# IDEA PUBLIC SCHOOLS
## ENVELOPE IMPROVEMENTS
## BROWNSVILLE - RIO GRANDE VALLEY


IDEA Public Schools Board of Directors 2024

| | |
|---|---|
| Collin Sewell | Chair |
| Ed Rivera | Vice Chair |
| Erich Holmsten | Treasurer |
| Ryan Vaughan | Secretary |
| Michael Adams | Member |
| Gary Lindgren | Member |
| Theresa Barrera-Shaw | Member |
| Nanette Cocero | Member |

Rio Grande Valley Regional Board 2024

| | |
|---|---|
| Maria Antonia Chapa | Member |
| Cerise R. de Garduno | Member |
| Sarah Garza | Member |
| Zulieda Lopez-Habbouche | Member |
| Andrea Rodriguez | Member |
| Alyssa L. Romero | Member |
| Bobby Saenz | Member |
| CJ Sanchez | Member |
| Jesus Zepeda | Member |


## D R A W I N G  I N D E X

### IDEA BROWNSVILLE


| | |
|---|---|
| COVER | COVER SHEET |
| A1.01 | SITE PLAN |
| A2.01 | ROOF PLAN |
| A4.01 | DETAILS |
| A4.02 | DETAILS |
| A5.01 | ELEVATIONS |
| A5.02 | ELEVATIONS |
| A6.01 | DOOR/WINDOW ELEVATIONS/DETAILS |



ARCHITECTS

GOMEZ MENDEZ SAENZ, INC.

1150 PAREDES LINE RD. BROWNSVILLE, TX. 78521

PH. (956) 546-0110 FAX. (956) 546-0196


| No. | REVISIONS | BY |
|---|---|---|
| | | |


GMS ARCHITECTS

1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196


IDEA Public Schools - Exterior Envelope Repairs

IDEA Brownsville

IDEA Public Schools

Brownsville, Texas

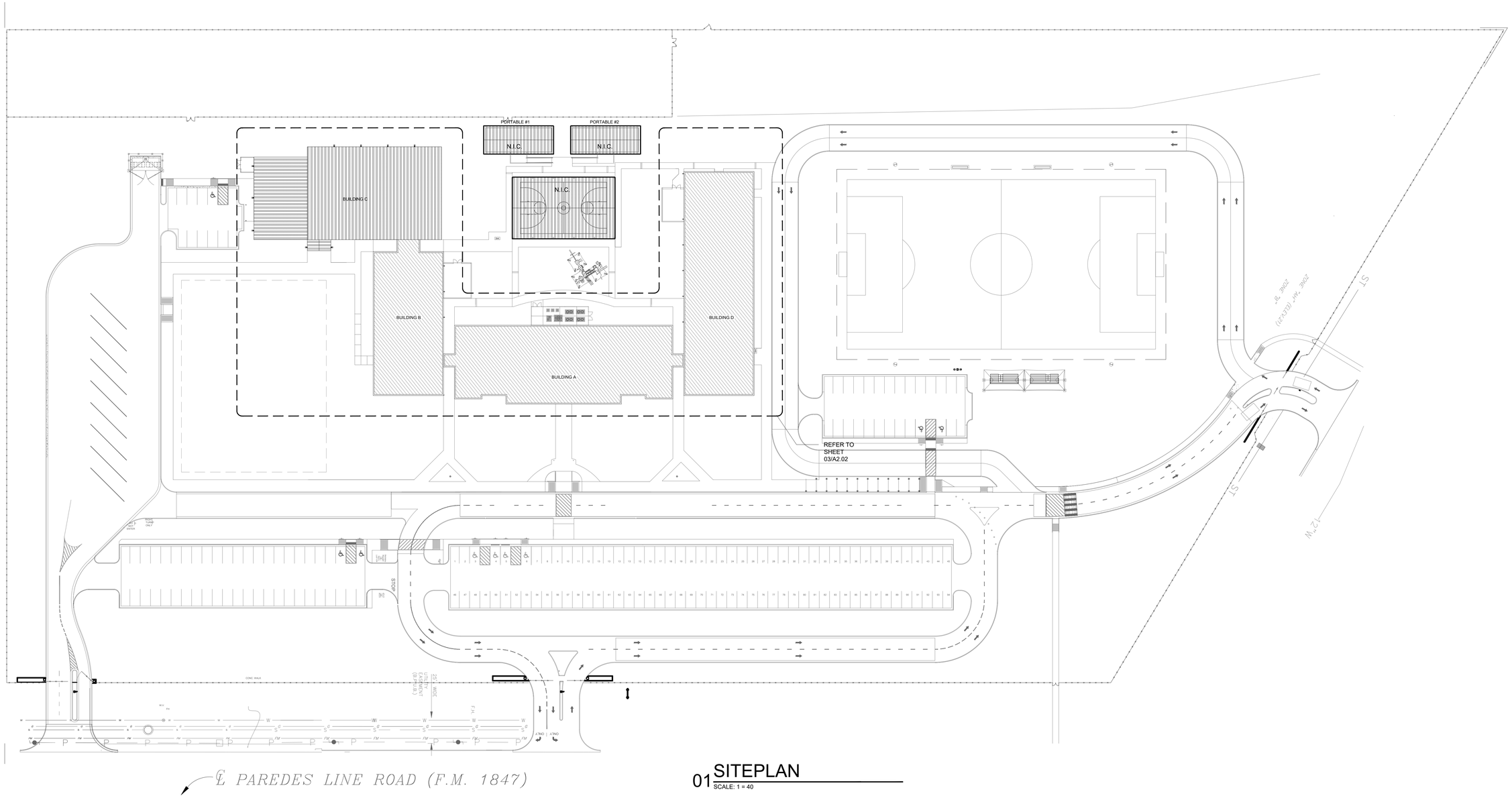
REGISTERED ARCHITECT ROAN GABRIEL GOMEZ 8/28/24 23625 STATE OF TEXAS

IDEA BROWNSVILLE


© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers


| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | |
| Sheet: | Exterior Envelope |

COVER




01 SITEPLAN
SCALE: 1 = 40

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS

1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

# IDEA Public Schools - Exterior Envelope Repairs
## IDEA Brownsville
Brownsville, Texas

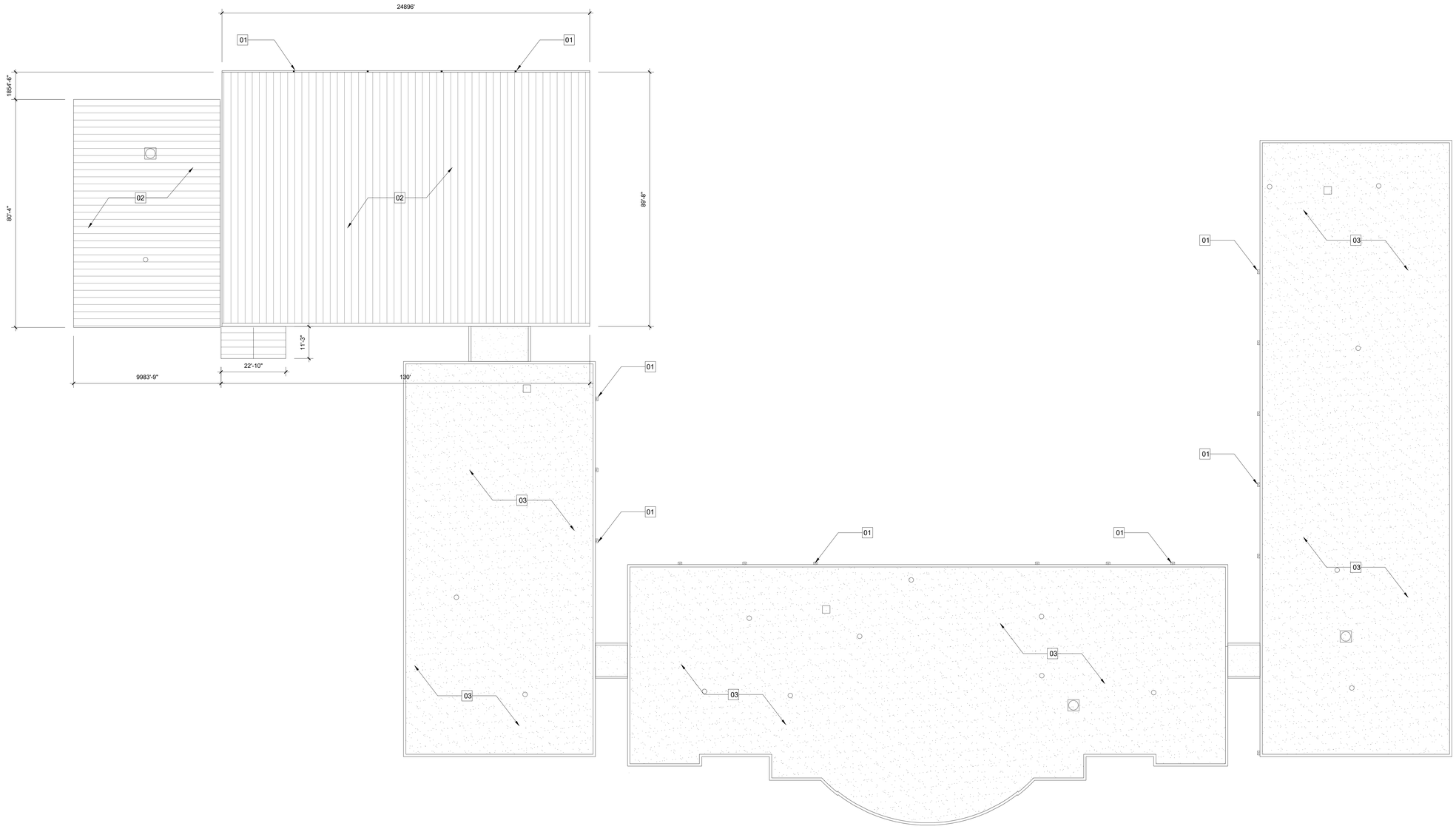
IDEA Public Schools

REGISTERED ARCHITECT
ROAN GABRIEL GOMEZ
03/28/24
23623
STATE OF TEXAS

IDEA BROWNSVILLE

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A1.01 |




## 01 ROOF PLAN

SCALE: 1/16" = 1'-0"

KEY NOTES:

| | |
|---|---|
| 01 | REPLACE GUTTER AND/OR DOWNSPOUTS (TYPICAL) |
| 02 | EXISTING STANDING SEAM ROOF TO REMAIN |
| 03 | EXISTING BITUMEN ROOF TO REMAIN |

ROOF: SCOPE OF WORK

1. REPLACE ALL ROOF FASTENERS WITH NEW ONES THAT ARE ONE SIZE LARGER THAN INSTALLED
2. REPLACE ALL DOWNSPOUTS, BOOTS (MATCH EXISTING)
3. REPLACE SCREWS AT RIDGE CAPS WITH ONE SIZE LARGER THAN PREVIOUS
3. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS, AND INSIDE CLOSURES.
4. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS

IDEA BROWNSVILLE FRONTIER

| No. | REVISIONS | BY |
|---|---|---|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

# IDEA Public Schools - Exterior Envelope Repairs

IDEA Brownsville Frontier

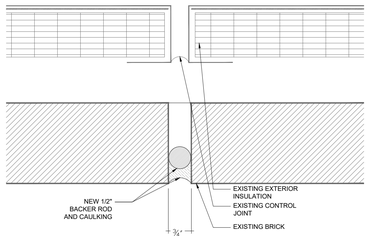
Brownsville, Texas

IDEA Public Schools

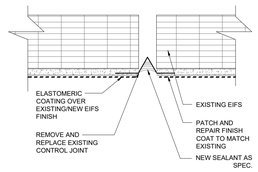
REGISTERED ROAN GOMEZ ARCHITECT 23625 STATE OF TEXAS

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

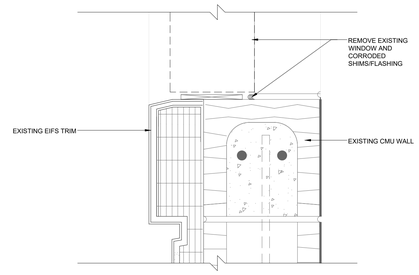
| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A2.01 |



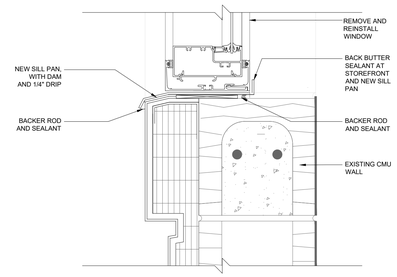

01 TYPICAL VERTICAL CONTROL JOINT @ BRICK
SCALE: 6" = 1'-0"




02 TYPICAL VERTICAL (HORIZONTAL SIM.) CONTROL JOINT @ PLASTER
SCALE: 6" = 1'-0"



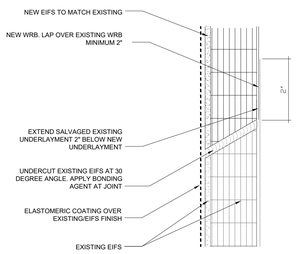

03 WINDOW REMOVEAL DETAIL @ SILL
SCALE: 3" = 1'-0"




04 SILL PAN DETAIL @EIFS
SCALE: 3" = 1'-0"

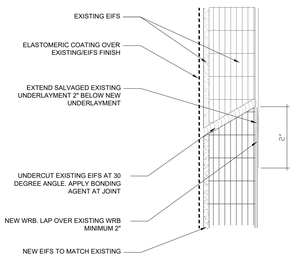
TYPICAL EIFS REPAIR DETAILS

HORIZONTAL CONDITION SIMILAR

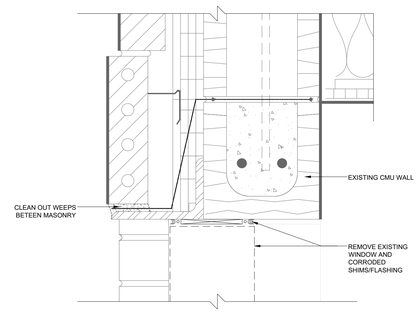



05 EIFS REPAIR DETAIL (TOP PORTION REMOVED)
SCALE: 6" = 1'-0"

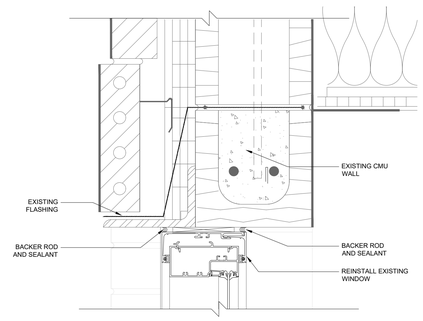
HORIZONTAL CONDITION SIMILAR



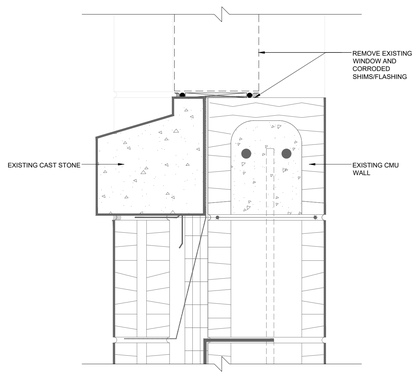

06 EIFS REPAIR DETAIL (BOTTOM PORTION REMOVED)
SCALE: 6" = 1'-0"



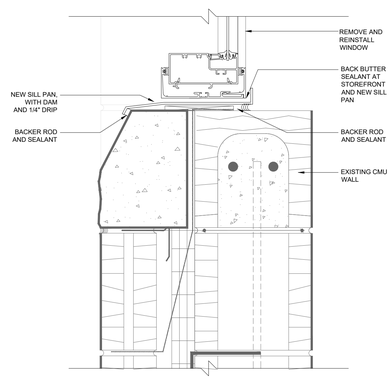

07 WEEP HOLE DETAIL AT WINDOW HEAD
SCALE: 3" = 1'-0"



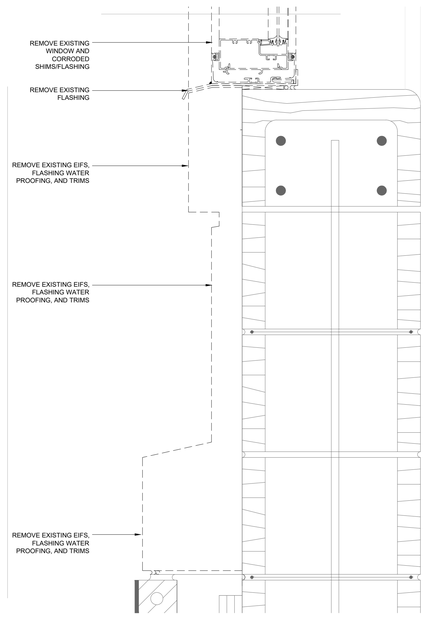

08 WEEP HOLE AND WINDOW DETAIL @ HEADER
SCALE: 3" = 1'-0"



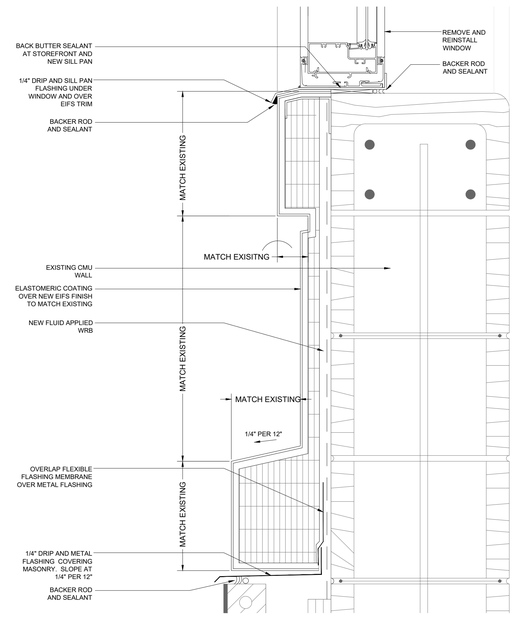

09 WINDOW REMOVEAL DETAIL @ SILL
SCALE: 3" = 1'-0"




10 SILL PAN DETAIL @ CAST STONE
SCALE: 3" = 1'-0"




11 EIFS DEMOLITION DETAIL
SCALE: 3" = 1'-0"




12 EIFS TRIM DETAIL @ 2ND FLOOR
SCALE: 3" = 1'-0"

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

IDEA Public Schools - Exterior Envelope Repairs
IDEA Brownsville
Brownsville, Texas

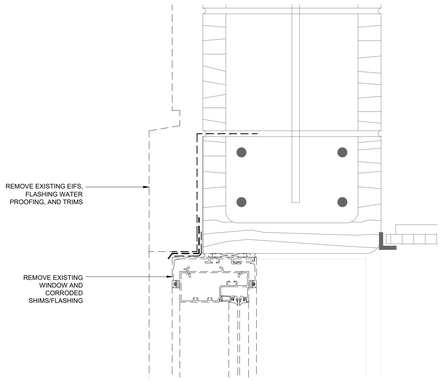
IDEA Public Schools

REGISTERED ARCHITECT ROAN GABRIEL GOMEZ 23623 STATE OF TEXAS

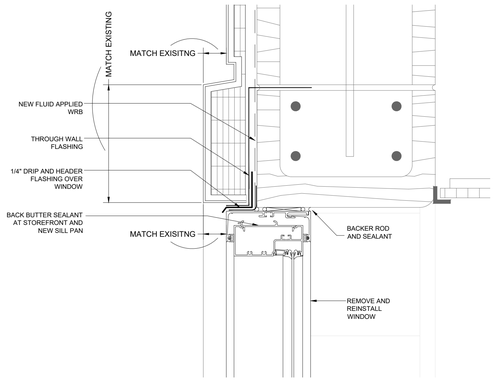
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A4.01 |

IDEA BROWNSVILLE




01 EIFS DEMOLITION DETAIL
SCALE: 3" = 1'-0"




02 EIFS TRIM DETAIL @ 2ND FLOOR WINDOW HEADER (JAMB SIM.)
SCALE: 3" = 1'-0"

| No. | REVISIONS | BY |
|---|---|---|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

IDEA Public Schools - Exterior Envelope Repairs
IDEA Brownsville
Brownsville, Texas

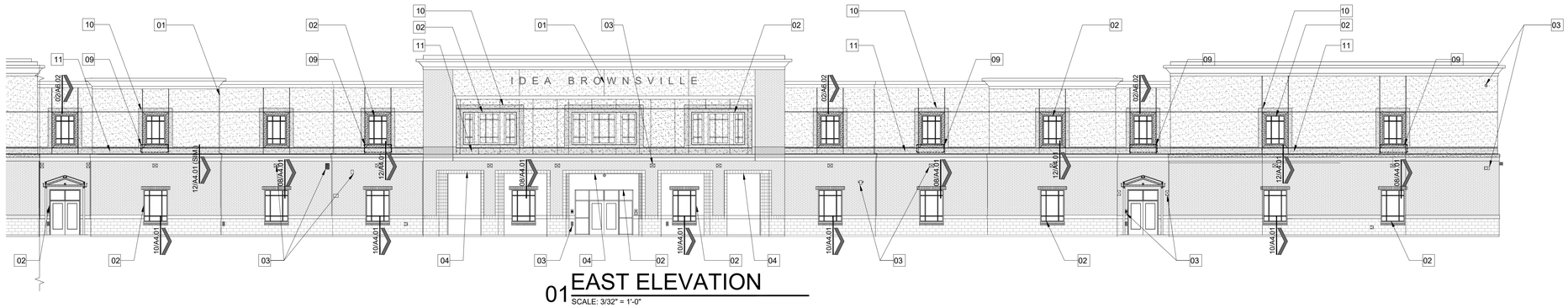
IDEA Public Schools

REGISTERED ARCHITECT
ROAN GABRIEL GOMEZ
11/14/24
23625
STATE OF TEXAS

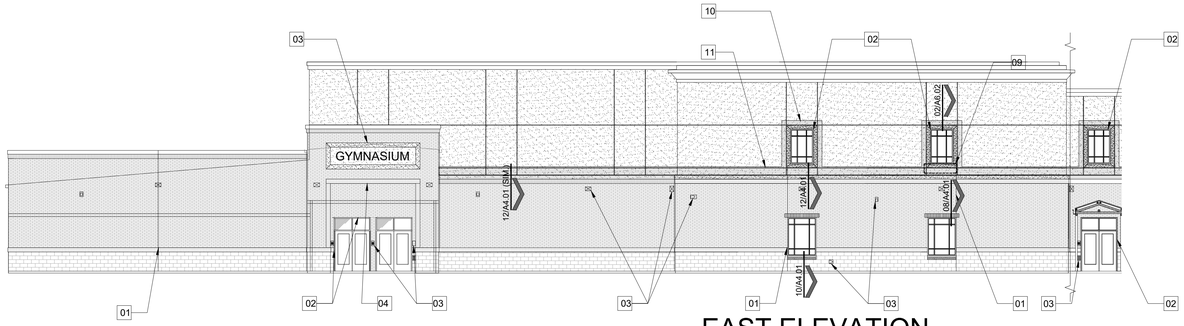
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

