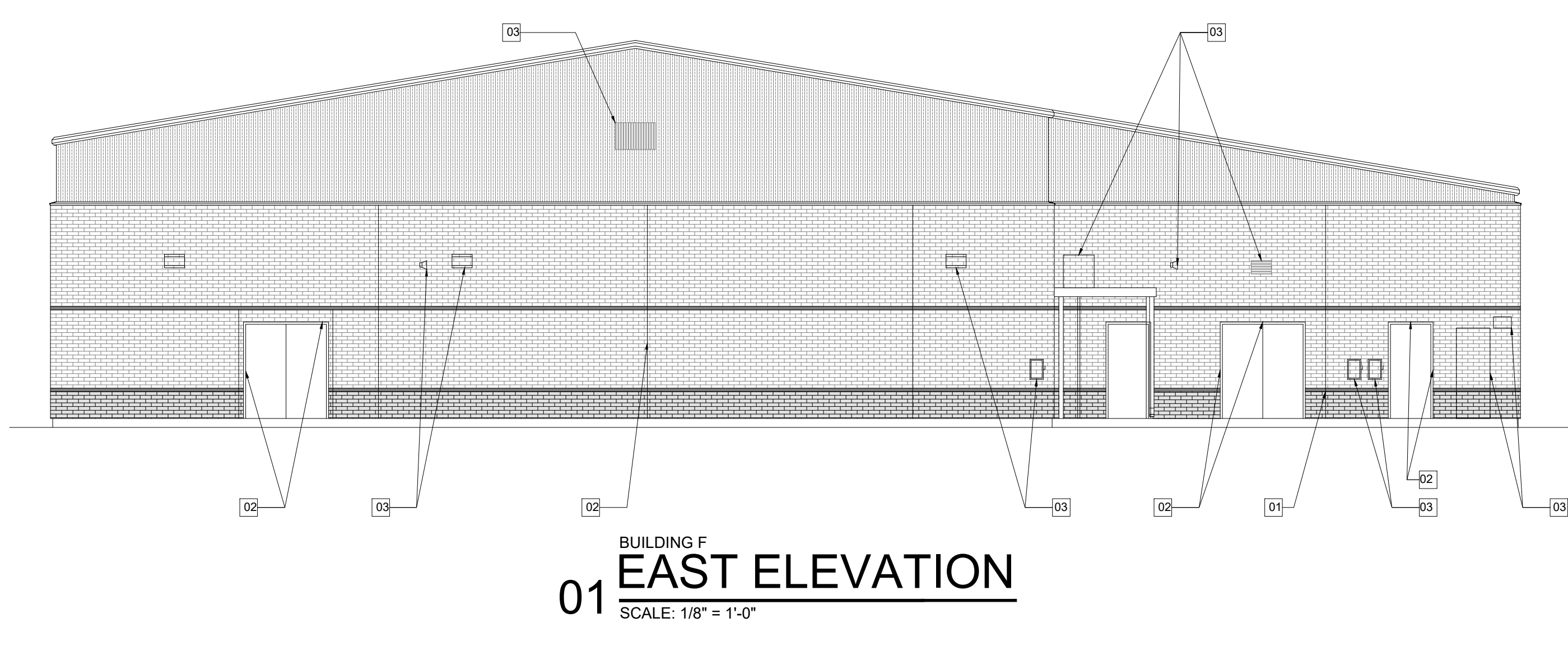
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**IDEA Public Schools - Exterior Envelope Repairs**  
**IDEA McAllen Quest**  
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 Sheet:

IDEA QUEST



**KEYED NOTES**

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- 02 REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS. TYP. REFER TO SHEET A4.01-A4.02, A6.01
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- 07 EXISTING CANOPY