Date: AUGUST 2024
Scale: As Noted
Project Architect: Roan Gomez, AIA
Drawn By: RG,CG
Job No. Exterior Envelope
Sheet:
A4.02

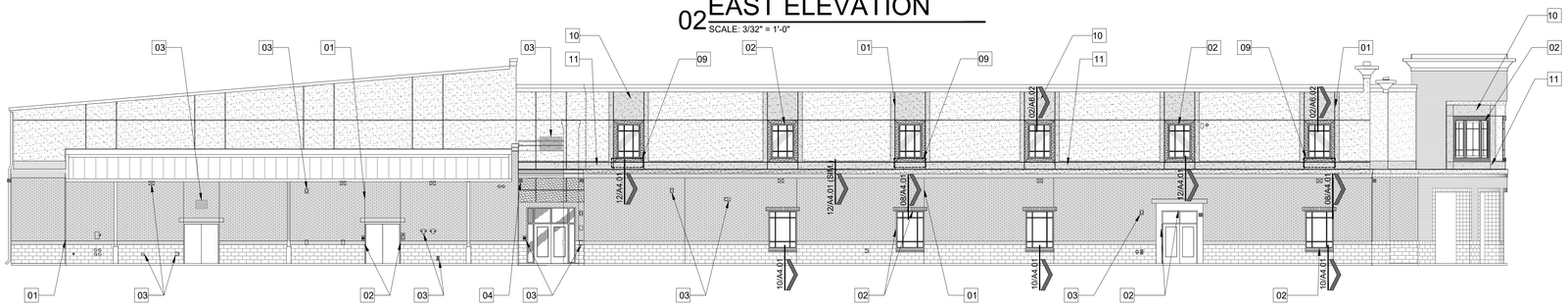
IDEA BROWNSVILLE



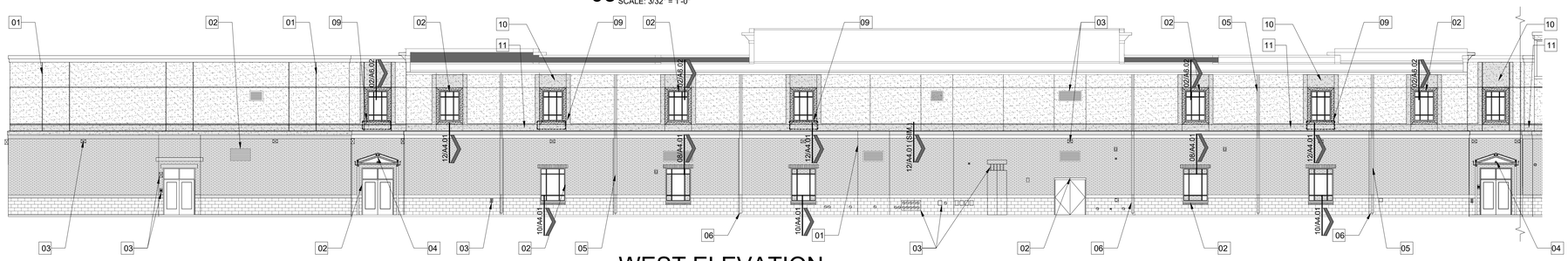

01 EAST ELEVATION
SCALE: 3/32" = 1'-0"



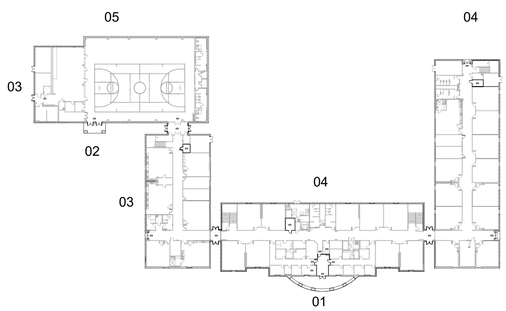

02 EAST ELEVATION
SCALE: 3/32" = 1'-0"



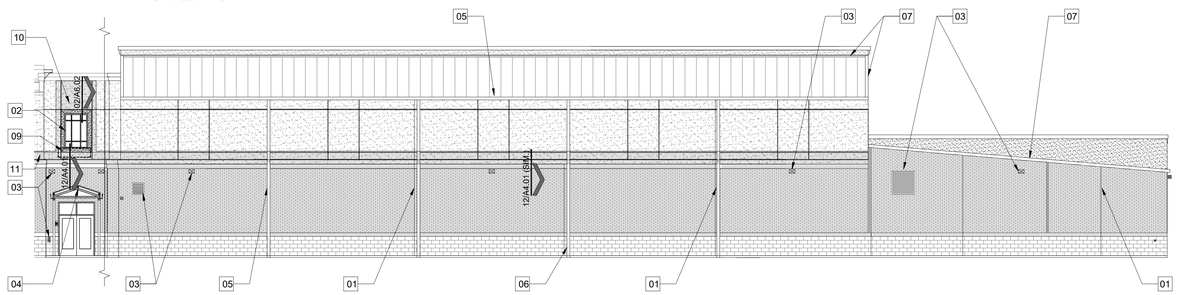
03 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



04 WEST ELEVATION
SCALE: 3/32" = 1'-0"



KEY PLAN



05 WEST ELEVATION
SCALE: 3/32" = 1'-0"

BUILDING A: SCOPE OF WORK

1. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
2. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
4. ADD BACKER ROD AND SEALANT TO ALL METAL INTERFACES ON EXTERIOR WALLS
5. REPLACE GUTTERS AND DOWNSPOUTS THROUGHOUT PROJECT AND PROVIDE DOWNSPOUT BOOTS
6. ADD BREAK METAL FLASHING TO WINDOW SILLS THAT CAPS THE EIFS SILL WITH A 1/4 " DRIP EDGE
7. REPAIR FLASHING ABOVE WINDOW SILLS AT EIFS TO BRICK TRANSITION.
8. REPAIR FLASHING/EIFS ABOVE BRICK WAINSCOT AT SECOND LEVEL.
9. PAINT ENTIRE BUILDING WITH NEW ELECTROMERIC COATING TO MATCH EXISTING.

## KEYED NOTES

01 REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REFER TO SHEET A4.01

02 REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.01, A6.01

03 RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP.

04 RE-SEAL AT ALL FIXURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP.

05 REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING , TYP.

06 PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP.

07 REPAIR GAPS IN FASCIA

08 REPAIR EIFS CORNER, REFER TO DETAILS 1, 2, 5, 6/A4.01

09 TYPICAL LOCATION OF WATER LEAKS AT WINDOW SILL. REPAIR SILL PAN WITH NEW BREAK METAL FLASHING.

10 REMOVE EIFS AND REPAIR FLASHING AROUND WINDOW, TYP.

11 TYPICAL LOCATION OF WATER LEAKS AT EIFS TO BRICK TRANSITIONS, REMOVE EIFS AND REPAIR FLASHING, THEN REPLACE EIFS TO MATCH EXISTING AT THIS LOCATION.

LEGEND

- ELECTRICAL DISCONNECT / BOXES
- AREA OF EIFS REPAIR
- JBOX
- OUTLET
- CAMERA
- LIGHT FIXTURE
- INTERCOM PHONE
- FIRE HORN
- WALL SPEAKER
- LOUVER
- WALL HYDRANT
- PLUMBING PENETRATION
- EMPTY CONDUIT
- ANTENNAE
- KEYPAD
- PERFORATED COVER
- IT CONDUITS

IDEA BROWNSVILLE

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

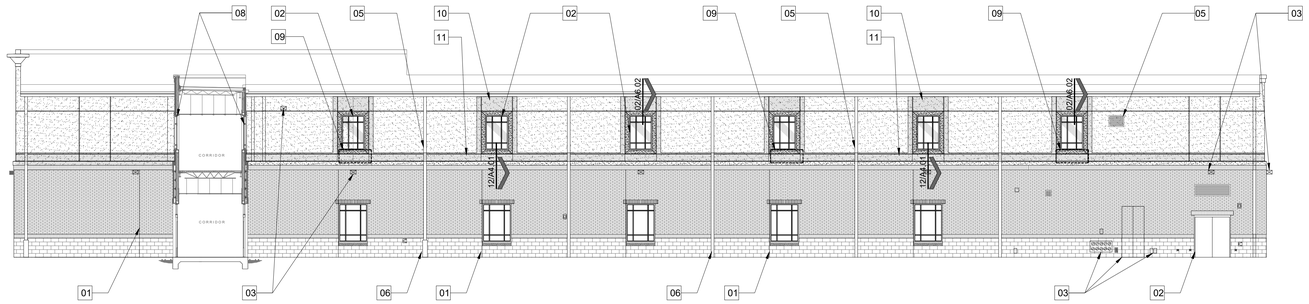
# IDEA Public Schools - Exterior Envelope Repairs
## IDEA Brownsville
Brownsville, Texas

IDEA Public Schools

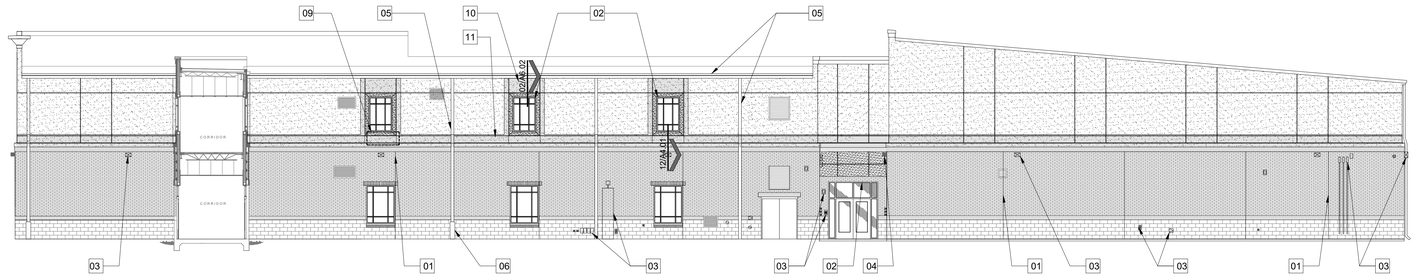
REGISTERED ARCHITECT ROAN GORMEZ 23625 STATE OF TEXAS

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

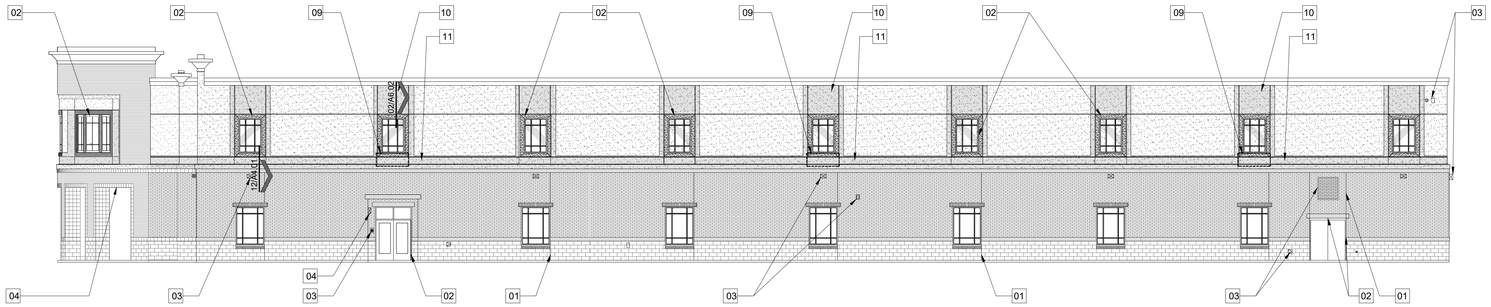
Date: AUGUST 2024
Scale: As Noted
Project Architect: Roan Gomez, AIA
Drawn By: RG,CG
Job No. Exterior Envelope
Sheet: A5.01



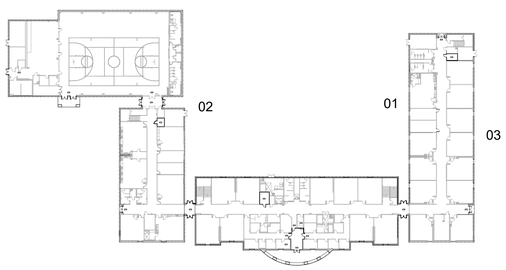

## 01 SOUTH ELEVATION
SCALE: 1 = 40




## 02 NORTH ELEVATION
SCALE: 1 = 40




## 03 NORTH ELEVATION
SCALE: 1 = 40




KEY PLAN

### BUILDING A: SCOPE OF WORK

1. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
2. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
4. ADD BACKER ROD AND SEALANT TO ALL METAL INTERFACES ON EXTERIOR WALLS
5. REPLACE GUTTERS AND DOWNSPOUTS THROUGHOUT PROJECT AND PROVIDE DOWNSPOUT BOOTS
6. ADD BREAK METAL FLASHING TO WINDOW SILLS THAT CAPS THE EIFS SILL WITH A 1/4 " DRIP EDGE
7. REPAIR FLASHING ABOVE WINDOW SILLS AT EIFS TO BRICK TRANSITION.
8. REPAIR FLASHING/EIFS ABOVE BRICK WAINSCOT AT SECOND LEVEL.
9. PAINT ENTIRE BUILDING WITH NEW ELECTROMERIC COATING TO MATCH EXISTING.

## KEYED NOTES

| | |
|---|---|
| 01 | REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REFER TO SHEET A4.01 |
| 02 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.01, A6.01 |
| 03 | RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. |
| 04 | RE-SEAL AT ALL FIXURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP. |
| 05 | REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING , TYP. |
| 06 | PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP. |
| 07 | REPAIR GAPS IN FASCIA |
| 08 | REPAIR EIFS CORNER, REFER TO DETAILS 1, 2, 5, 6/A4.01 |
| 09 | TYPICAL LOCATION OF WATER LEAKS AT WINDOW SILL. REPAIR SILL PAN WITH NEW BREAK METAL FLASHING. |
| 10 | REMOVE EIFS AND REPAIR FLASHING AROUND WINDOW, TYP. |
| 11 | TYPICAL LOCATION OF WATER LEAKS AT EIFS TO BRICK TRANSITIONS, REMOVE EIFS AND REPAIR FLASHING, THEN REPLACE EIFS TO MATCH EXISTING AT THIS LOCATION. |

### LEGEND

- ELECTRICAL DISCONNECT / BOXES
- AREA OF EIFS REPAIR
- JBOX
- OUTLET
- CAMERA
- LIGHT FIXTURE
- INTERCOM PHONE
- FIRE HORN
- WALL SPEAKER
- LOUVER
- WALL HYDRANT
- PLUMBING PENETRATION
- EMPTY CONDUIT
- ANTENNAE
- KEYPAD
- PERFORATED COVER
- IT CONDUITS

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

# IDEA Public Schools - Exterior Envelope Repairs
## IDEA Brownsville
Brownsville, Texas

IDEA Public Schools

REGISTERED ARCHITECT RYAN GABRIEL GOMEZ 23623 STATE OF TEXAS

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

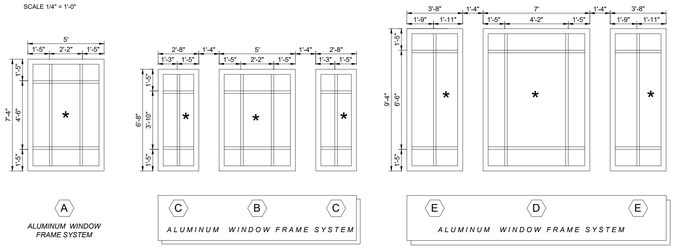
Date: AUGUST 2024
Scale: As Noted
Project Architect: Roan Gomez, AIA
Drawn By: RG,CG
Job No.
Sheet: Exterior Envelope

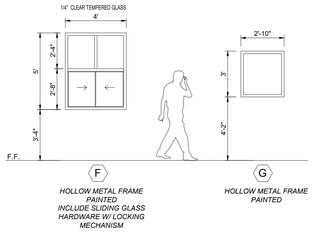
A5.02

IDEA BROWNSVILLE

## WINDOW ELEVATIONS

SCALE 1/4" = 1'-0"




## DOOR SCHEDULE

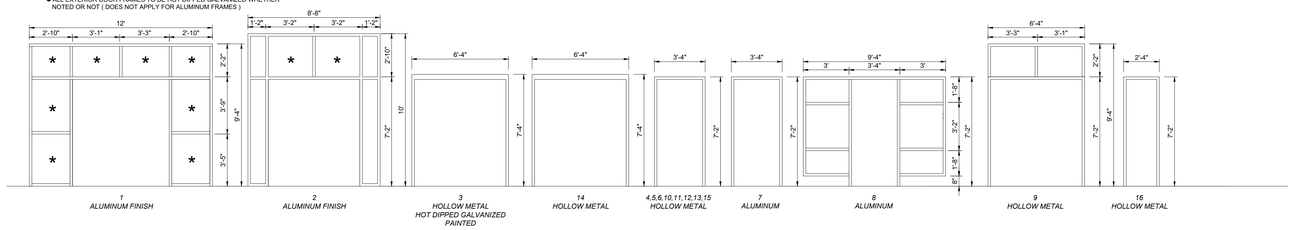
| DOOR NO. | DOOR MATL. | DOOR W | DOOR H | DOOR T | FRAME MATL. | FRAME W | FRAME H | FRAME T |
|---|---|---|---|---|---|---|---|---|
| 1 | ALUM. | PR. 3'-0" | 7'-0" | 1 3/4" | ALUM. | 12' | 9'-4" | 4-1/4" |
| 2 | ALUM. | PR. 3'-0" | 7'-0" | 1 3/4" | ALUM. | 8'-8" | 10'-0" | 4-1/4" |
| 3 | FRP | PR. 3'-0" | 7'-0" | 1 3/4" | FRP | 6'-4" | 7'-4" | 4-1/4" |
| 4 | S.C. | 3'-0" | 7'-0" | 1 3/4" | H.M. | 3'-4" | 7'-2" | 7-1/4" |
| 5 | S.C. | 3'-0" | 7'-0" | 1 3/4" | H.M. | 3'-4" | 7'-2" | 7-1/4" |
| 6 | S.C. | 3'-0" | 7'-0" | 1 3/4" | H.M. | 3'-4" | 7'-2" | 7-1/4" |
| 7 | ALUM. | 3'-0" | 7'-0" | 1 3/4" | ALUM. | 3'-4" | 7'-2" | 7-1/4" |
| 8 | ALUM. | 3'-0" | 7'-0" | 1 3/4" | ALUM. | 3'-4" | 7'-2" | 7-1/4" |
| 9 | S.C. | PR.3'-0" | 7'-0" | 1 3/4" | H.M. | 6'-4" | 9'-4" | 7-1/4" |
| 10 | S.C. | 3'-0" | 7'-0" | 1 3/4" | H.M. | 3'-4" | 7'-2" | 7-1/4" |
| 11 | S.C. | 3'-0" | 7'-0" | 1 3/4" | H.M. | 3'-4" | 7'-2" | 7-1/4" |
| 12 | S.C. | 3'-0" | 7'-0" | 1 3/4" | H.M. | 3'-4" | 7'-2" | 7-1/4" |
| 13 | S.C. | 3'-0" | 7'-0" | 1 3/4" | H.M. | 3'-4" | 7'-2" | 7-1/4" |
| 14 | S.C. | PR.3'-0" | 7'-0" | 1 3/4" | H.M. | 6'-4" | 7'-2" | 7-1/4" |
| 15 | S.C. | 3'-0" | 7'-0" | 1 3/4" | H.M. | 3'-4" | 7'-2" | 7-1/4" |
| 16 | S.C. | 2'-0" | 7'-0" | 1 3/4" | H.M. | 2'-4" | 7'-2" | 7-1/4" |

## DOOR FRAME ELEVATIONS

SCALE 1/4" = 1'-0"

N O T E S:

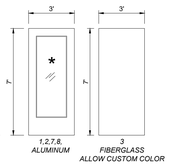
- ALL EXTERIOR DOOR FRAMES TO BE HOT DIPPED GALVANIZED WHETHER NOTED OR NOT ( DOES NOT APPLY FOR ALUMINUM FRAMES )




## DOOR ELEVATIONS

SCALE 1/4" = 1'-0"

N O T E S:




GENERAL NOTES:

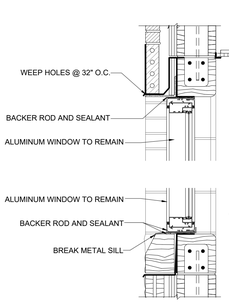
1.) ELEVATIONS OF DOORS AND WINDOWS ARE FOR REFERENCE OF EXISTING FIXTURES ON BUILDNG. EXISTING DETAILS ARE PROVIDED FOR REFERENCE

* ALL EXTERIOR GLAZING ON PROJECT ARE 9/16" HI IMPACT WINDSTORM RATED TINTED GLASS

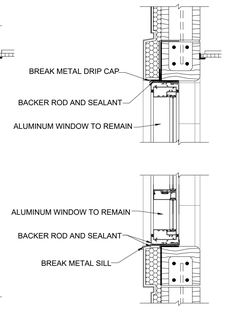
* ALL EXISTING EXTERIOR WINDOWS, DOORS, STOREFRONTS & O.H. DOOR ASSEMBLIES ARE CERTIFIED TO MEET THE PROJECTS MINIMUM DESIGN WIND PRESSURES. REFERENCE STRUCTURAL DRAWINGS FOR DESIGN WIND PRESSURE REQUIREMENTS - TYPICAL THROUGHOUT PROJECT

## TYPICAL DOOR AND WINDOW DETAILS

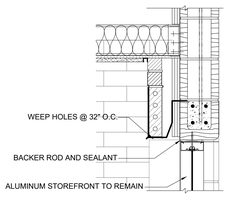
* FOR MORE INFORMATION REFER TO DETAILS ON SHEET A4.01



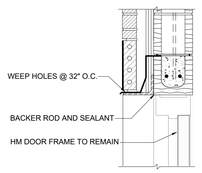

01 MASONRY WINDOW DTL. (JAMB SIM. TO HD.)
SCALE 1" = 1'-0"



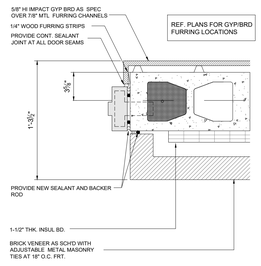

02 EIFS WINDOW DTL (JAMB SIM. TO HD.)
SCALE 1" = 1'-0"



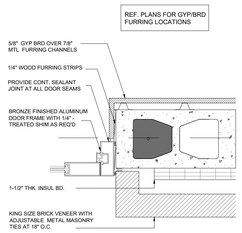

03 STOREFRONT HEAD DTL
SCALE 1" = 1'-0"




04 HM FRAME HEAD DTL
SCALE 1" = 1'-0"




05 DOOR JAMB DETAIL
SCALE 1 1/2" = 1'-0"




06 DOOR JAMB DETAIL
SCALE 1 1/2" = 1'-0"

| No. | REVISIONS | BY |
|---|---|---|
| | | |


GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196


IDEA Public Schools - Exterior Envelope Repairs
IDEA Brownsville
Brownsville, Texas

IDEA BROWNSVILLE

REGISTERED ARCHITECT ROAN GABRIEL GOMEZ 23623 STATE OF TEXAS


© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers


| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | |
| Sheet: | Exterior Envelope |

A6.01

# IDEA PUBLIC SCHOOLS
## ENVELOPE IMPROVEMENTS
## FRONTIER - RIO GRANDE VALLEY


IDEA Public Schools Board of Directors 2024

| | |
|---|---|
| Collin Sewell | Chair |
| Ed Rivera | Vice Chair |
| Erich Holmsten | Treasurer |
| Ryan Vaughan | Secretary |
| Michael Adams | Member |
| Gary Lindgren | Member |
| Theresa Barrera-Shaw | Member |
| Nanette Cocero | Member |

Rio Grande Valley Regional Board 2024

| | |
|---|---|
| Maria Antonia Chapa | Member |
| Cerise R. de Garduno | Member |
| Sarah Garza | Member |
| Zulieda Lopez-Habbouche | Member |
| Andrea Rodriguez | Member |
| Alyssa L. Romero | Member |
| Bobby Saenz | Member |
| CJ Sanchez | Member |
| Jesus Zepeda | Member |


## D R A W I N G  I N D E X

### IDEA FRONTIER


| | |
|---|---|
| COVER | COVER SHEET |
| A1.01 | SITE PLAN |
| A2.01 | ROOF PLAN - BLDG. A, B, C |
| A2.02 | ROOF PLAN - BLDG. D, E, F |
| A2.03 | ROOF PLAN - BLDG. G, H |
| A4.01 | DETAILS |
| A4.02 | DETAILS |
| A5.01 | ELEVATIONS - BLDG. A, B |
| A5.02 | ELEVATIONS - BLDG. C, D |
| A5.03 | ELEVATIONS - BLDG. E, F |
| A5.04 | ELEVATIONS - BLDG. G, H |
| A6.01 | DOOR/WINDOW ELEVATIONS/DETAILS |



A R C H I T E C T S

GOMEZ MENDEZ SAENZ, INC.

1150 PAREDES LINE RD. BROWNSVILLE, TX. 78521

PH. (956) 546-0110 FAX. (956) 546-0196


| No. | REVISIONS | BY |
|---|---|---|
| | | |


GMS ARCHITECTS

1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196


IDEA Public Schools - Exterior Envelope Repairs
IDEA Brownsville Frontier
Brownsville, Texas

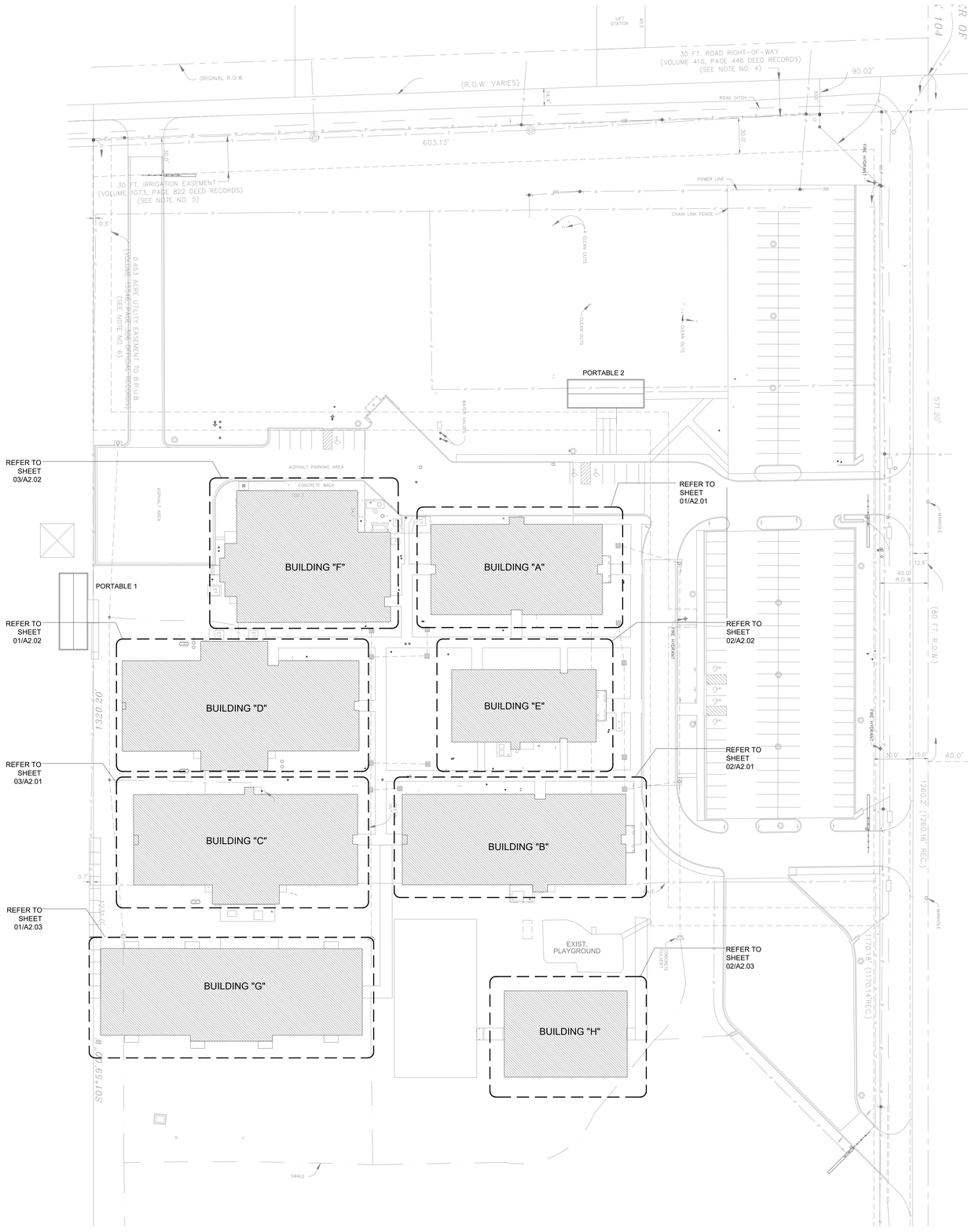
IDEA Public Schools

IDEA BROWNSVILLE FRONTIER

REGISTERED ARCHITECT ROAN GABRIEL MENDEZ SAENZ 23623 STATE OF TEXAS 8/29/24


© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers


| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | COVER |




01 SITE PLAN
SCALE: 1:40

NORTH

GENERAL ROOFING NOTES:

WHERE APPLICABLE, THE RE-ROOFING PORTION OF THIS PROJECT HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE (LATEST EDITION).

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING.

INSPECT ALL ROOF AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND.

THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

AT THE COMPLETION OF ALL ROOFING WORK AT EACH BUILDING, ALL EXISTING ROOF DRAINS AND RELATED PIPING SHALL BE WATER TESTED, CHECKED AND CERTIFIED BY A LICENSED PLUMING CONTRACTOR TO BE OPERATIONAL AND LEAK FREE.

PROVIDE ALLOWANCE FOR CEILING TILE REPLACEMENTS AS REQUIRED FOR ROOF LEAK TESTING.

IDEA BROWNSVILLE FRONTIER

| No. | REVISIONS | BY |
|---|---|---|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

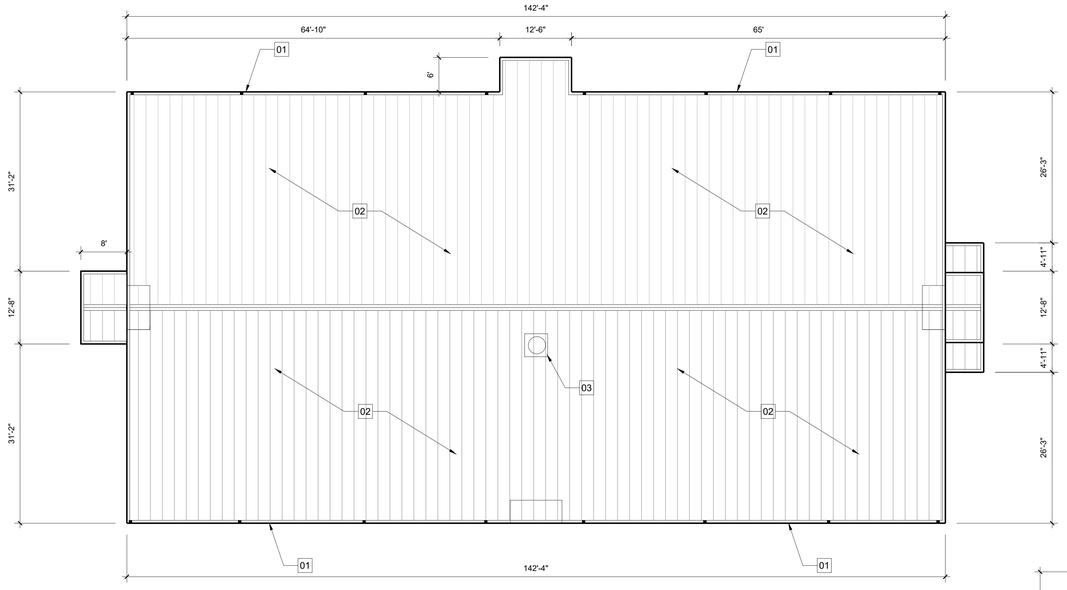
# IDEA Public Schools - Exterior Envelope Repairs
# IDEA Brownsville Frontier
Brownsville, Texas

IDEA Public Schools

REGISTERED ARCHITECT
ROAN GOMEZ
8/29/24
23622
STATE OF TEXAS

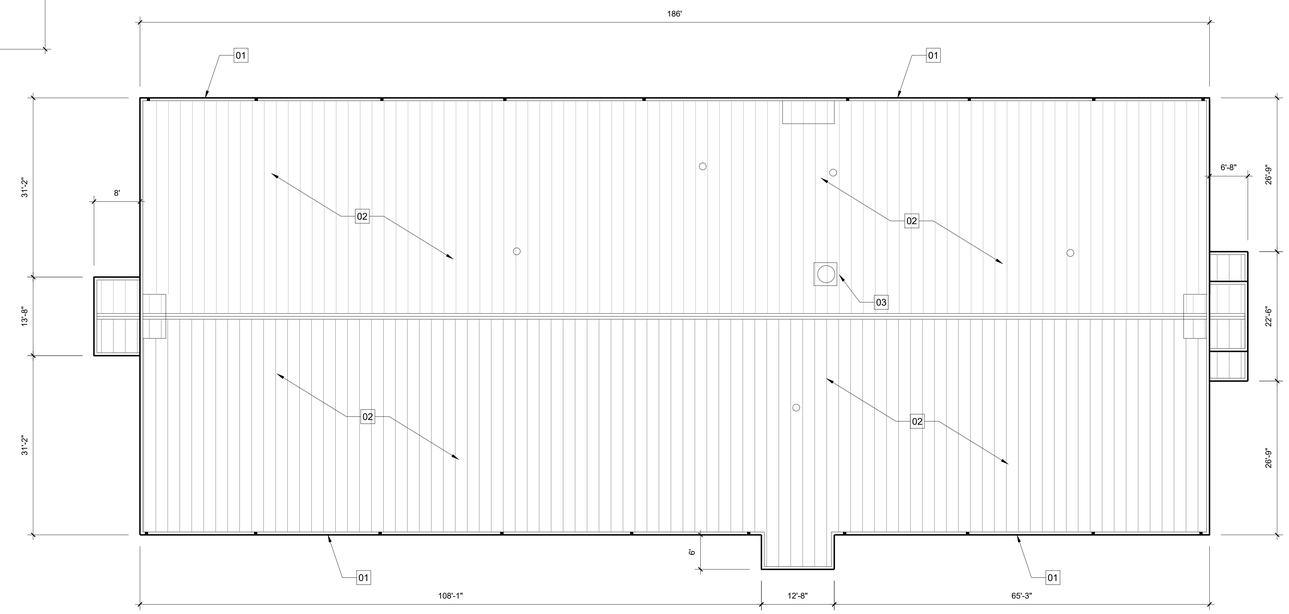
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A1.01 |



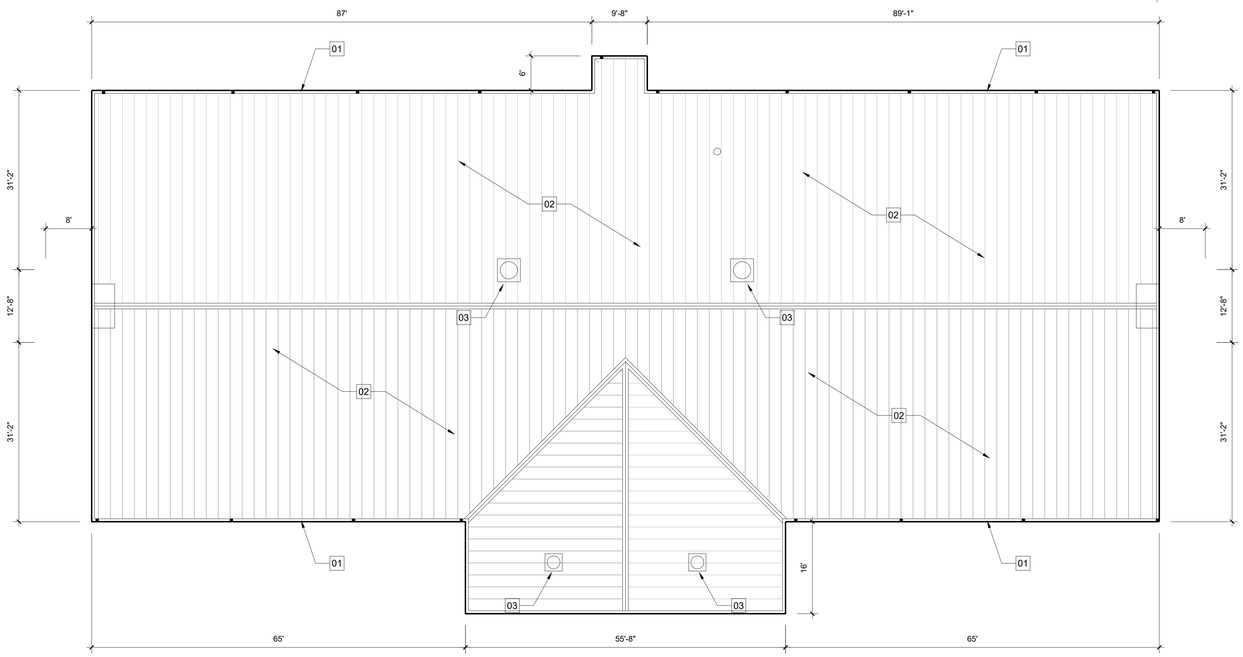

BUILDING A
## 01 ROOF PLAN
SCALE: 3/32" = 1'-0"

NORTH




BUILDING B
## 02 ROOF PLAN
SCALE: 3/32" = 1'-0"

NORTH




BUILDING C
## 03 ROOF PLAN
SCALE: 3/32" = 1'-0"

NORTH

KEY NOTES:

| | |
|---|---|
| 01 | REPLACE GUTTER AND DOWNSPOUTS (TYPICAL) |
| 02 | EXISTING STANDING SEAM ROOF TO REMAIN |
| 03 | REMOVE AND REPLACE CURB FLASHING |

ROOF: SCOPE OF WORK

1. REPLACE ALL ROOF FASTENERS WITH NEW ONES THAT ARE ONE SIZE LARGER THAN INSTALLED
2. REPLACE ALL GUTTERS (MATCH EXISTING)
3. REPLACE ALL DOWNSPOUTS (MATCH EXISTING)
4. REMOVE AND REPLACE CURB FLASHING ON ROOFS
5. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS, AND INSIDE CLOSURES.
5. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS

IDEA BROWNSVILLE FRONTIER

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

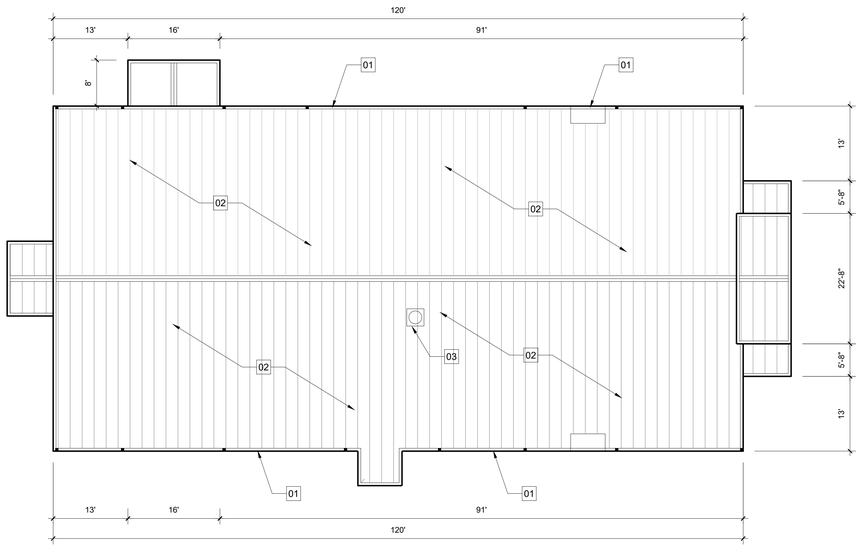
# IDEA Public Schools - Exterior Envelope Repairs
# IDEA Brownsville Frontier
Brownsville, Texas

IDEA Public Schools

REGISTERED ARCHITECT ROAN GMEREZ SAENZ 23623 STATE OF TEXAS 9/20/24

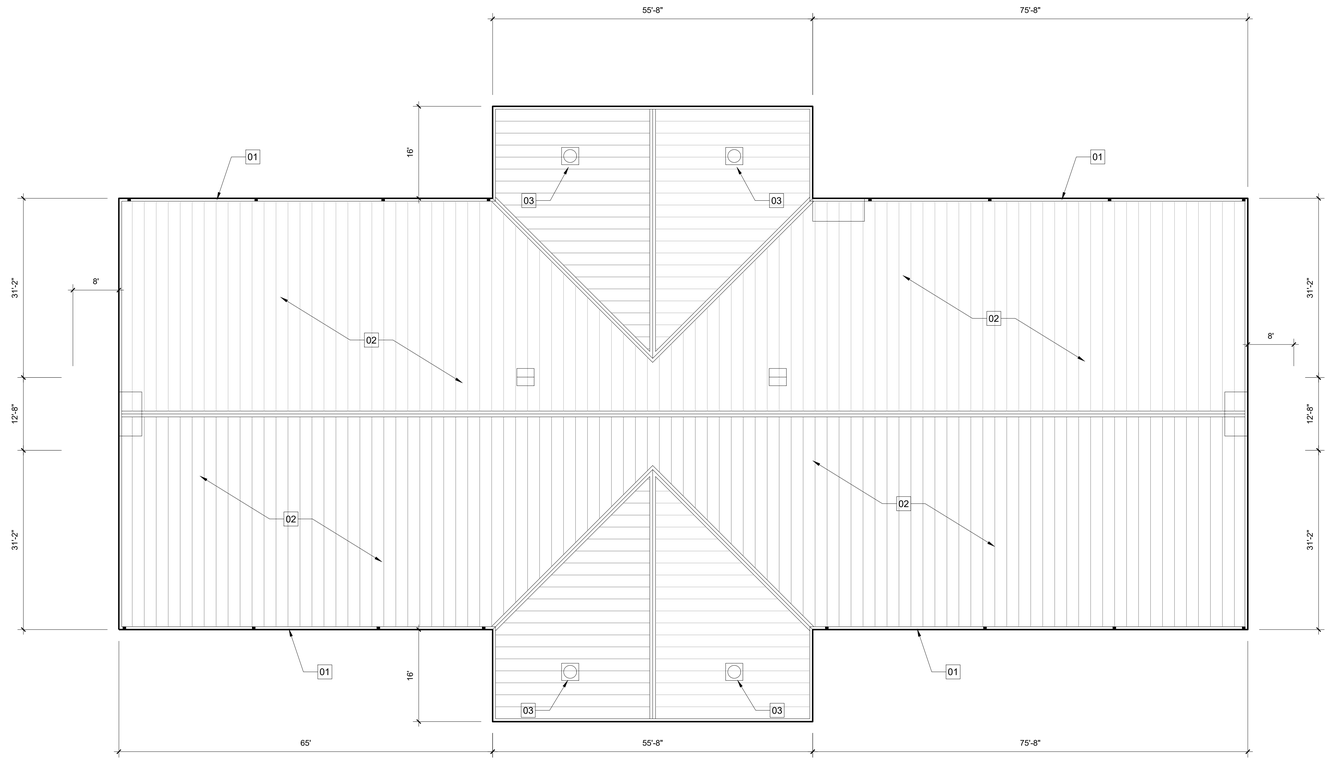
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A2.01 |



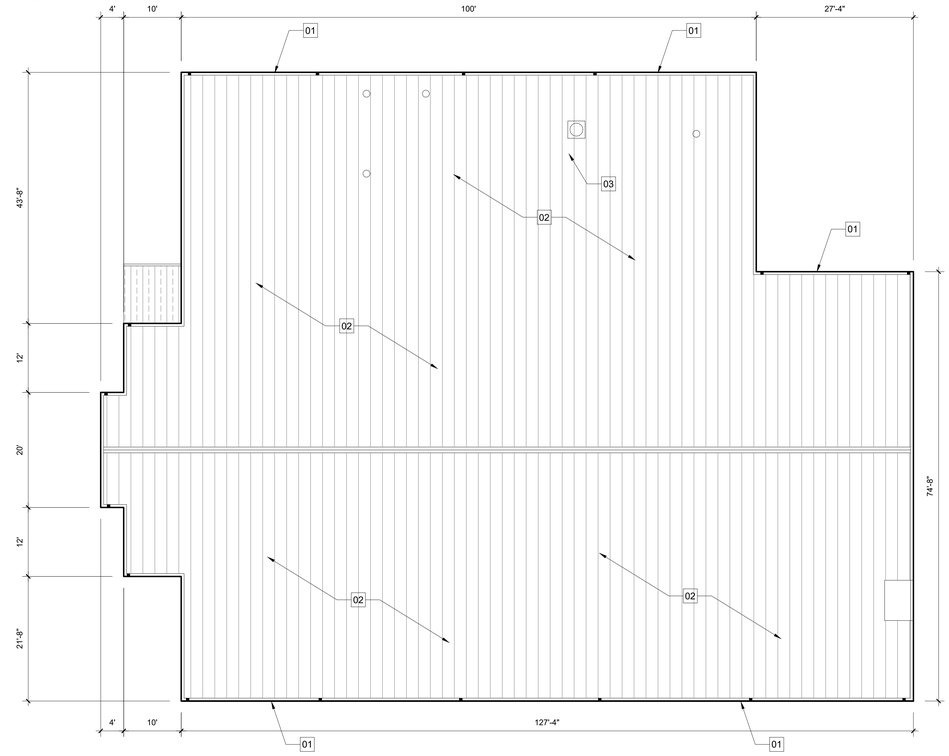

BUILDING E
## 02 ROOF PLAN
SCALE: 1/8" = 1'-0"