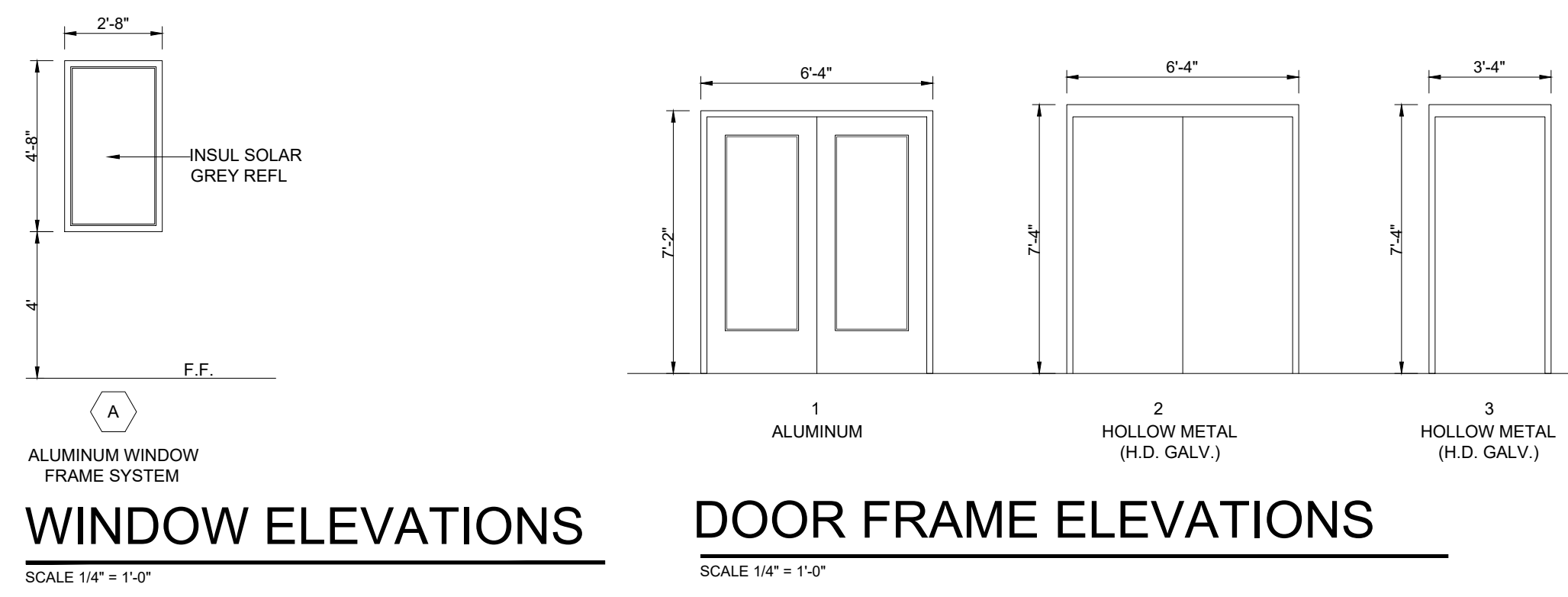
**BUILDING: SCOPE OF WORK**

1. PROVIDE NEW BOOT AT DOWNSPOUTS TO MATCH EXISTING
2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
4. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS AND PENETRATIONS.