NORTH




BUILDING D
## 01 ROOF PLAN
SCALE: 1/8" = 1'-0"

NORTH




BUILDING F
## 03 ROOF PLAN
SCALE: 1/8" = 1'-0"

NORTH

KEY NOTES:

| | |
|---|---|
| 01 | REPLACE GUTTER AND DOWNSPOUTS (TYPICAL) |
| 02 | EXISTING STANDING SEAM ROOF TO REMAIN |
| 03 | REMOVE AND REPLACE CURB FLASHING |

ROOF: SCOPE OF WORK

1. REPLACE ALL ROOF FASTENERS WITH NEW ONES THAT ARE ONE SIZE LARGER THAN INSTALLED
2 REPLACE ALL GUTTERS (MATCH EXISTING)
3. REPLACE ALL DOWNSPOUTS (MATCH EXISTING)
4. REMOVE AND REPLACE CURB FLASHING ON ROOFS
5. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS, AND INSIDE CLOSURES.
5. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS

IDEA BROWNSVILLE FRONTIER

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

# IDEA Public Schools - Exterior Envelope Repairs
# IDEA Brownsville Frontier
Brownsville, Texas

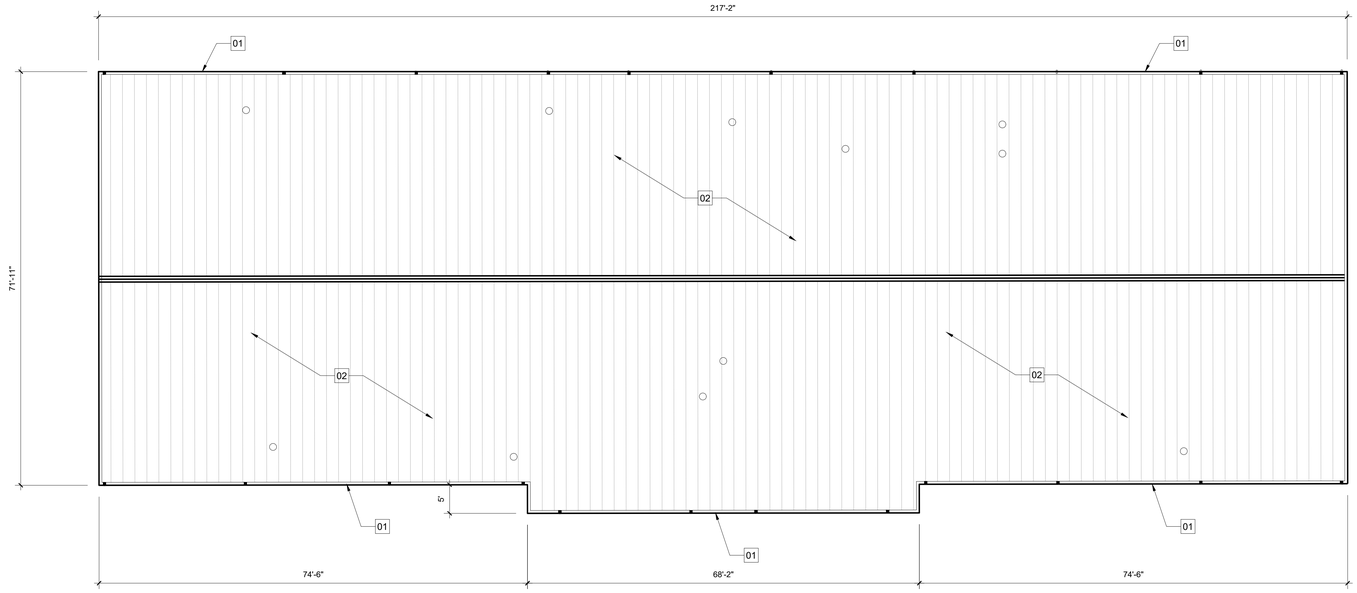
IDEA Public Schools

REGISTERED ARCHITECT RUBEN GUTIERREZ 23625 STATE OF TEXAS

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

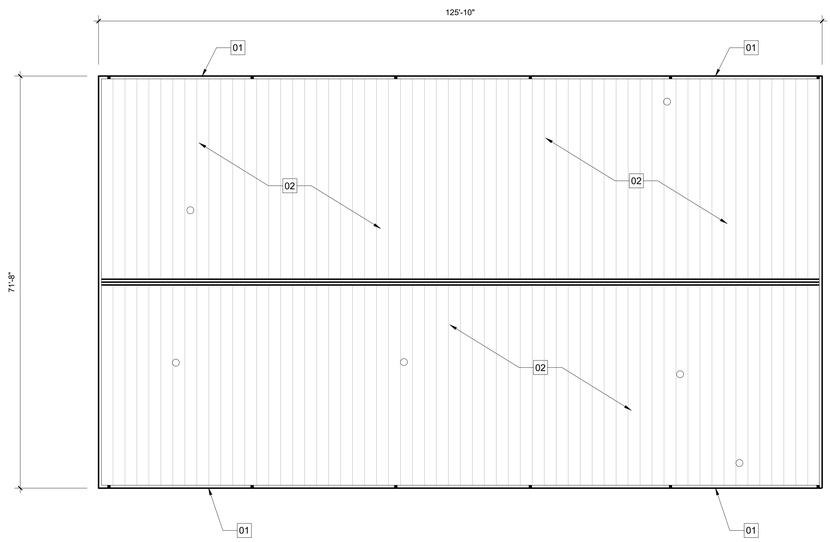
| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | |
| Sheet: | Exterior Envelope |

A2.02




BUILDING G
01 ROOF PLAN
SCALE: 1/8" = 1'-0"

NORTH




BUILDING H
02 ROOF PLAN
SCALE: 1/8" = 1'-0"

NORTH

ROOF BLDG: ADDITIONAL SCOPE OF WORK

1. REMOVE AND REPLACE VENT ON ROOF WITH CURBED VENT

KEY NOTES:

| | |
|---|---|
| 01 | REPLACE GUTTER AND DOWNSPOUTS (TYPICAL) |
| 02 | EXISTING STANDING SEAM ROOF TO REMAIN |
| 03 | REMOVE AND REPLACE CURB FLASHING |

ROOF: SCOPE OF WORK

1. REPLACE ALL ROOF FASTENERS WITH NEW ONES THAT ARE ONE SIZE LARGER THAN INSTALLED
2 REPLACE ALL GUTTERS (MATCH EXISTING)
3. REPLACE ALL DOWNSPOUTS (MATCH EXISTING)
4. REMOVE AND REPLACE CURB FLASHING ON ROOFS
5. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS, AND INSIDE CLOSURES.
5. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

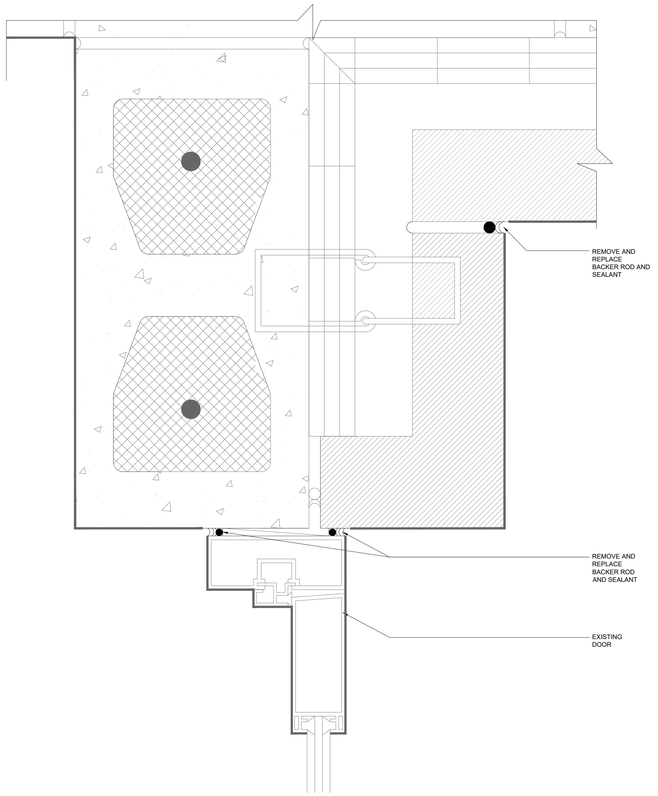
IDEA Public Schools - Exterior Envelope Repairs
IDEA Brownsville Frontier
Brownsville, Texas

IDEA BROWNSVILLE FRONTIER

REGISTERED ARCHITECT ROAN GOMEZ 23625 STATE OF TEXAS

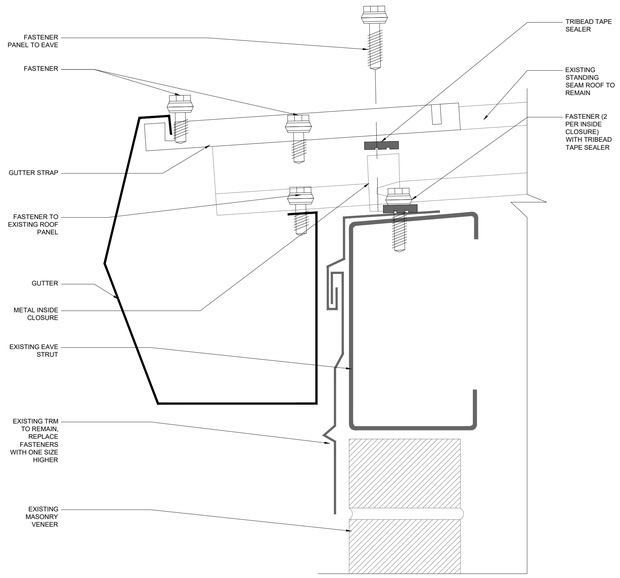
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A2.03 |



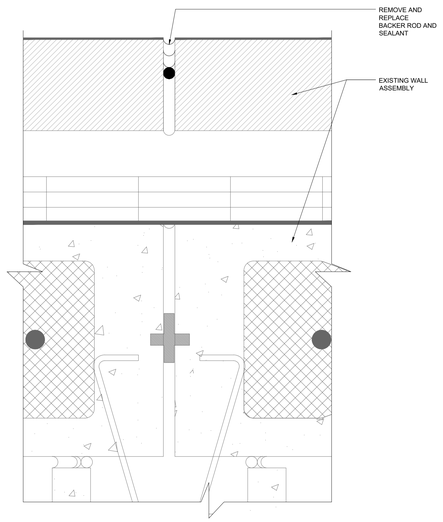

TYPICAL SEALANT AT DOOR/BRICK RETURN @ MASONRY WALL ( PLAN VIEW)

03 SCALE: 6" = 1'-0"




TYPICAL GUTTER REPLACEMENT DETAIL AT GUTTER STRAP

04 SCALE: 6" = 1'-0"




TYPICAL CONTROL JOINT @ MASONRY WALL ( PLAN VIEW)

05 SCALE: 6" = 1'-0"

IDEA BROWNSVILLE FRONTIER

| No. | REVISIONS | BY |
|---|---|---|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

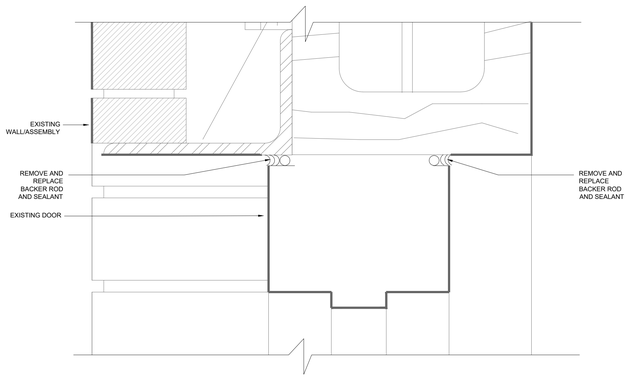
IDEA Public Schools - Exterior Envelope Repairs
IDEA Brownsville Frontier
Brownsville, Texas

IDEA Public Schools

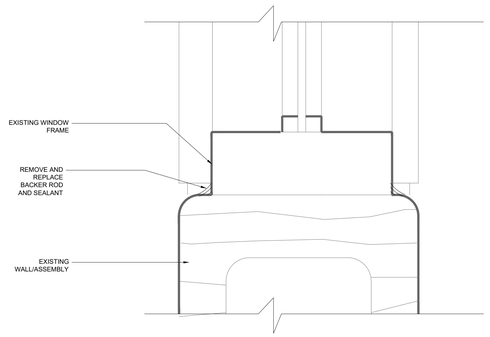
REGISTERED ARCHITECT ROAN GOMEZ 23625 STATE OF TEXAS

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

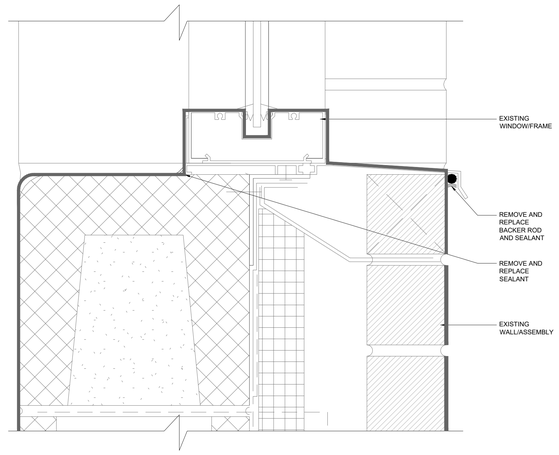
| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A4.01 |



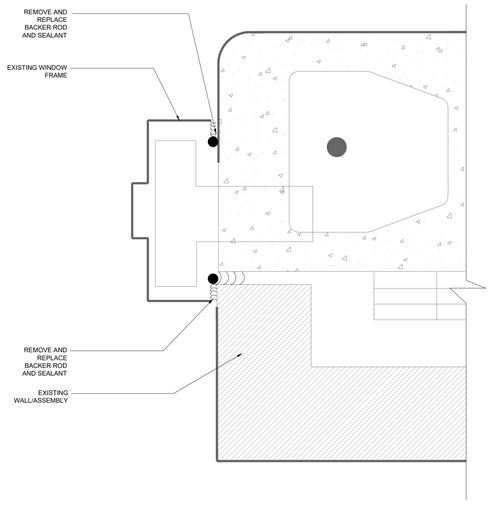

01 TYPICAL SEALANT AT DOOR @ MASONRY WALL ( HEADER VIEW)
SCALE: 6" = 1'-0"



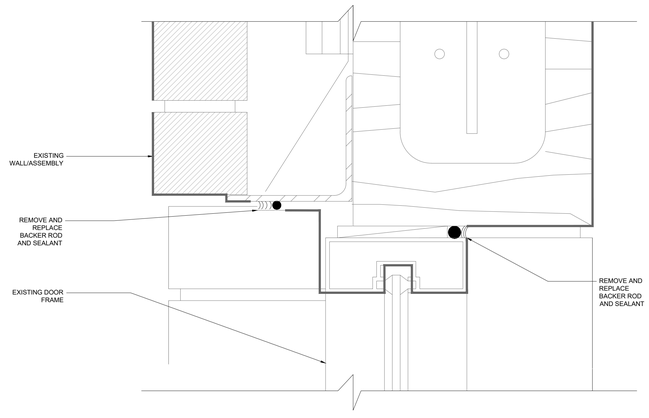

02 TYPICAL SEALANT AT WINDOW @ MASONRY WALL ( SILL VIEW)
SCALE: 6" = 1'-0"



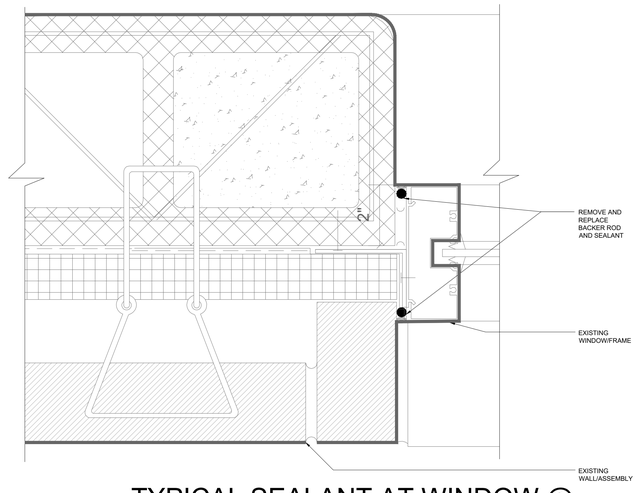

07 TYPICAL SEALANT AT WINDOW @ STORE FRONT ( SILL VIEW)
SCALE: 6" = 1'-0"



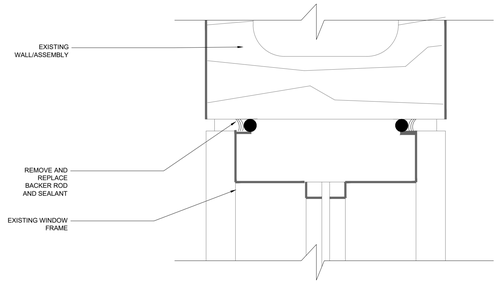

03 TYPICAL SEALANT AT DOOR @ MASONRY WALL ( JAMB VIEW)
SCALE: 6" = 1'-0"



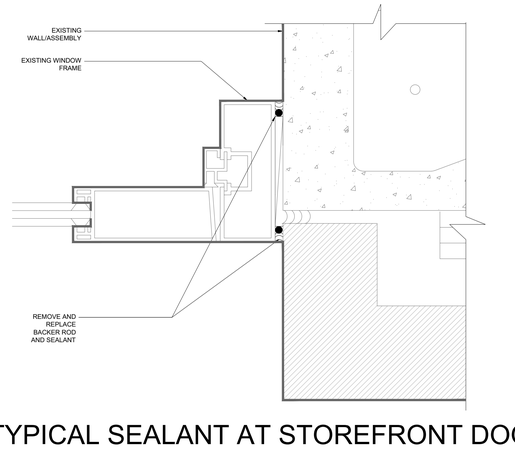

04 TYPICAL SEALANT AT STOREFRONT DOOR @ MASONRY WALL ( HEADER VIEW)
SCALE: 6" = 1'-0"




08 TYPICAL SEALANT AT WINDOW @ STORE FRONT ( JAMB VIEW)




05 TYPICAL SEALANT AT WINDOW @ CMU ( HEADER VIEW/JAMB SIM.)
SCALE: 6" = 1'-0"




06 TYPICAL SEALANT AT STOREFRONT DOOR @ MASONRY WALL ( JAMB VIEW)
SCALE: 6" = 1'-0"

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS

1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

IDEA Public Schools - Exterior Envelope Repairs
IDEA Brownsville Frontier
Brownsville, Texas

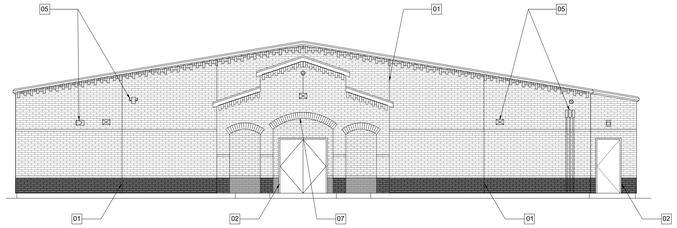
IDEA Public Schools

REGISTERED ARCHITECT ROAN GOMEZ JR. 23623 STATE OF TEXAS

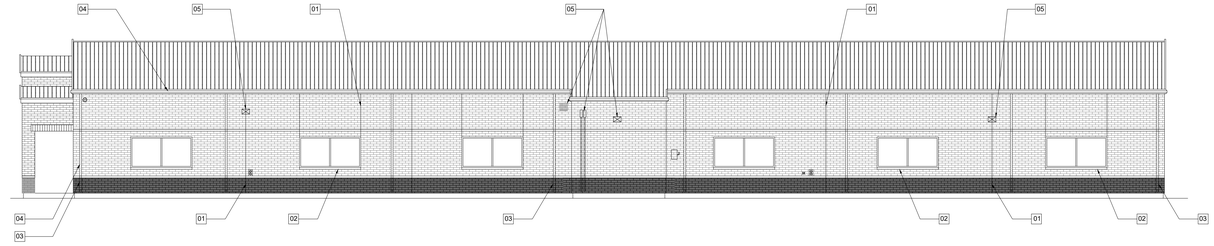
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A4.02 |

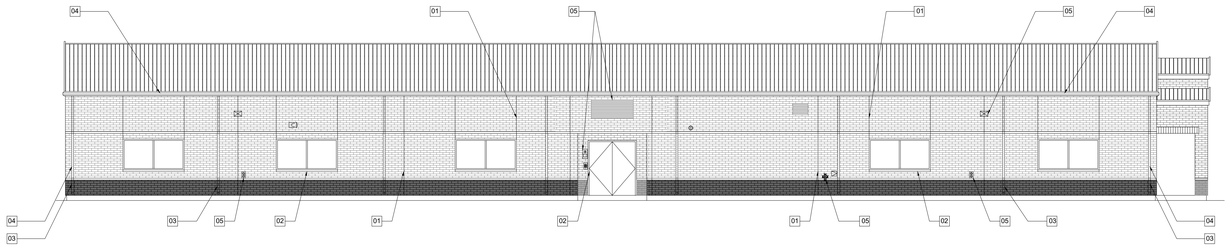
IDEA BROWNSVILLE FRONTIER



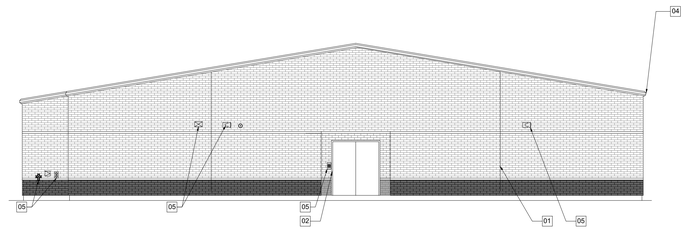
BUILDING A
## 01 WEST ELEVATION
SCALE: 1/8" = 1'-0"



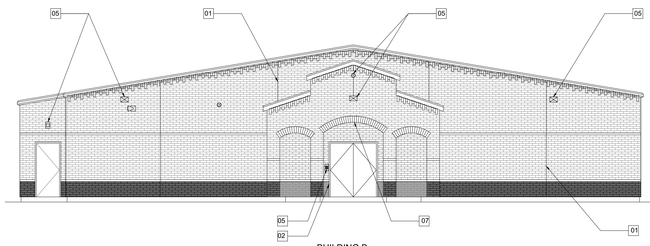
BUILDING A
## 02 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



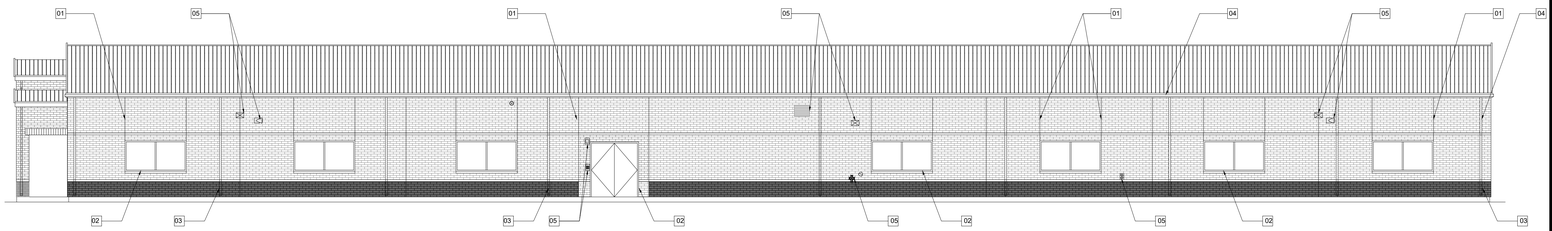
BUILDING A
## 03 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



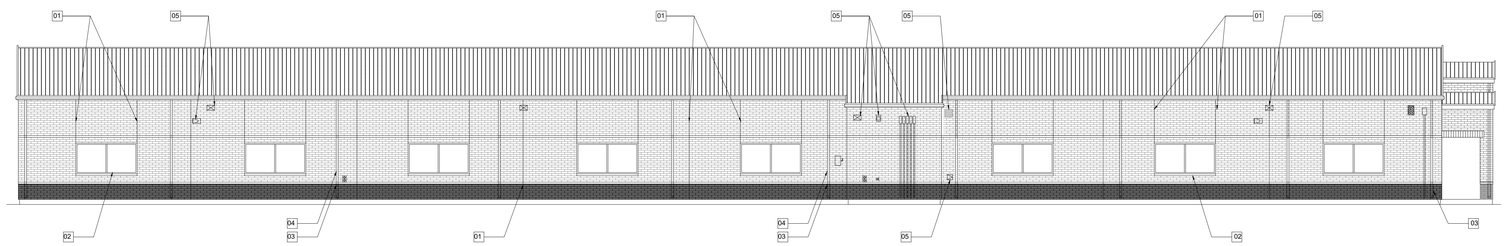
BUILDING A
## 04 EAST ELEVATION
SCALE: 1/8" = 1'-0"



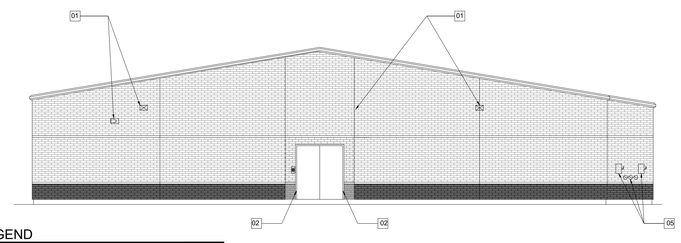
BUILDING B
## 05 WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING B
## 06 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING B
## 07 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING B
## 08 EAST ELEVATION
SCALE: 1/8" = 1'-0"

## KEYED NOTES

| | |
|---|---|
| 01 | REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REFER TO SHEET A4.01, A6.01 |
| 02 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.02 |
| 03 | PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP. |
| 04 | REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING , TYP. REFER TO 07/A4.02 |
| 05 | RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. |
| 06 | REPOINT DAMAGED MASONRY HERE |
| 07 | RE-SEAL AT ALL FIXURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP. |

### BUILDING A: SCOPE OF WORK

1. PROVIDE NEW BOOT AT DOWNSPOUTS.
2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
4. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
4. SEAL ALL WALL PENETRATIONS.

### LEGEND

- ELECTRICAL DISCONNECT / BOXES
- JBOX
- OUTLET
- CAMERA
- LIGHT FIXTURE
- INTERCOM PHONE
- FIRE HORN
- WALL SPEAKER
- LOUVER
- WALL HYDRANT
- PLUMBING PENETRATION
- EMPTY CONDUIT
- ANTENNAE
- KEYPAD
- PERFORATED COVER
- IT CONDUITS

| No. | REVISIONS | BY |
|---|---|---|
| | | |


GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196


# IDEA Public Schools - Exterior Envelope Repairs
## IDEA Brownsville Frontier
Brownsville, Texas

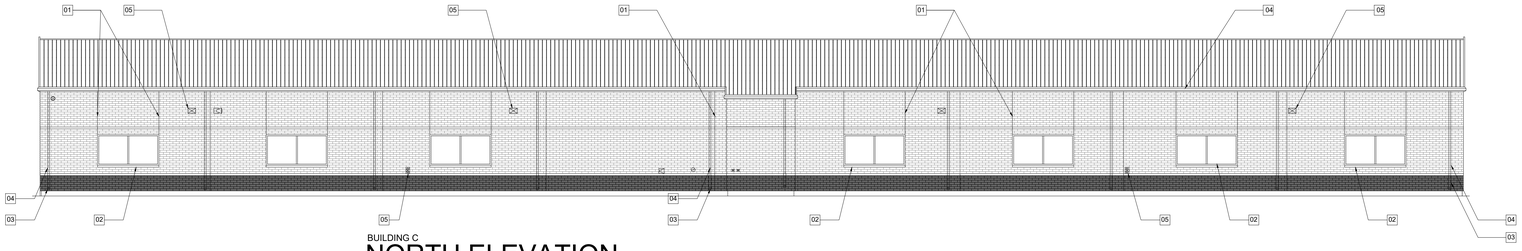
IDEA Public Schools

IDEA BROWNSVILLE FRONTIER

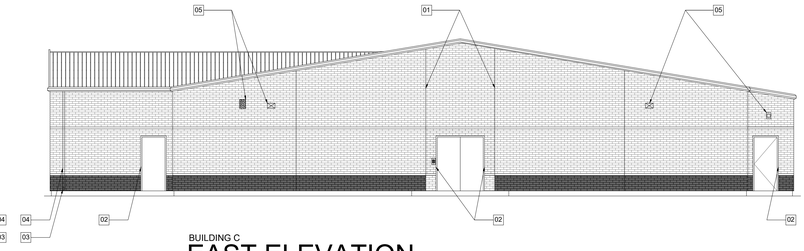
REGISTERED ARCHITECT ROAN GOMEZ JR. 23625 STATE OF TEXAS


© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

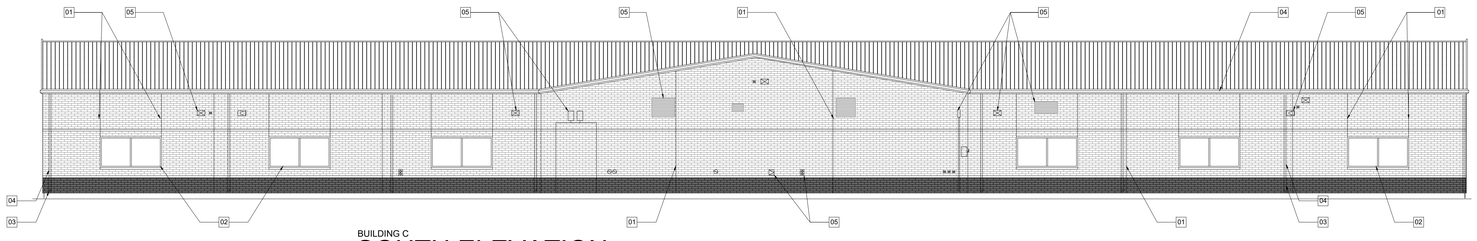

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A5.01 |



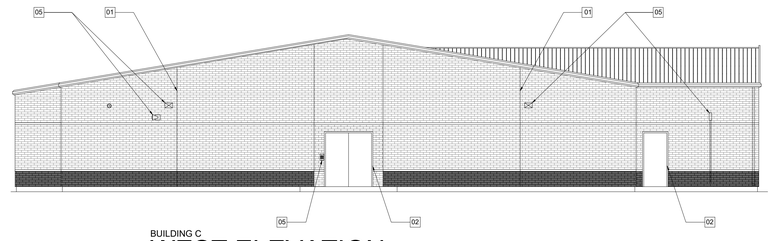
BUILDING C
## 01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



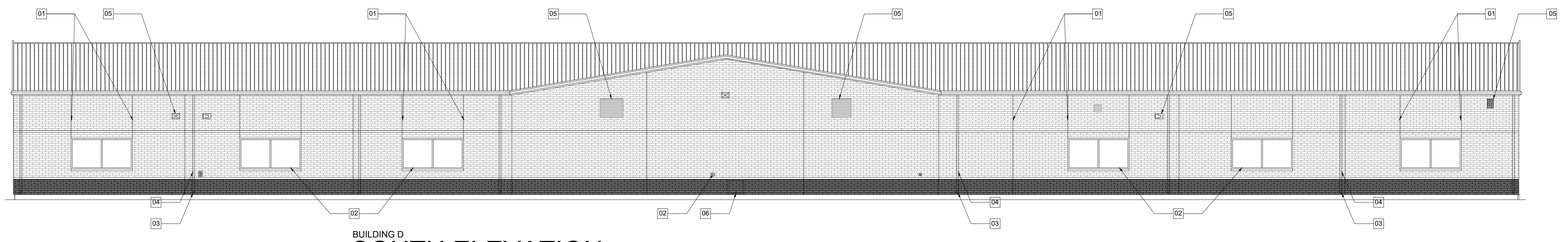
BUILDING C
## 02 EAST ELEVATION
SCALE: 1/8" = 1'-0"



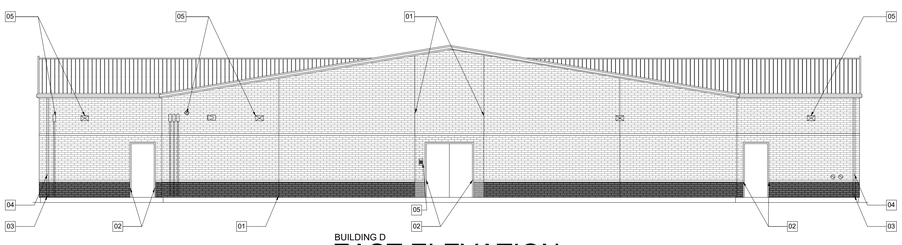
BUILDING C
## 03 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



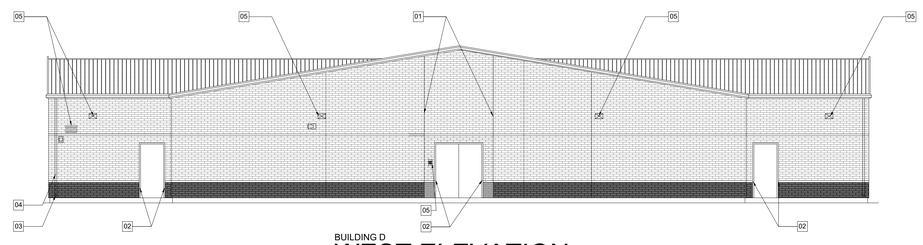
BUILDING C
## 04 WEST ELEVATION
SCALE: 1/8" = 1'-0"



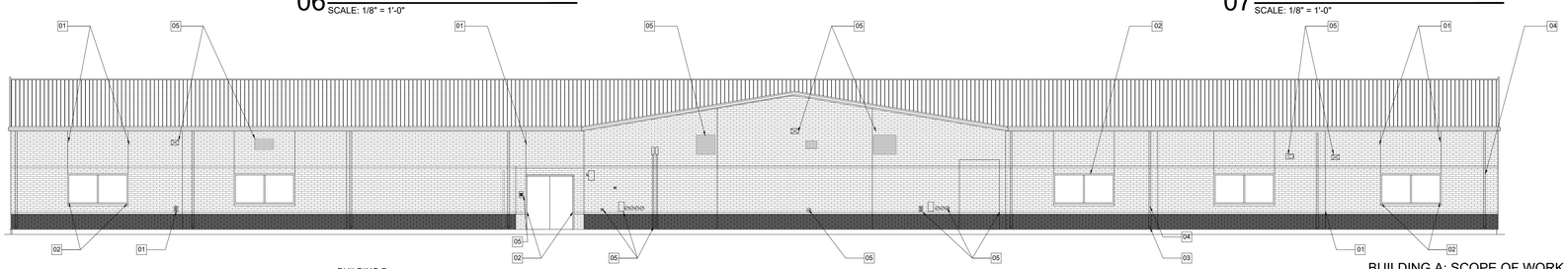
BUILDING D
## 05 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING D
## 06 EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING D
## 07 WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING D
## 08 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

## KEYED NOTES

| | |
|---|---|
| 01 | REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REFER TO SHEET A4.01, A6.01 |
| 02 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.02 |
| 03 | PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP. |
| 04 | REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING , TYP. REFER TO 07/A4.02 |
| 05 | RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. |
| 06 | REPOINT DAMAGED MASONRY HERE |
| 07 | RE-SEAL AT ALL FIXURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP. |

### BUILDING A: SCOPE OF WORK

1. PROVIDE NEW BOOT AT DOWNSPOUTS.
2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
4. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
4. SEAL ALL WALL PENETRATIONS.

### LEGEND

- ELECTRICAL DISCONNECT / BOXES
- JBOX
- OUTLET
- CAMERA
- LIGHT FIXTURE
- INTERCOM PHONE
- FIRE HORN
- WALL SPEAKER
- LOUVER
- WALL HYDRANT
- PLUMBING PENETRATION
- EMPTY CONDUIT
- ANTENNAE
- KEYPAD
- PERFORATED COVER
- IT CONDUITS

IDEA BROWNSVILLE FRONTIER

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

# IDEA Public Schools - Exterior Envelope Repairs
## IDEA Brownsville Frontier
Brownsville, Texas

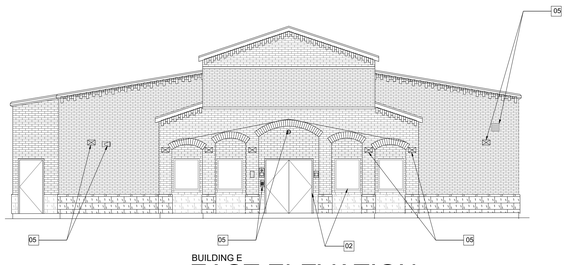
IDEA Public Schools

REGISTERED ARCHITECT ROAN GABRIEL GOMEZ 32623 STATE OF TEXAS

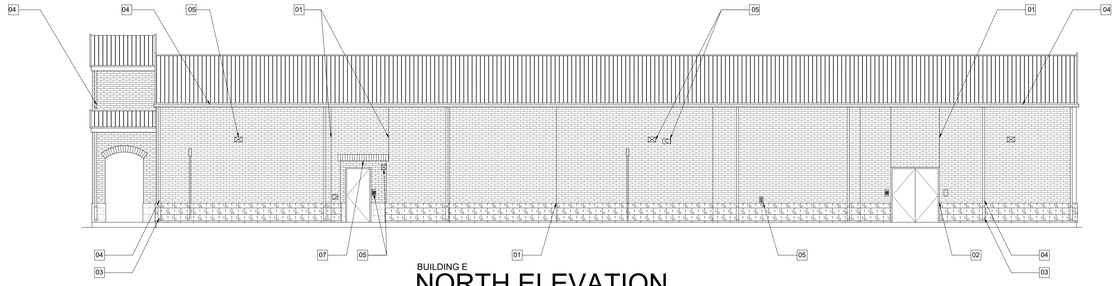
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | |
| Sheet: | Exterior Envelope |

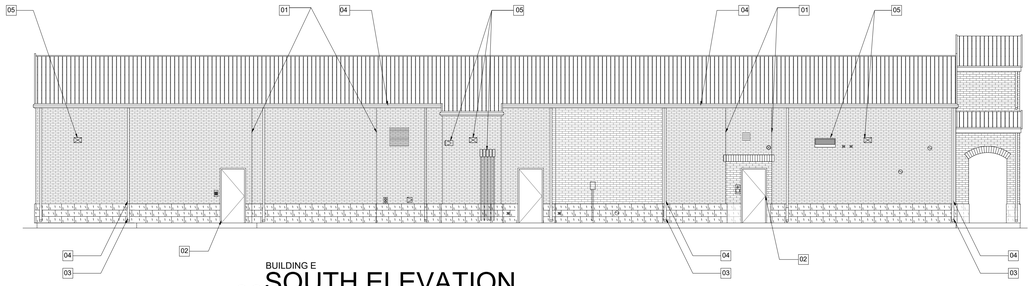
A5.02



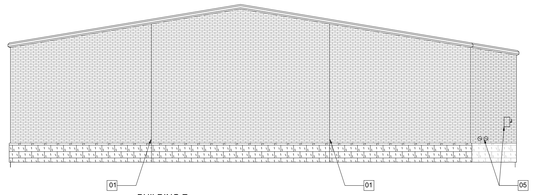

BUILDING E
## 01 EAST ELEVATION
SCALE: 1/8" = 1'-0"



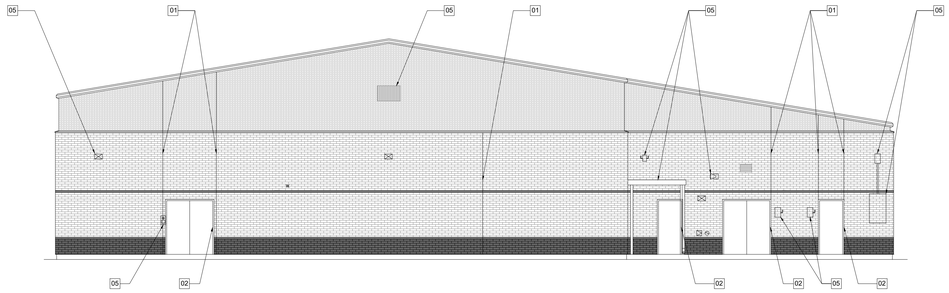

BUILDING E
## 02 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



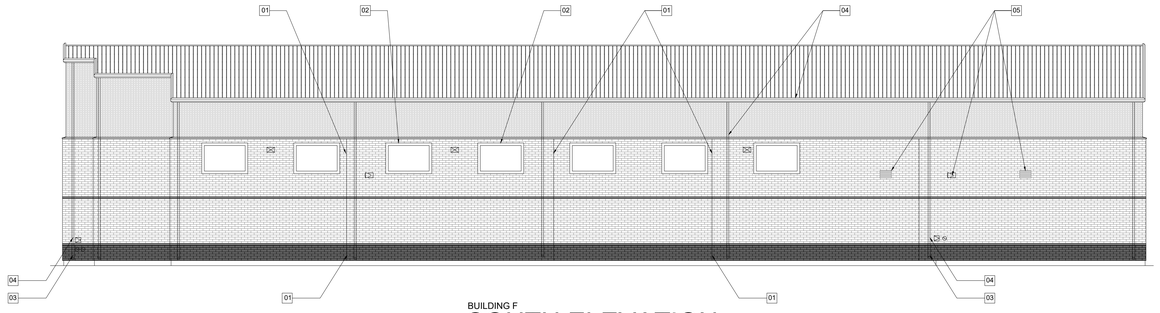

BUILDING E
## 03 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



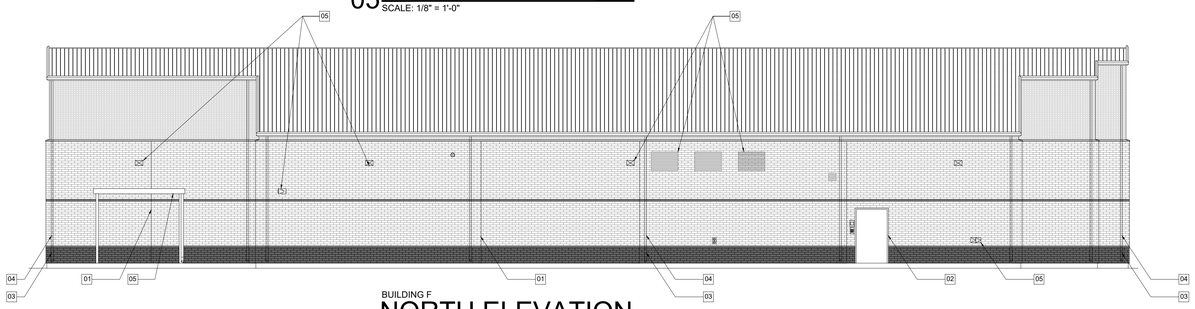

BUILDING E
## 04 WEST ELEVATION
SCALE: 1/8" = 1'-0"



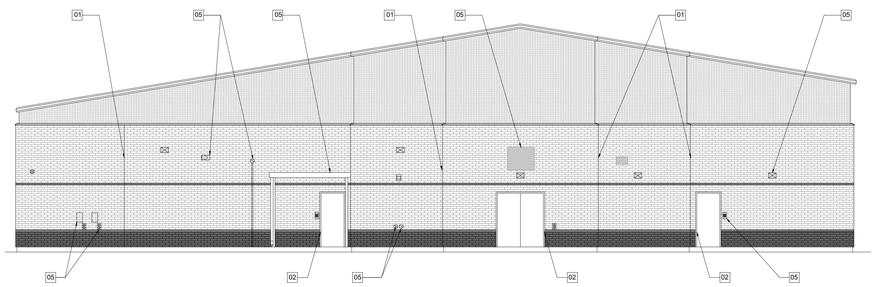

BUILDING F
## 05 EAST ELEVATION
SCALE: 1/8" = 1'-0"




BUILDING F
## 06 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"




BUILDING F
## 07 NORTH ELEVATION
SCALE: 1/8" = 1'-0"




BUILDING F
## 08 WEST ELEVATION
SCALE: 1/8" = 1'-0"

## KEYED NOTES

| | |
|---|---|
| 01 | REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REFER TO SHEET A4.01, A6.01 |
| 02 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.02 |
| 03 | PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP. |
| 04 | REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING , TYP. REFER TO 07/A4.02 |
| 05 | RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. |
| 06 | REPOINT DAMAGED MASONRY HERE |
| 07 | RE-SEAL AT ALL FIXURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP. |

## BUILDING A: SCOPE OF WORK

1. PROVIDE NEW BOOT AT DOWNSPOUTS.
2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
4. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
4. SEAL ALL WALL PENETRATIONS.