# DOOR & WINDOW ELEVATIONS

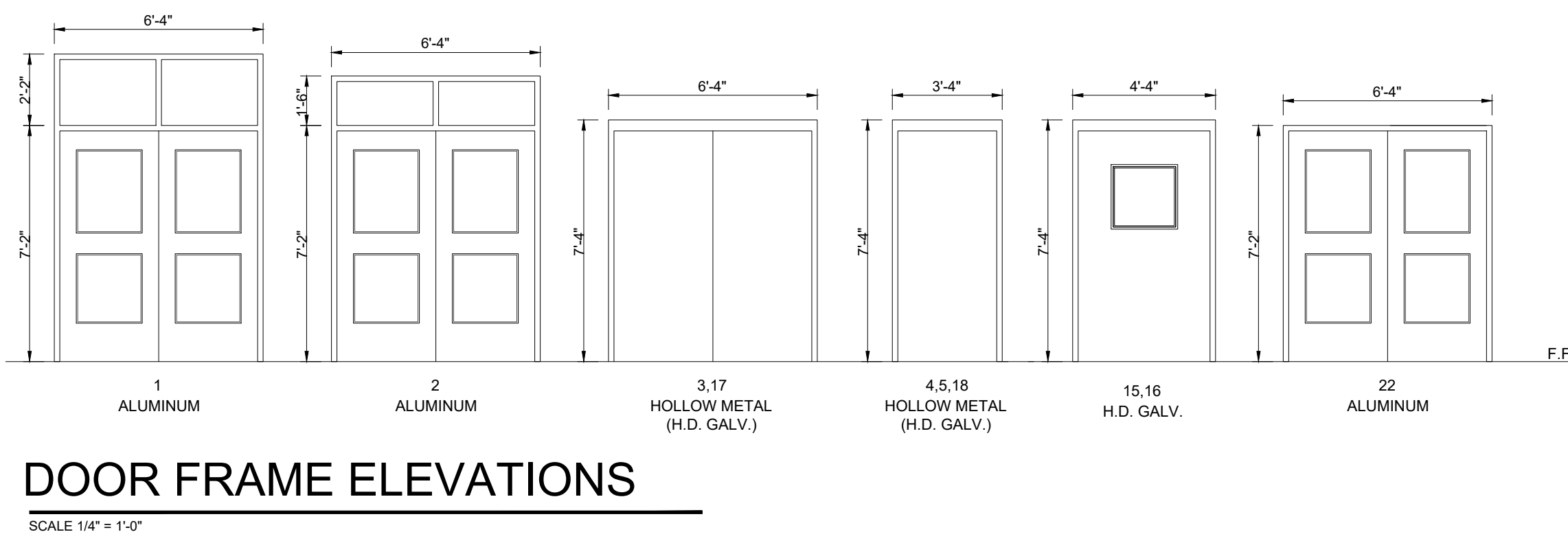
## BUILDING A & B



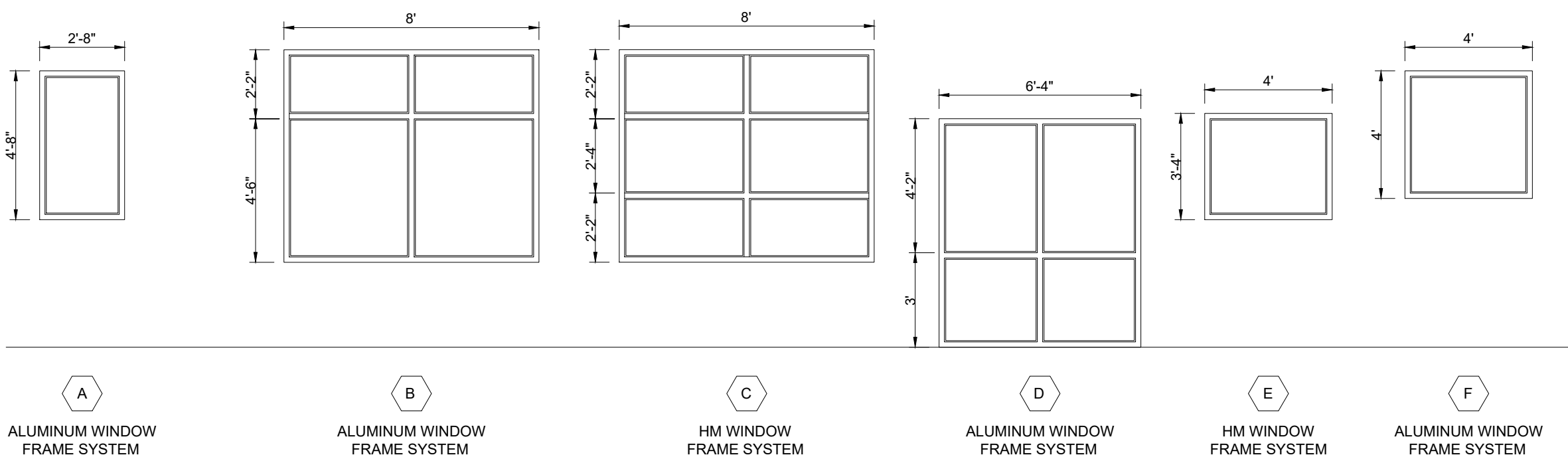
**WINDOW ELEVATIONS**  
SCALE 1/4" = 1'-0"