## LEGEND

- ELECTRICAL DISCONNECT / BOXES
- JBOX
- OUTLET
- CAMERA
- LIGHT FIXTURE
- INTERCOM PHONE
- FIRE HORN
- WALL SPEAKER
- LOUVER
- WALL HYDRANT
- PLUMBING PENETRATION
- EMPTY CONDUIT
- ANTENNAE
- KEYPAD
- PERFORATED COVER
- IT CONDUITS

IDEA BROWNSVILLE FRONTIER

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

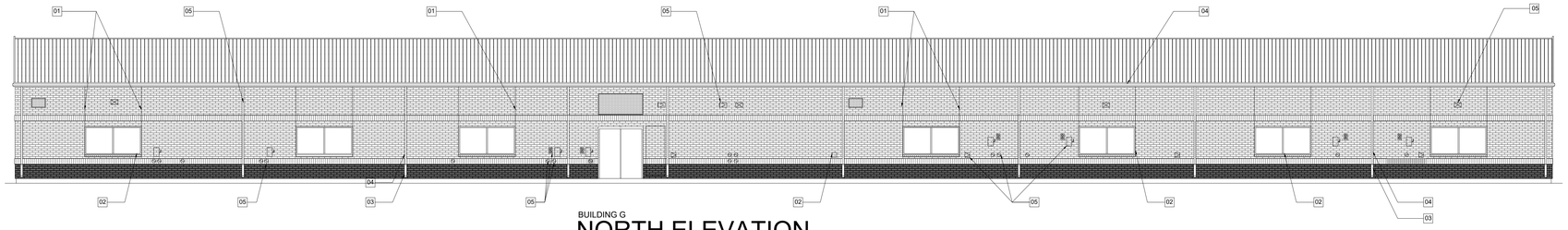
# IDEA Public Schools - Exterior Envelope Repairs
# IDEA Brownsville Frontier
Brownsville, Texas

IDEA Public Schools

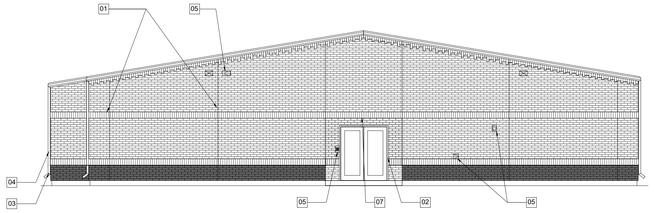
REGISTERED ARCHITECT ROAN GORREZ 23625 STATE OF TEXAS 8/29/24

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

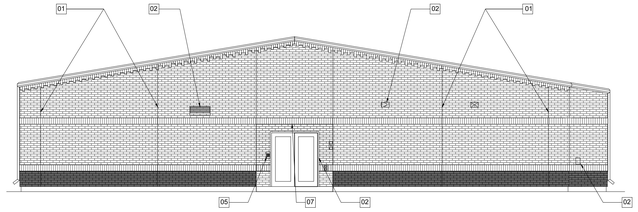
| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A5.03 |



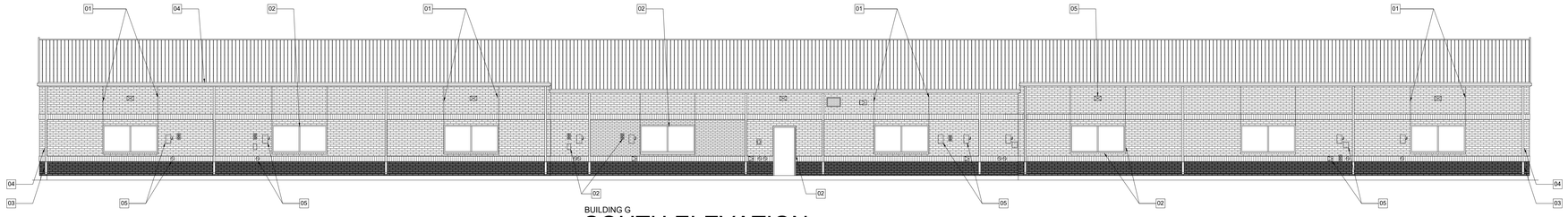
BUILDING G
## 01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



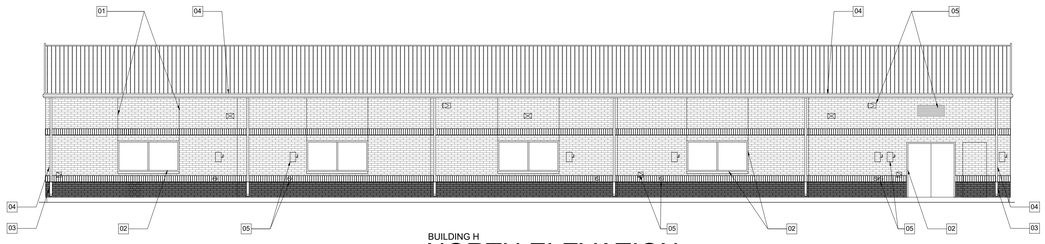
BUILDING G
## 02 EAST ELEVATION
SCALE: 1/8" = 1'-0"



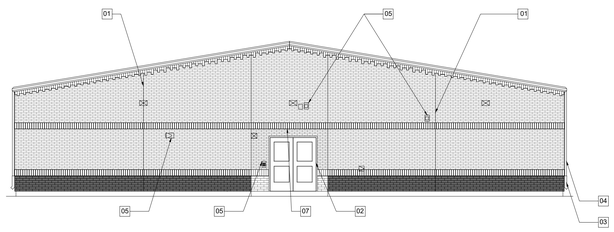
BUILDING G
## 03 WEST ELEVATION
SCALE: 1/8" = 1'-0"



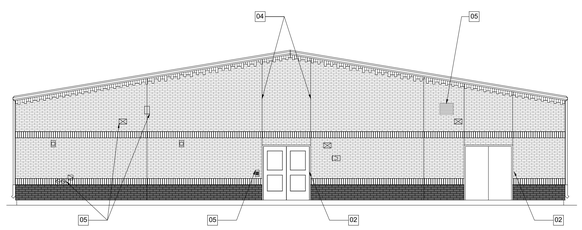
BUILDING G
## 04 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



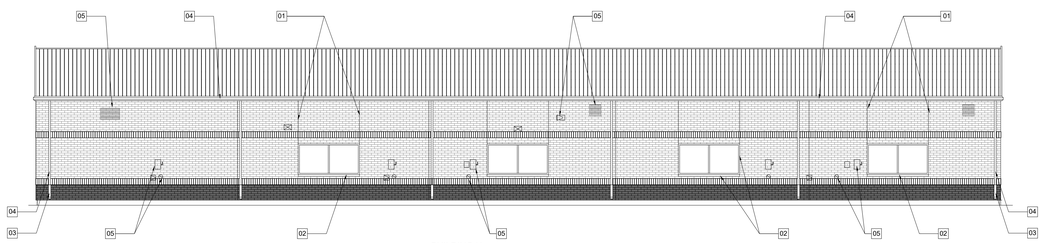
BUILDING H
## 05 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING H
## 06 WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING H
## 07 EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING H
## 08 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

## KEYED NOTES

| | |
|---|---|
| 01 | REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REFER TO SHEET A4.01, A6.01 |
| 02 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.02 |
| 03 | PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP. |
| 04 | REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING , TYP. REFER TO 07/A4.02 |
| 05 | RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. |
| 06 | REPOINT DAMAGED MASONRY HERE |
| 07 | RE-SEAL AT ALL FIXURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP. |

## LEGEND

- ELECTRICAL DISCONNECT / BOXES
- JBOX
- OUTLET
- CAMERA
- LIGHT FIXTURE
- INTERCOM PHONE
- FIRE HORN
- WALL SPEAKER
- LOUVER
- WALL HYDRANT
- PLUMBING PENETRATION
- EMPTY CONDUIT
- ANTENNAE
- KEYPAD
- PERFORATED COVER
- IT CONDUITS

## BUILDING A: SCOPE OF WORK

1. PROVIDE NEW BOOT AT DOWNSPOUTS.
2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
4. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
4. SEAL ALL WALL PENETRATIONS.

IDEA BROWNSVILLE FRONTIER

| No. | REVISIONS | BY |
|---|---|---|
| | | |


GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196


# IDEA Public Schools - Exterior Envelope Repairs
## IDEA Brownsville Frontier
Brownsville, Texas

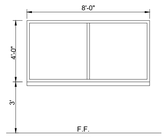
IDEA Public Schools

REGISTERED ARCHITECT ROAN GOMEZ JR. 23625 STATE OF TEXAS


© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers


| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A5.04 |

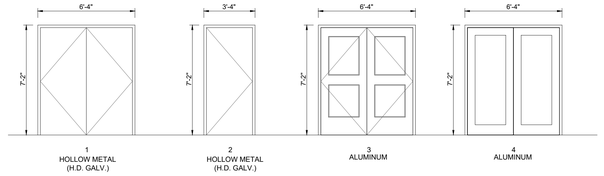
# DOOR & WINDOW ELEVATIONS




ALUMINUM WINDOW FRAME SYSTEM

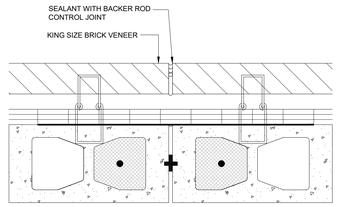
## WINDOW ELEVATIONS

SCALE 1/4" = 1'-0"



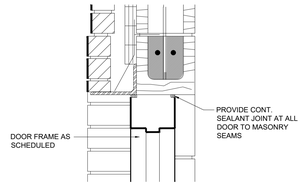

## DOOR FRAME ELEVATIONS

SCALE 1/4" = 1'-0"



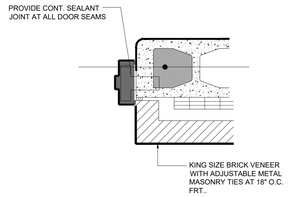

## 06 CONTROL JOINT DTL

SCALE: 1/2" = 1'-0"



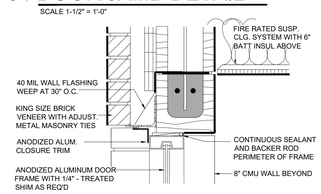

## 05 DOOR HEAD DETAIL

SCALE 1-1/2" = 1'-0"



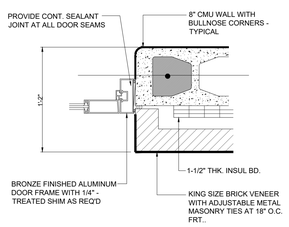

## 04 DOOR JAMB DETAIL

SCALE 1-1/2" = 1'-0"



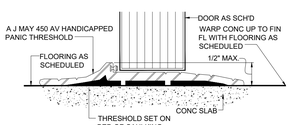

## 03 DOOR HEAD DETAIL

SCALE 1-1/2" = 1'-0"




## 02DOOR JAMB DETAIL

SCALE 1-1/2" = 1'-0"




## 01THRESHOLD DETAIL

SCALE : NONE

IDEA BROWNSVILLE FRONTIER

| No. | REVISIONS | BY |
|---|---|---|
| | | |


GMS ARCHITECTS

1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196


IDEA Public Schools - Exterior Envelope Repairs
IDEA Brownsville Frontier
Brownsville, Texas

IDEA Public Schools

REGISTERED ARCHITECT ROAN GABRIEL GOMEZ 23625 STATE OF TEXAS 8/29/24


© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers


| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A6.01 |

# IDEA PUBLIC SCHOOLS
## ENVELOPE IMPROVEMENTS
## SAN BENITO - RIO GRANDE VALLEY


IDEA Public Schools Board of Directors 2024

| | |
|---|---|
| Collin Sewell | Chair |
| Ed Rivera | Vice Chair |
| Erich Holmsten | Treasurer |
| Ryan Vaughan | Secretary |
| Michael Adams | Member |
| Gary Lindgren | Member |
| Theresa Barrera-Shaw | Member |
| Nanette Cocero | Member |

Rio Grande Valley Regional Board 2024

| | |
|---|---|
| Maria Antonia Chapa | Member |
| Cerise R. de Garduno | Member |
| Sarah Garza | Member |
| Zulieda Lopez-Habbouche | Member |
| Andrea Rodriguez | Member |
| Alyssa L. Romero | Member |
| Bobby Saenz | Member |
| CJ Sanchez | Member |
| Jesus Zepeda | Member |


## D R A W I N G  I N D E X

### IDEA SAN BENITO


| | |
|---|---|
| COVER | COVER SHEET |
| A1.01 | SITE PLAN |
| A2.01 | ROOF PLAN - BLDG. A, B, C |
| A2.02 | ROOF PLAN - BLDG. D, E |
| A3.01 | ROOF DETAILS |
| A4.01 | DETAILS |
| A4.02 | DETAILS |
| A5.01 | ELEVATIONS - BLDG. A, B |
| A5.02 | ELEVATIONS - BLDG. C, D |
| A5.03 | ELEVATIONS - BLDG. E |
| A6.01 | DOOR/WINDOW ELEVATIONS/DETAILS |



A R C H I T E C T S

GOMEZ MENDEZ SAENZ, INC.

1150 PAREDES LINE RD. BROWNSVILLE, TX. 78521

PH. (956) 546-0110 FAX. (956) 546-0196


| No. | REVISIONS | BY |
|---|---|---|
| | | |


GMS ARCHITECTS

1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196


IDEA Public Schools - Exterior Envelope Repairs

IDEA San Benito

San Benito, Texas

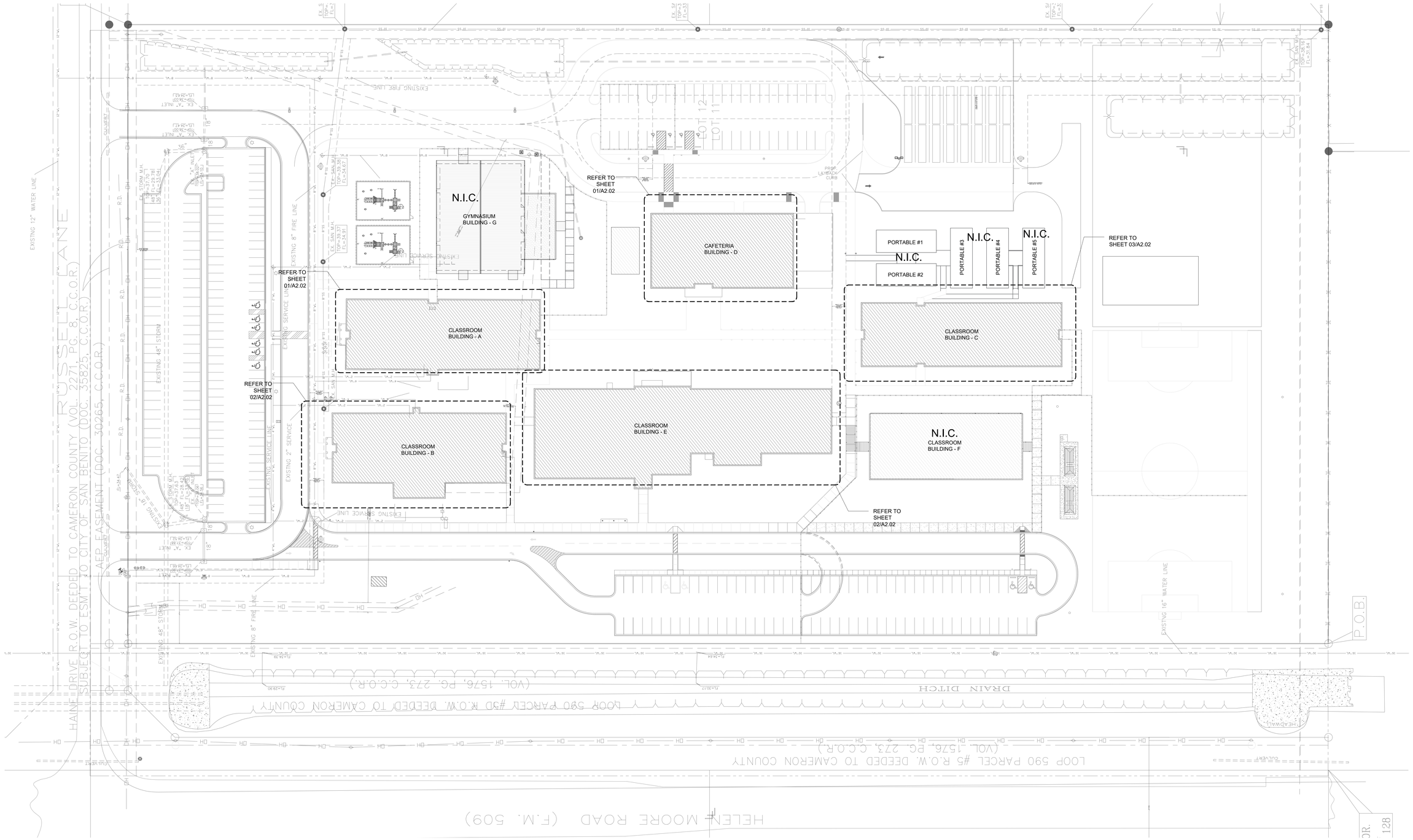
IDEA Public Schools

REGISTERED ARCHITECT
ROAN GABRIEL GOMEZ
08/28/24
23625
STATE OF TEXAS

IDEA SAN BENITO


© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers


| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | COVER |




GENERAL ROOFING NOTES:

WHERE APPLICABLE, THE RE-ROOFING PORTION OF THIS PROJECT HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE (LATEST EDITION).

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING.

INSPECT ALL ROOF AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND.

THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

AT THE COMPLETION OF ALL ROOFING WORK AT EACH BUILDING, ALL EXISTING ROOF DRAINS AND RELATED PIPING SHALL BE WATER TESTED, CHECKED AND CERTIFIED BY A LICENSED PLUMING CONTRACTOR TO BE OPERATIONAL AND LEAK FREE.

PROVIDE ALLOWANCE FOR CEILING TILE REPLACEMENTS AS REQUIRED FOR ROOF LEAK TESTING.

N 01 SITEPLAN
SCALE: 1 = 20

IDEA SAN BENITO

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

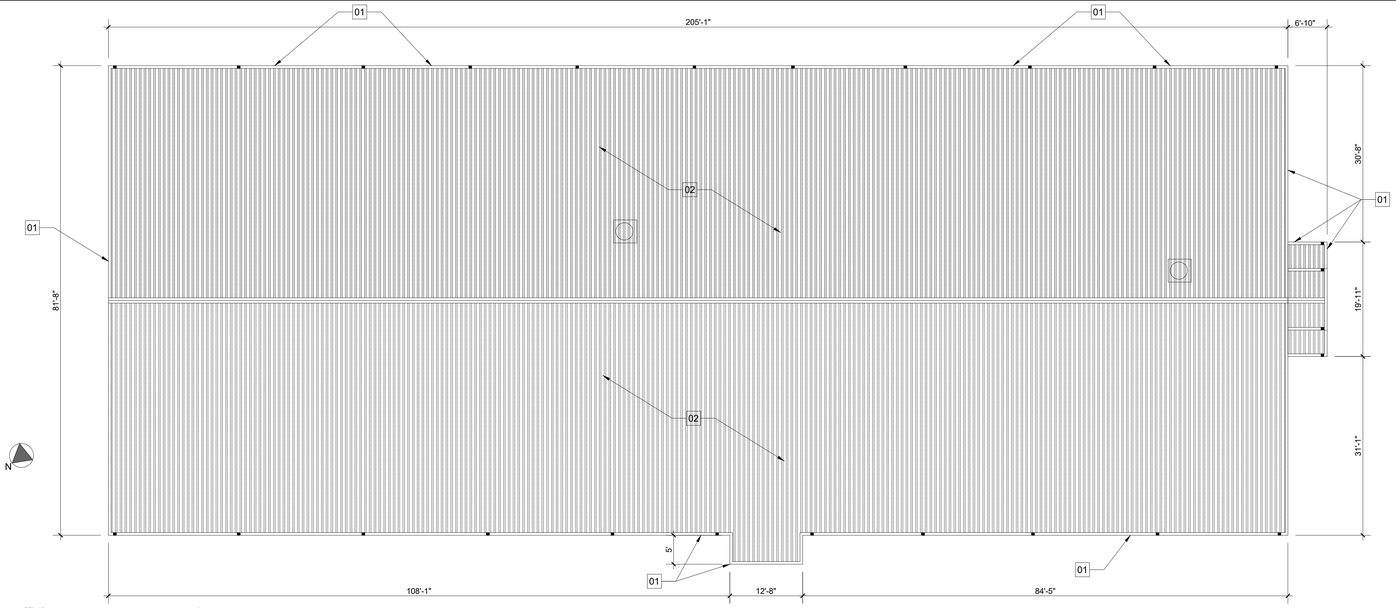
# IDEA Public Schools - Exterior Envelope Repairs
## IDEA San Benito
San Benito, Texas

IDEA Public Schools

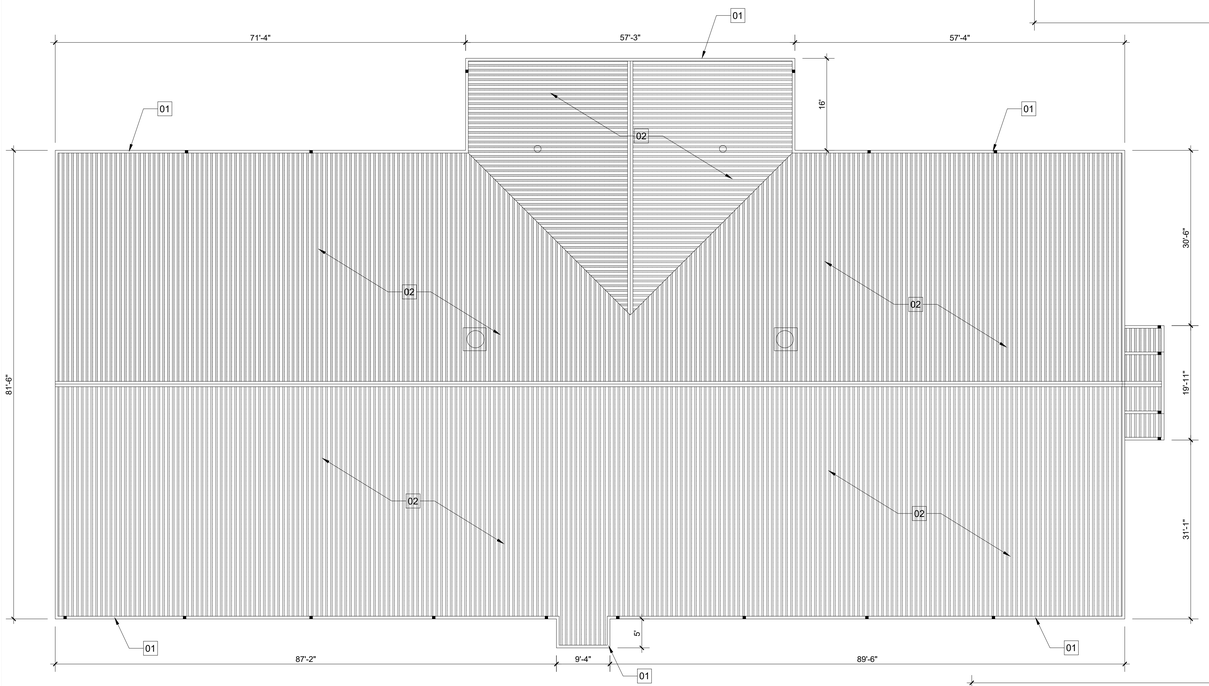
REGISTERED ARCHITECT ROAN GOMEZ JR. 23625 STATE OF TEXAS

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A1.01 |




BUILDING 'A'
## 01 ROOF PLAN
SCALE: 3/32" = 1'-0"