**DOOR FRAME ELEVATIONS**  
SCALE 1/4" = 1'-0"

## BUILDING C & D

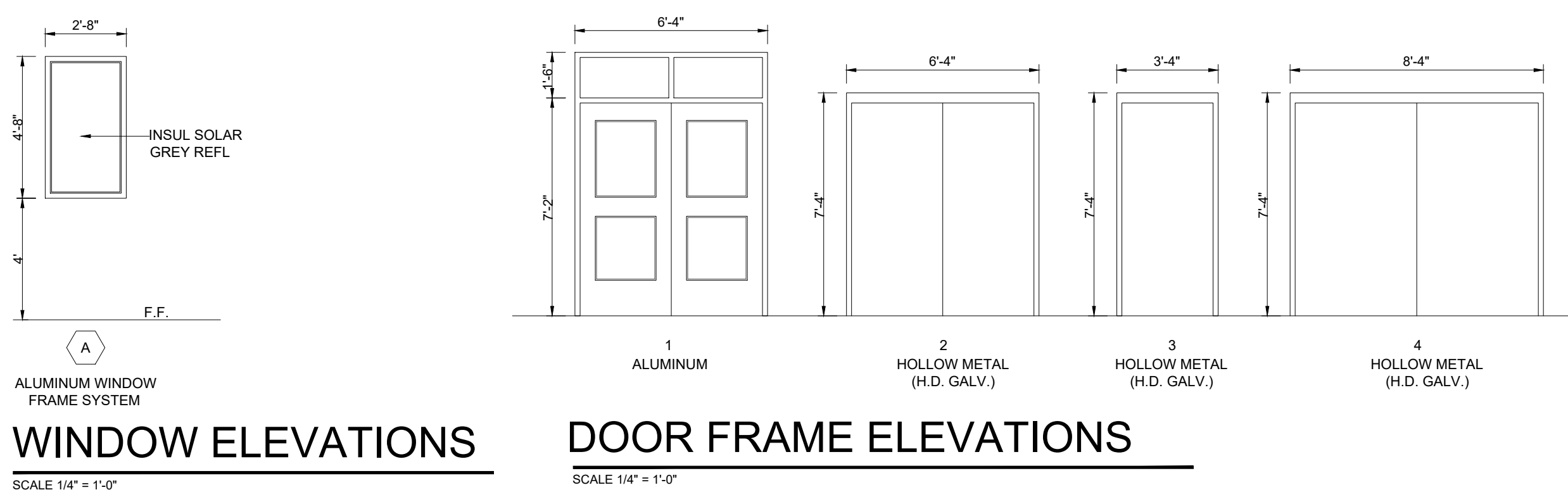


**DOOR FRAME ELEVATIONS**  
SCALE 1/4" = 1'-0"



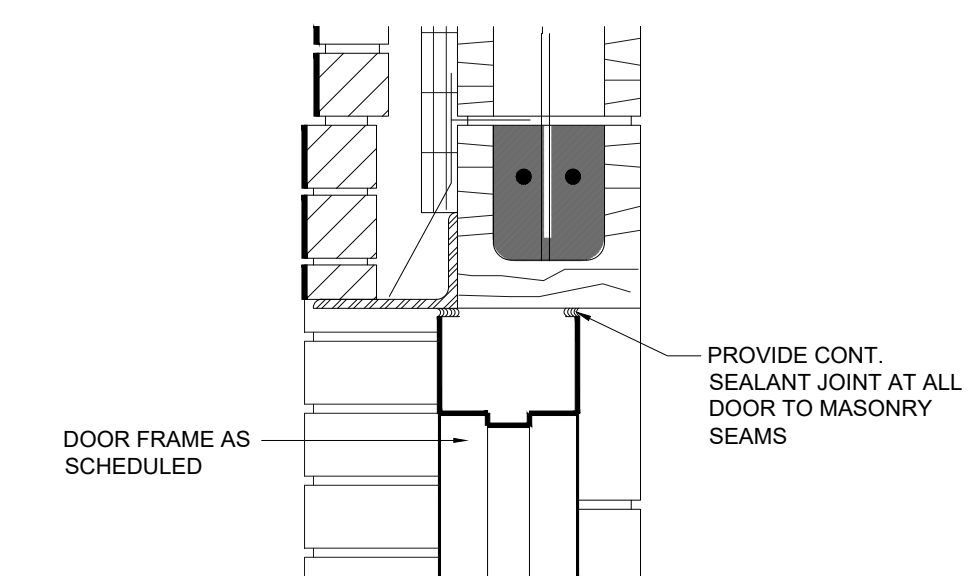