BUILDING 'B'
## 02 ROOF PLAN
SCALE: 3/32" = 1'-0"

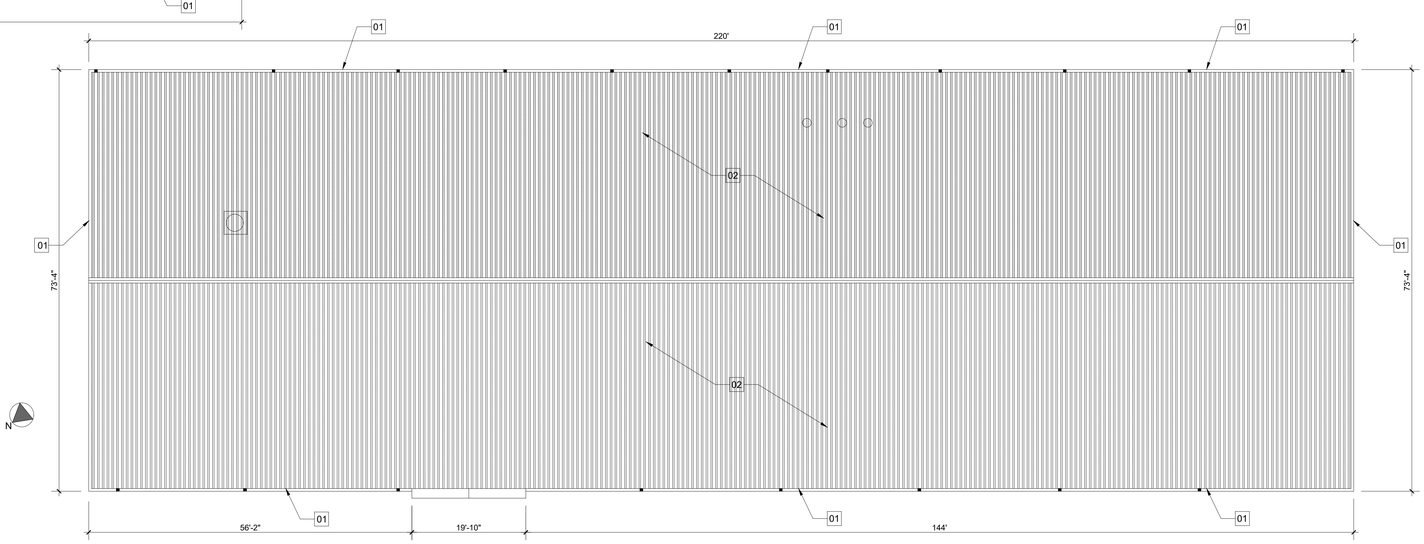
KEY NOTES:

01 REPLACE GUTTER AND DOWNSPOUTS (TYPICAL)

02 EXISTING STANDING SEAM ROOF TO REMAIN

ROOF: SCOPE OF WORK

1. REPLACE ALL ROOF FASTENERS WITH NEW ONES THAT ARE ONE SIZE LARGER THAN INSTALLED
2 REPLACE ALL GUTTERS (MATCH EXISTING)
3. REPLACE ALL DOWNSPOUTS (MATCH EXISTING)
4. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS, AND INSIDE CLOSURES.
5. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS
6. ADD SPLASH BLOCKS AT EVERY DOWNSPOUT IF MISSING




BUILDING 'C'
## 03 ROOF PLAN
SCALE: 3/32" = 1'-0"

IDEA SAN BENITO

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS

1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

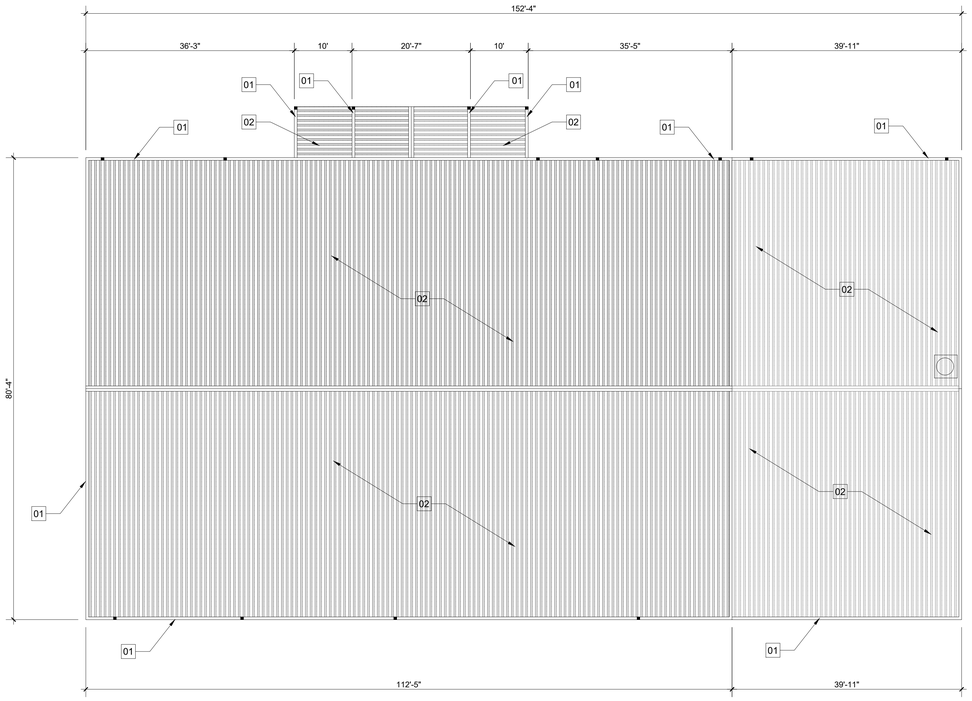
# IDEA Public Schools - Exterior Envelope Repairs
## IDEA San Benito
San Benito, Texas

IDEA Public Schools

REGISTERED ARCHITECT ROAN GABRIEL GOMEZ 8/29/24 23622 STATE OF TEXAS

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A2.01 |




BUILDING 'D'
01 ROOF PLAN
SCALE: 1/8" = 1'-0"

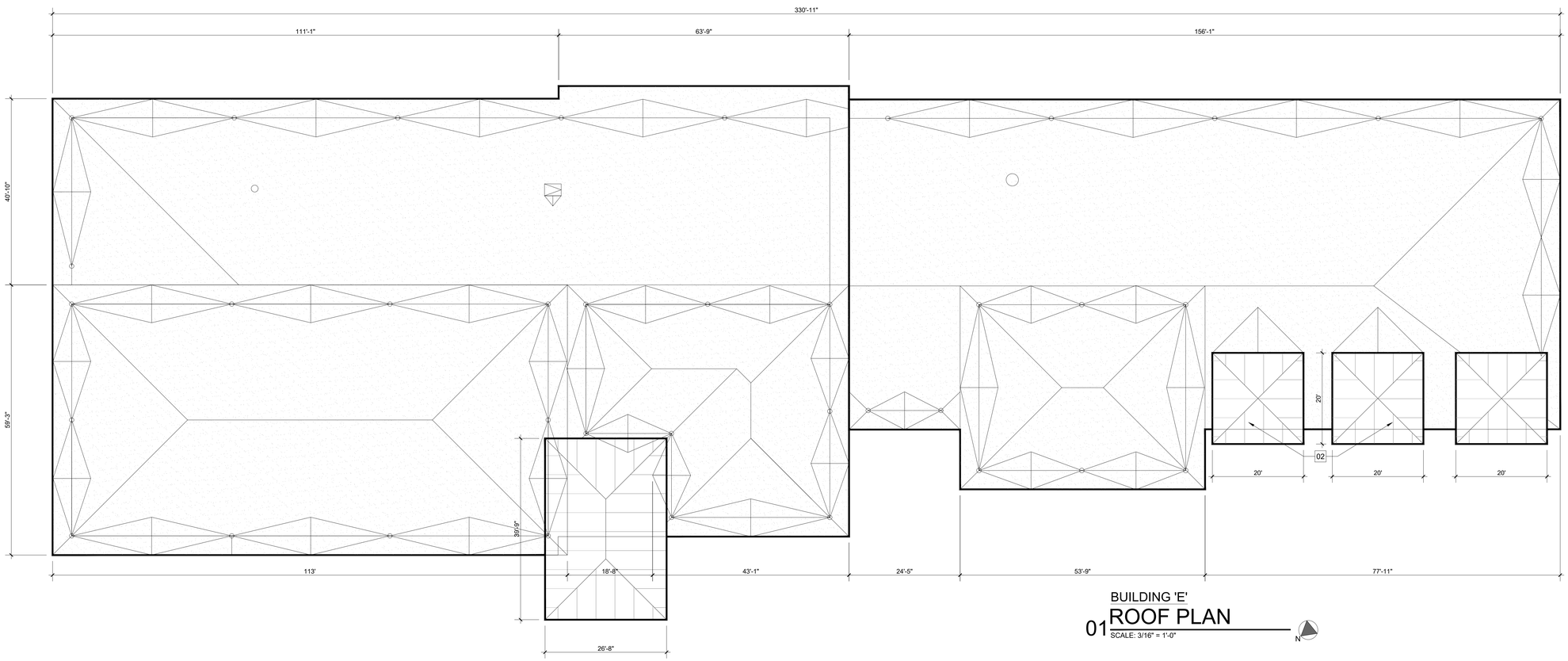
KEY NOTES:

01 REPLACE GUTTER AND DOWNSPOUTS (TYPICAL)

02 EXISTING STANDING SEAM ROOF TO REMAIN

ROOF: SCOPE OF WORK

1. REPLACE ALL ROOF FASTENERS WITH NEW ONES THAT ARE ONE SIZE LARGER THAN INSTALLED
2. REPLACE ALL GUTTERS (MATCH EXISTING)
3. REPLACE ALL DOWNSPOUTS (MATCH EXISTING)
4. RESEAL LAPPED SHEET METAL AT RIDGES AND VALLEYS, AND INSIDE CLOSURES.
5. REPLACE BOOT FLASHING ON VENT STACKS, AND SEAL NEW FASTENERS
6. ADD SPLASH BLOCKS AT EVERY DOWNSPOUT IF MISSING




BUILDING 'E'
01 ROOF PLAN
SCALE: 3/16" = 1'-0"

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS

1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

IDEA Public Schools - Exterior Envelope Repairs
IDEA San Benito
San Benito, Texas

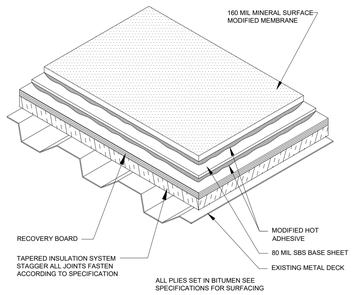
IDEA Public Schools

REGISTERED ARCHITECT ROAN CHARLES GOMEZ 03/29/24 5362 STATE OF TEXAS

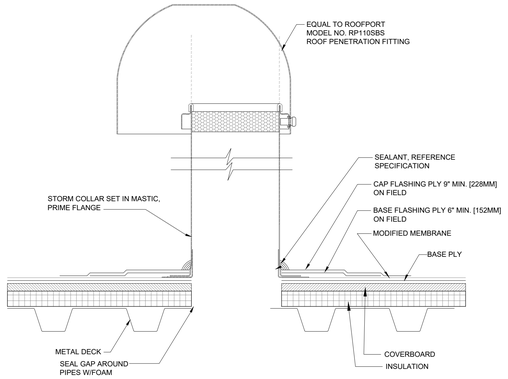
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A2.02 |

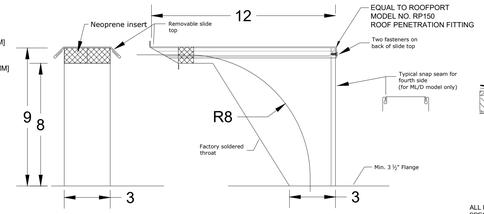
IDEA SAN BENITO



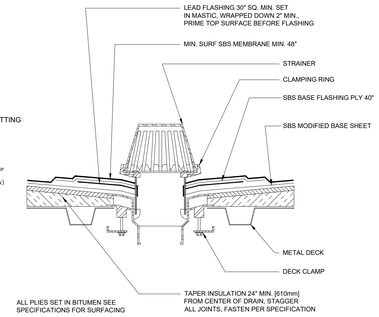

01 MINERAL FINISH
NOT TO SCALE



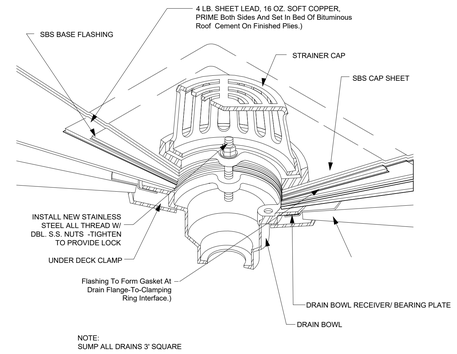

02 PIPING PENETRATION DETAIL
NOT TO SCALE



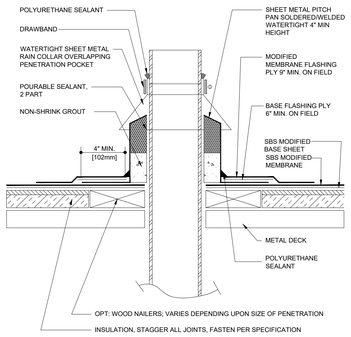

03 PIPING ROOF FLASHING DTL
NOT TO SCALE



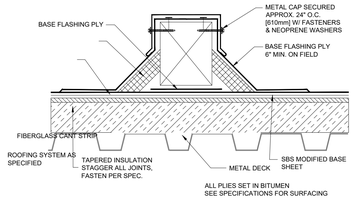

04 ROOF DRAIN DETAIL
NOT TO SCALE



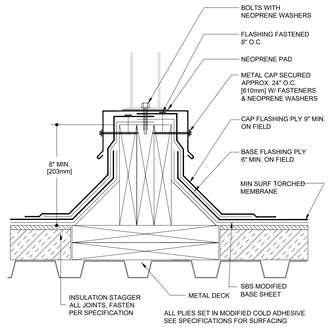

05 TYP. ROOF DRAIN DETAIL
NOT TO SCALE



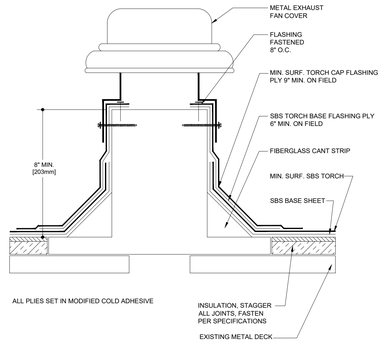

06 SUPPORT DETAIL
NOT TO SCALE



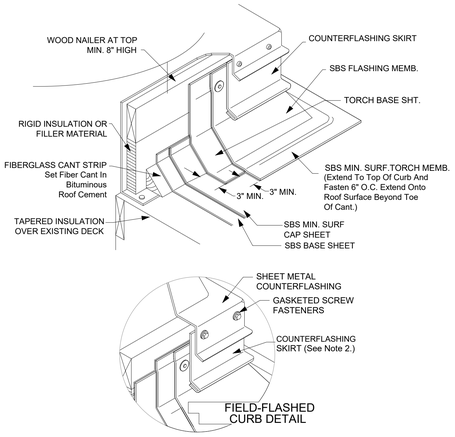

07 SUPPORT DETAIL
NOT TO SCALE



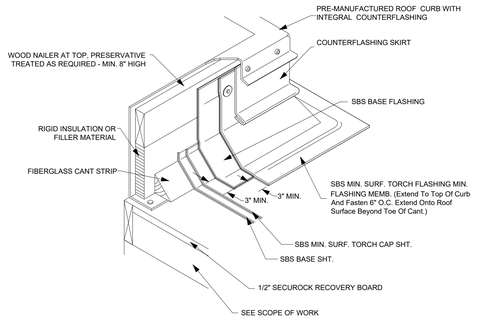

08 SUPPORT DETAIL
NOT TO SCALE



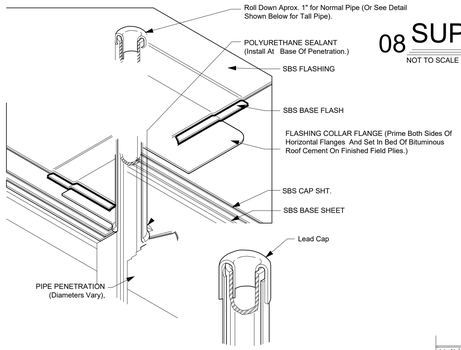

09 EXHAUST FAN DETAIL
NOT TO SCALE



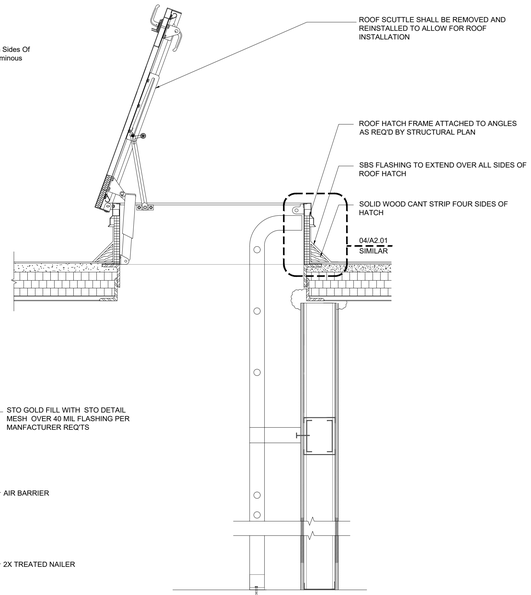

10 POWER VENT DETAIL
NOT TO SCALE



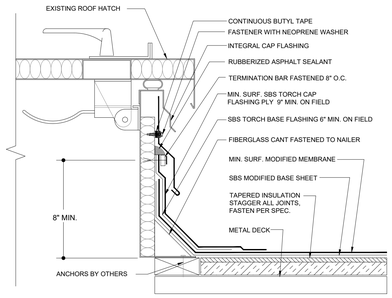

11 TYP. A/C CURB DETAIL
NOT TO SCALE



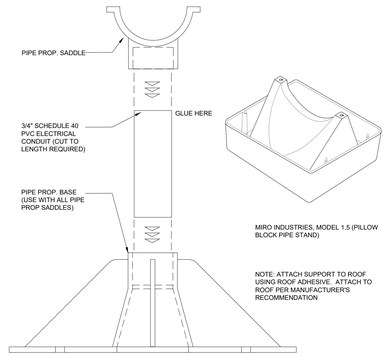

12 TYP. VENT PIPE DETAIL
NOT TO SCALE



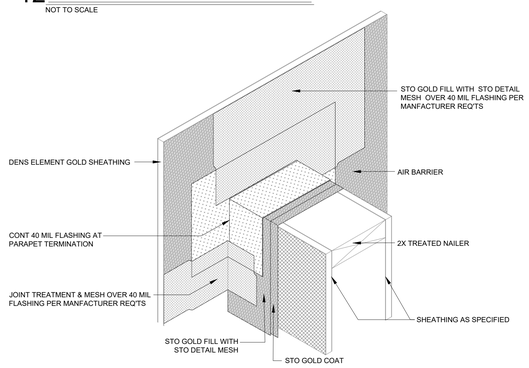

13 HATCH & LADDER DETAIL
NOT TO SCALE



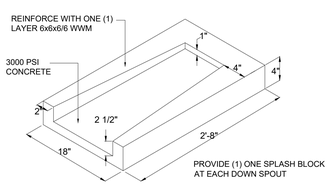

14 HATCH DETAIL
NOT TO SCALE



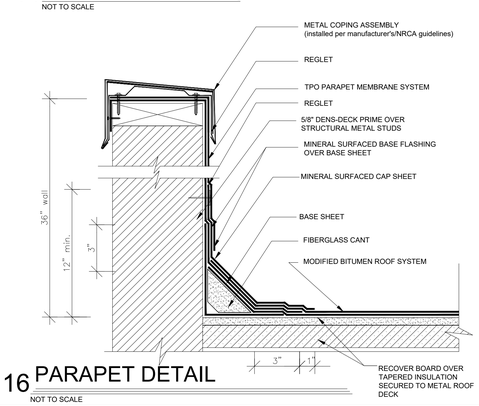

15 CONDENSATE PIPE SUPPORT DETAIL
NOT TO SCALE




17 PARAPET TERMINATION ISO
SCALE : NONE




18 SPLASH BLOCK DTL
SCALE 1-1/2" = 1'-0"




16 PARAPET DETAIL
NOT TO SCALE

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

IDEA Public Schools - Exterior Envelope Repairs
IDEA San Benito
San Benito, Texas

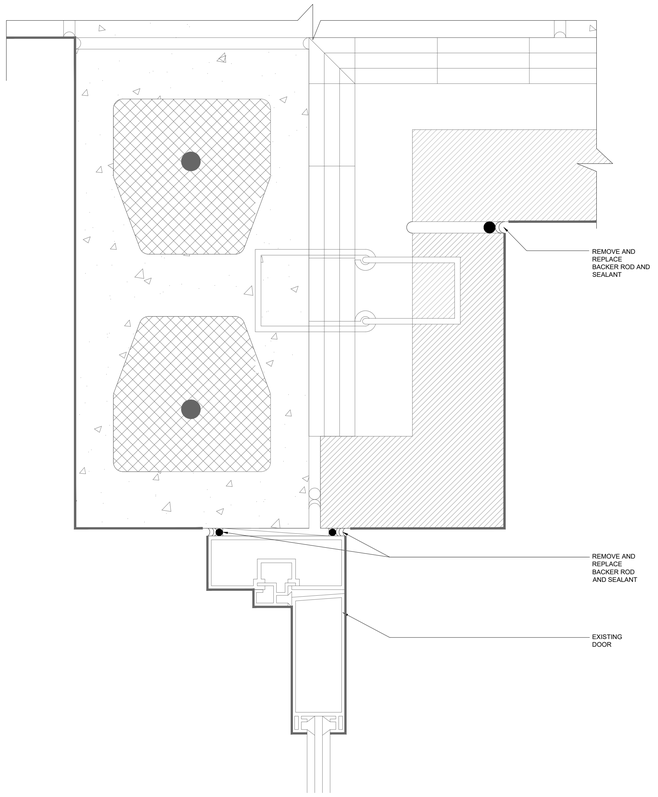
IDEA Public Schools

REGISTERED ARCHITECT ROAN GOMEZ III 23623 STATE OF TEXAS

IDEA SAN BENITO

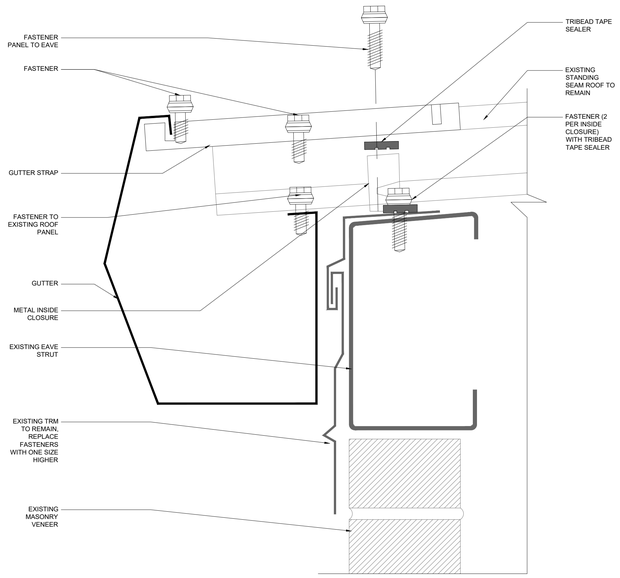
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A3.01 |