**WINDOW ELEVATIONS**  
SCALE 1/4" = 1'-0"

## BUILDING E

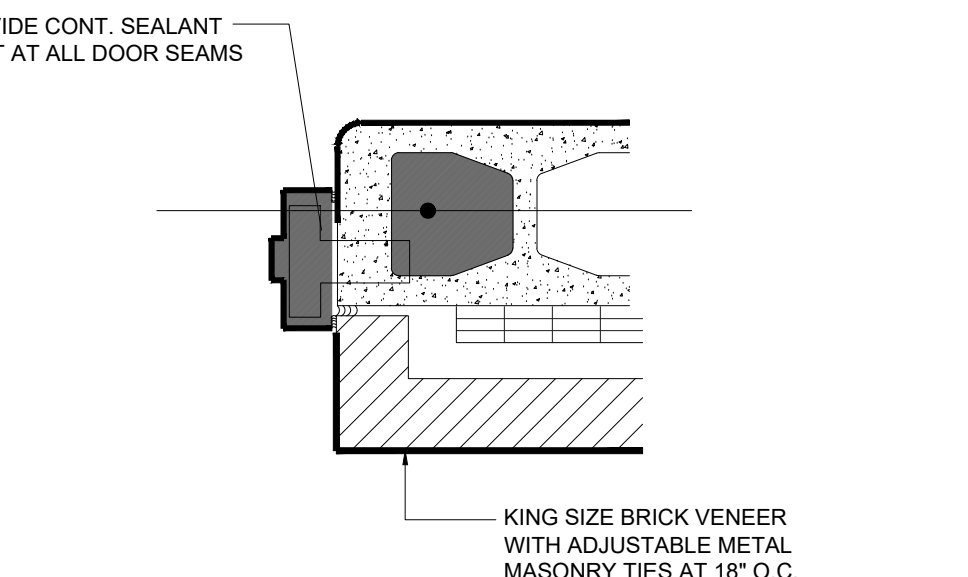


**WINDOW ELEVATIONS**  
SCALE 1/4" = 1'-0"

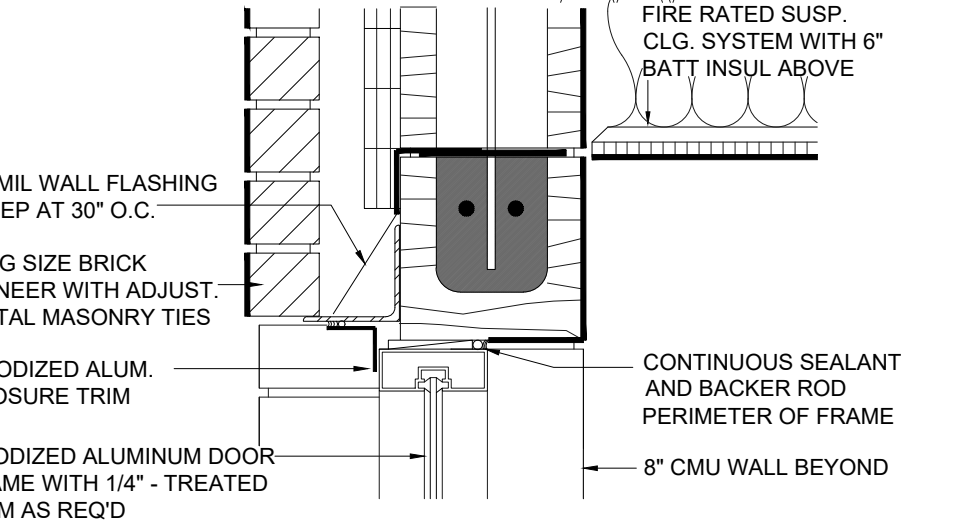
**DOOR FRAME ELEVATIONS**  
SCALE 1/4" = 1'-0"



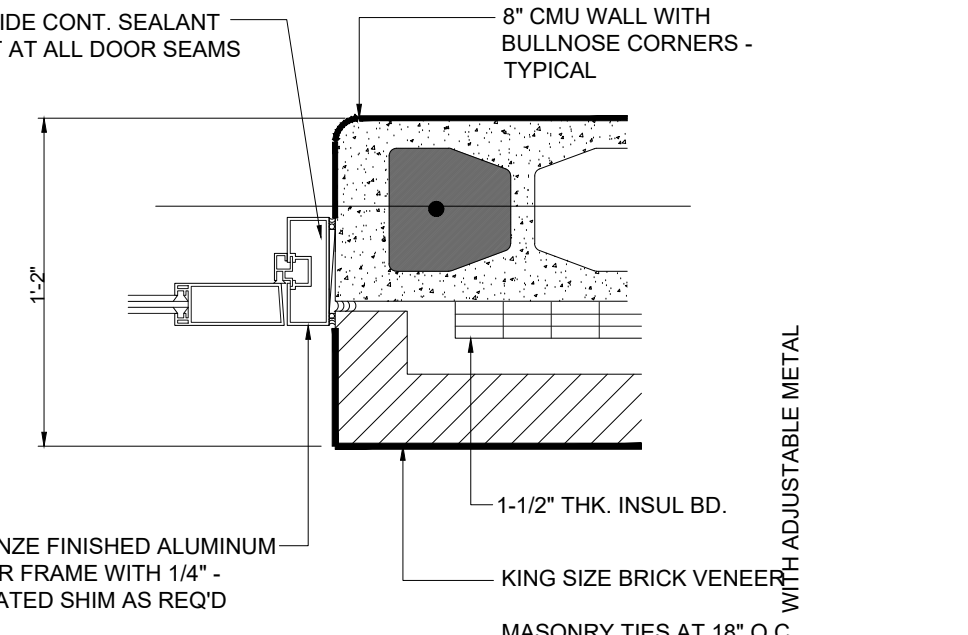
**05 DOOR HEAD DETAIL**  
SCALE 1-1/2" = 1'-0"



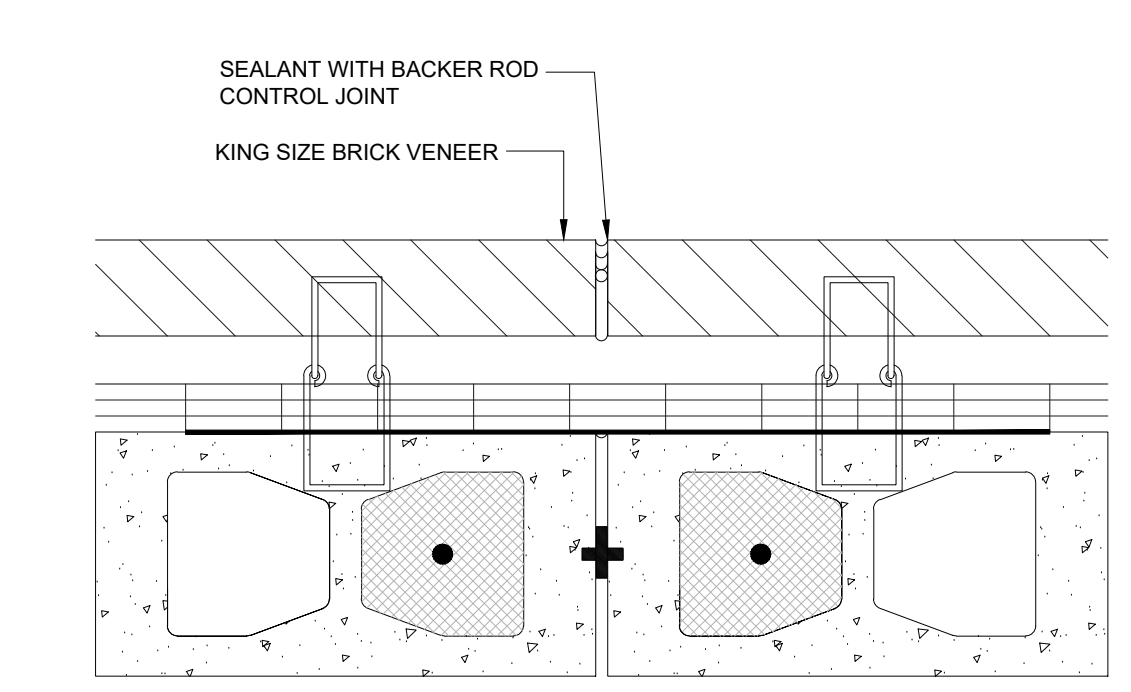
**04 DOOR JAMB DETAIL**  
SCALE 1-1/2" = 1'-0"



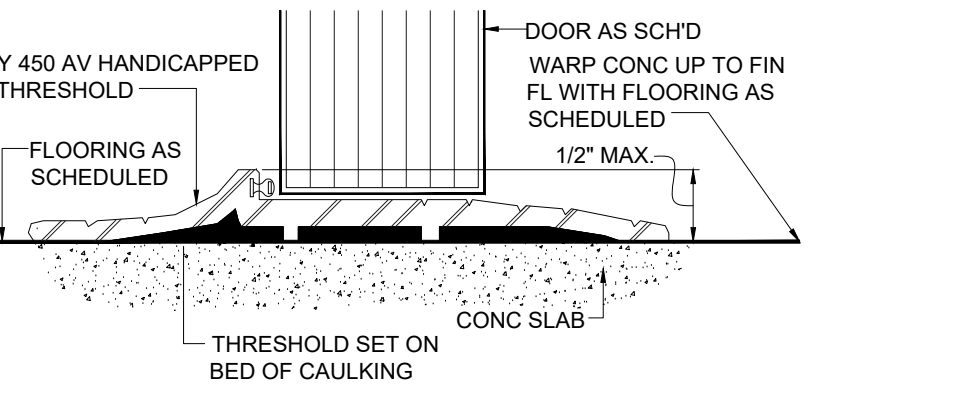
**03 DOOR HEAD DETAIL**  
SCALE 1-1/2" = 1'-0"



**02 DOOR JAMB DETAIL**  
SCALE 1-1/2" = 1'-0"



**06 CONTROL JOINT DTL**  
SCALE: 1/2" = 1'-0"

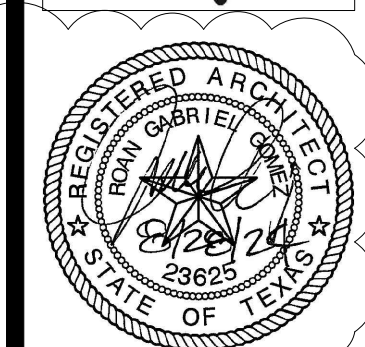


**01 THRESHOLD DETAIL**  
SCALE: NONE

No.	REVISIONS	BY
1	11/22/24 DRAWING CORRECTIONS	GMS

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**IDEA Public Schools - Exterior Envelope Repairs**  
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Architects-Planners  
Interior Designers  
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Scale: As Noted  
Project Architect: Roan Gomez, AIA  
Drawn By: RG, CG  
Job No:  
Sheet: Exterior Envelope

**A6.01**