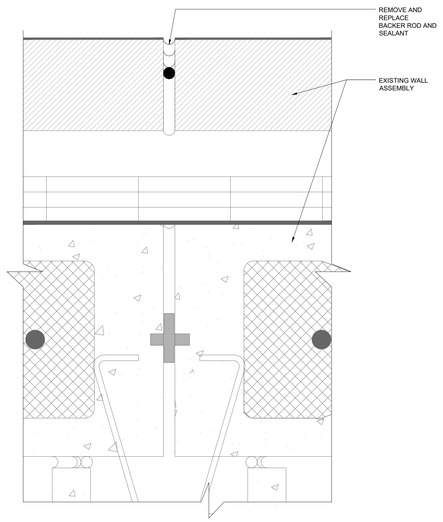

TYPICAL SEALANT AT DOOR/BRICK RETURN @ MASONRY WALL ( PLAN VIEW)

03 SCALE: 6" = 1'-0"




TYPICAL GUTTER REPLACEMENT DETAIL AT GUTTER STRAP

04 SCALE: 6" = 1'-0"




TYPICAL CONTROL JOINT @ MASONRY WALL ( PLAN VIEW)

05 SCALE: 6" = 1'-0"

| No. | REVISIONS | BY |
|---|---|---|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

IDEA Public Schools - Exterior Envelope Repairs

IDEA San Benito
San Benito, Texas

IDEA Public Schools

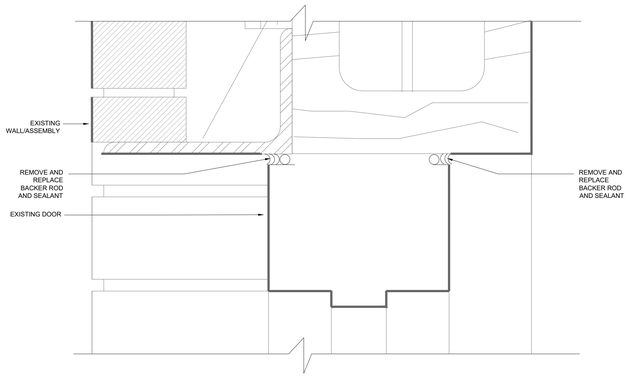
REGISTERED ARCHITECT
RYAN GABRIEL GOMEZ
08/29/24
23625
STATE OF TEXAS

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

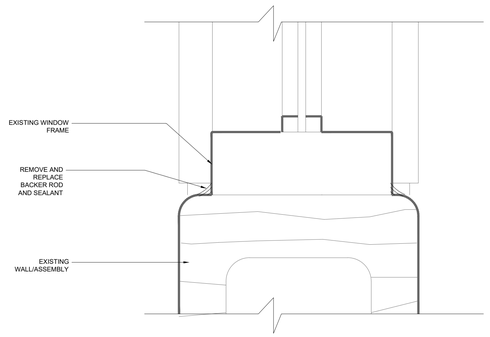
| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | |
| Sheet: | Exterior Envelope |

A4.01

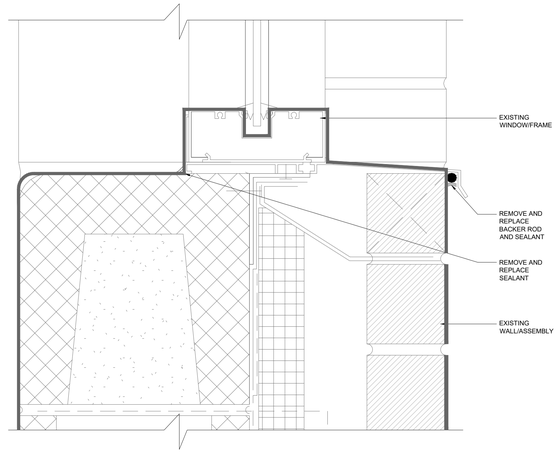
IDEA SAN BENITO



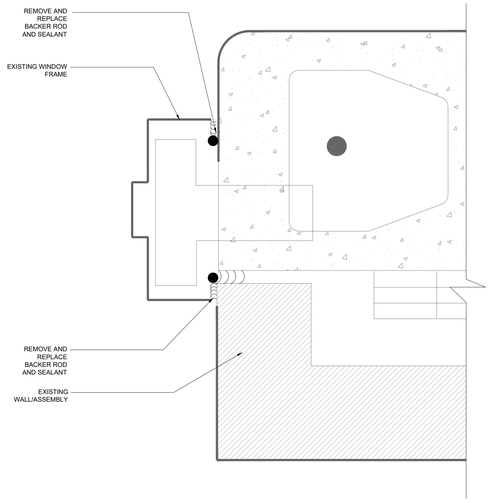

01 TYPICAL SEALANT AT DOOR @ MASONRY WALL ( HEADER VIEW)
SCALE: 6" = 1'-0"



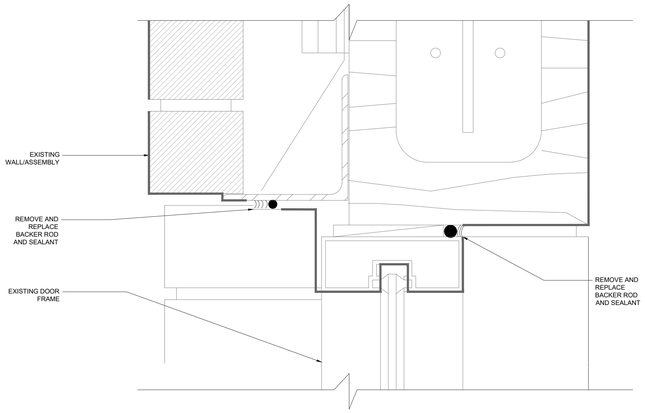

02 TYPICAL SEALANT AT WINDOW @ MASONRY WALL ( SILL VIEW)
SCALE: 6" = 1'-0"



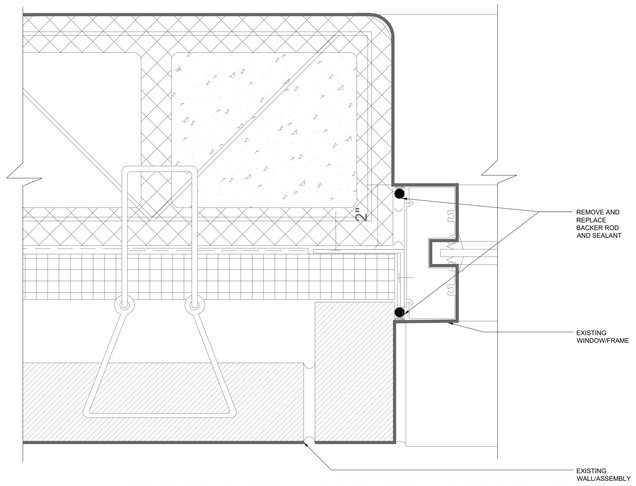

07 TYPICAL SEALANT AT WINDOW @ STORE FRONT ( SILL VIEW)
SCALE: 6" = 1'-0"



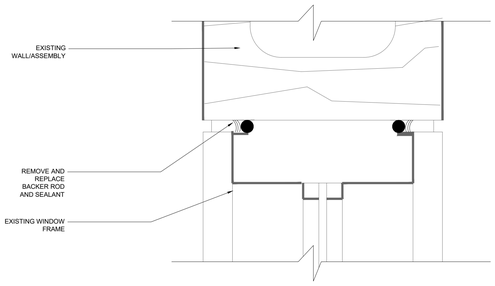

03 TYPICAL SEALANT AT DOOR @ MASONRY WALL ( JAMB VIEW)
SCALE: 6" = 1'-0"



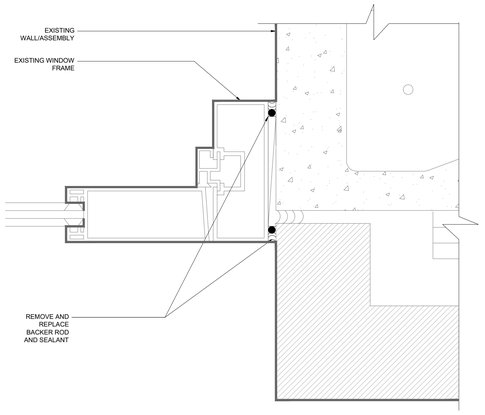

04 TYPICAL SEALANT AT STOREFRONT DOOR @ MASONRY WALL ( HEADER VIEW)
SCALE: 6" = 1'-0"




08 TYPICAL SEALANT AT WINDOW @ STORE FRONT ( JAMB VIEW)




05 TYPICAL SEALANT AT WINDOW @ CMU ( HEADER VIEW/JAMB SIM.)
SCALE: 6" = 1'-0"




06 TYPICAL SEALANT AT STOREFRONT DOOR @ MASONRY WALL ( JAMB VIEW)
SCALE: 6" = 1'-0"

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

# IDEA Public Schools - Exterior Envelope Repairs

## IDEA San Benito
San Benito, Texas

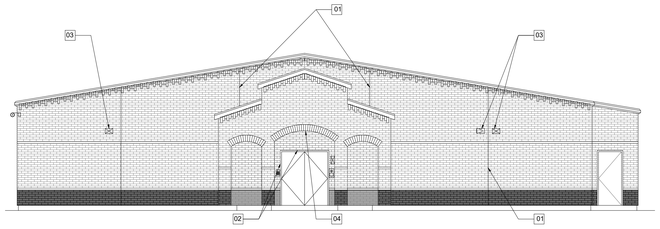
IDEA Public Schools

REGISTERED ARCHITECT ROAN GOMEZ 23625 STATE OF TEXAS

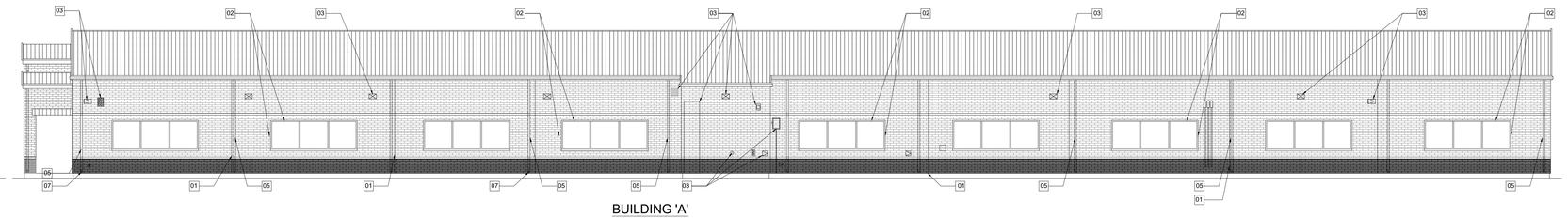
IDEA SAN BENITO

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

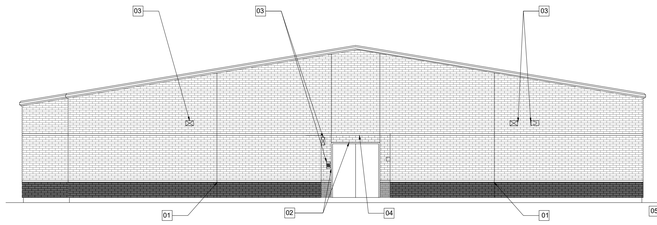
| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A4.02 |



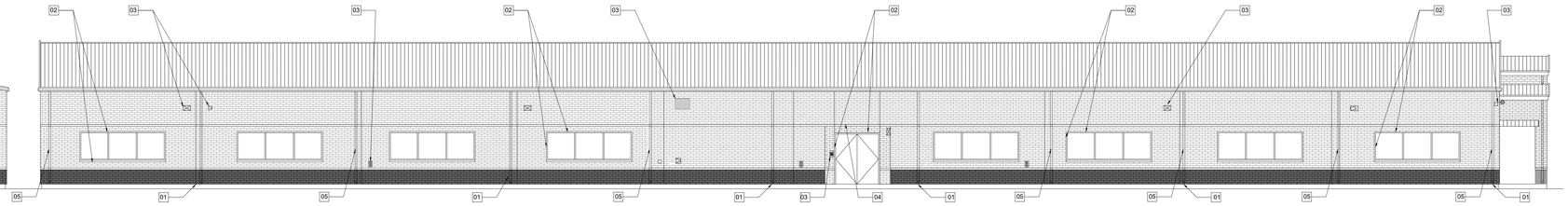
BUILDING 'A'
## 01 NORTH ELEVATION
SCALE : 1/8" = 1'-0'



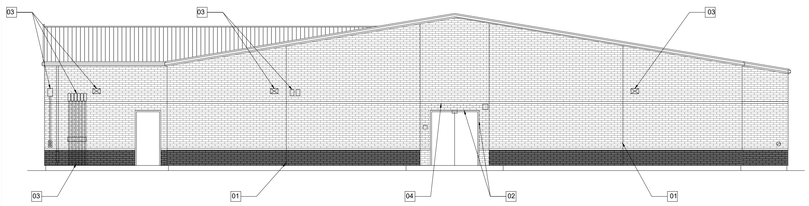
BUILDING 'A'
## 02 WEST ELEVATION
SCALE : 1/8" = 1'-0'



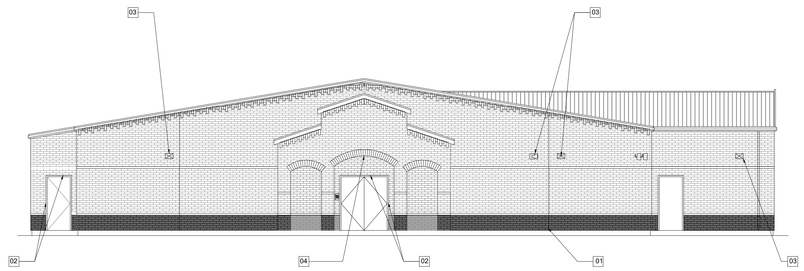
BUILDING 'A'
## 03 SOUTH ELEVATION
SCALE : 1/8" = 1'-0'



BUILDING 'A'
## 04 EAST ELEVATION
SCALE : 1/8" = 1'-0'



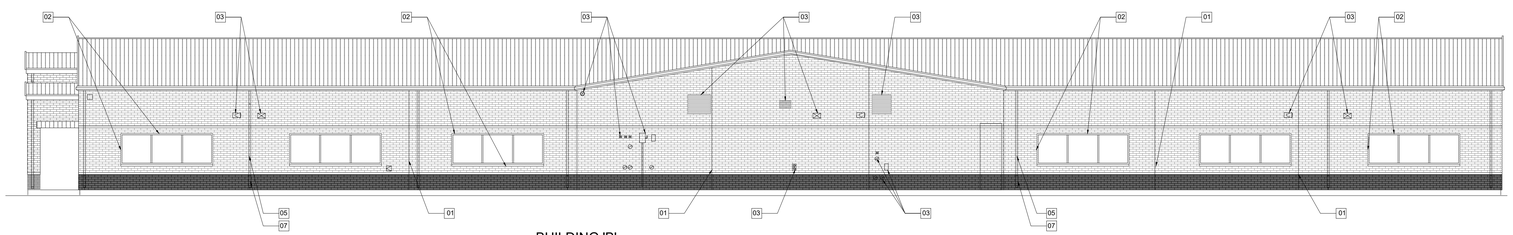
BUILDING 'B'
## 05 REAR ELEVATION
SCALE : 1/8" = 1'-0'



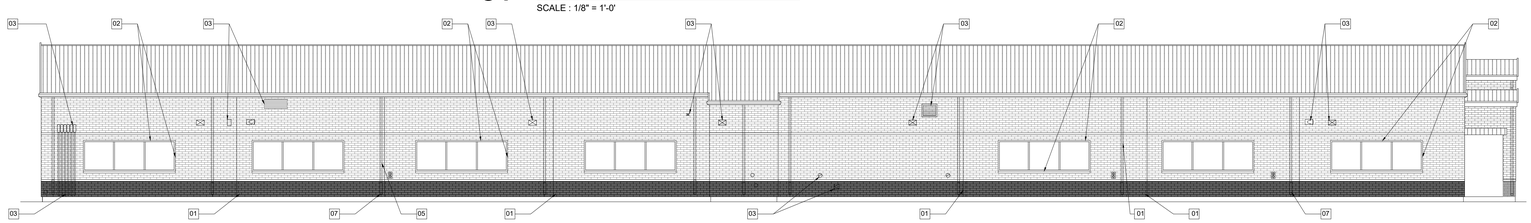
BUILDING 'B'
## 06 FRONT ELEVATION
SCALE : 1/8" = 1'-0'

## KEYED NOTES

| | |
|---|---|
| 01 | REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REFER TO SHEET A4.01 |
| 02 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.01, A4.02, A6.01 |
| 03 | RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. |
| 04 | RE-SEAL AT ALL FIXURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP. |
| 05 | REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING , TYP. REFER TO 04/A4.01 |
| 06 | REPOINT DAMAGED MASONRY HERE |
| 07 | PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP. |
| 08 | REPOINT CAST STONE, TYP. |
| 09 | PROVIDE SOFFIT WHERE IT IS MISSING |



BUILDING 'B'
## 07 SIDE ELEVATION
SCALE : 1/8" = 1'-0'



BUILDING 'B'
## 08 SIDE ELEVATION
SCALE : 1/8" = 1'-0'

## LEGEND

- ELECTRICAL DISCONNECT / BOXES
- JBOX
- OUTLET
- CAMERA
- LIGHT FIXTURE
- INTERCOM PHONE
- FIRE HORN
- WALL SPEAKER
- LOUVER
- WALL HYDRANT
- PLUMBING PENETRATION
- EMPTY CONDUIT
- ANTENNAE
- KEYPAD
- PERFORATED COVER
- IT CONDUITS

IDEA SAN BENITO

| No. | REVISIONS | BY |
|---|---|---|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

# IDEA Public Schools - Exterior Envelope Repairs
## IDEA San Benito
San Benito, Texas

IDEA Public Schools

REGISTERED ARCHITECT ROAN GABRIEL GOMEZ 8/29/24 23622 STATE OF TEXAS

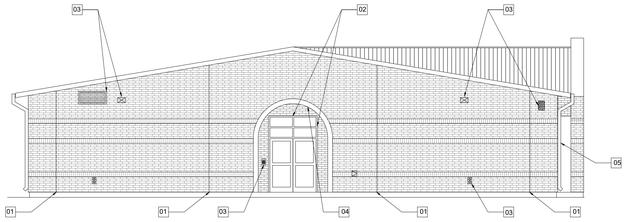
© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | |
| Sheet: | Exterior Envelope |

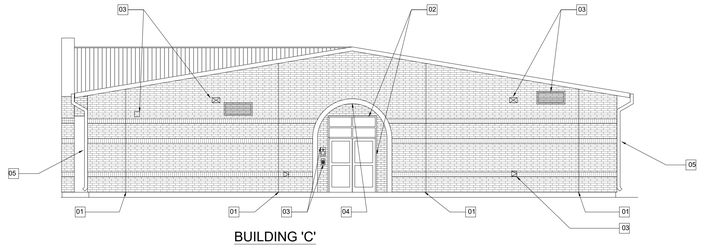
A5.01

# KEYED NOTES

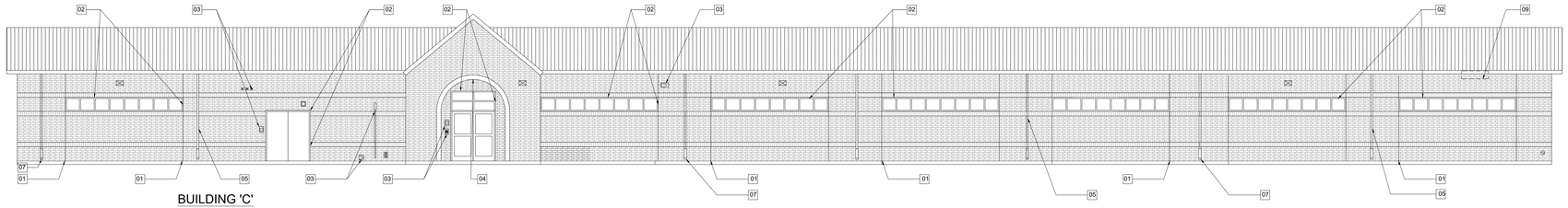
| | |
|---|---|
| 01 | REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REFER TO SHEET A4.01 |
| 02 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.01, A4.02, A6.01 |
| 03 | RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. |
| 04 | RE-SEAL AT ALL FIXURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP. |
| 05 | REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING , TYP. REFER TO 04/A4.01 |
| 06 | REPOINT DAMAGED MASONRY HERE |
| 07 | PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP. |
| 08 | REPOINT CAST STONE, TYP. |
| 09 | PROVIDE SOFFIT WHERE IT IS MISSING |



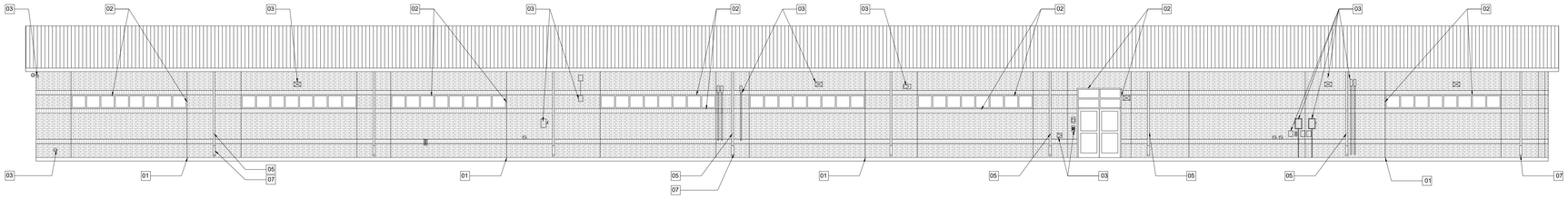
BUILDING 'C'
## 01 NORTH ELEVATION
SCALE : 1/8" = 1'-0'



BUILDING 'C'
## 02 SOUTH ELEVATION
SCALE : 1/8" = 1'-0'



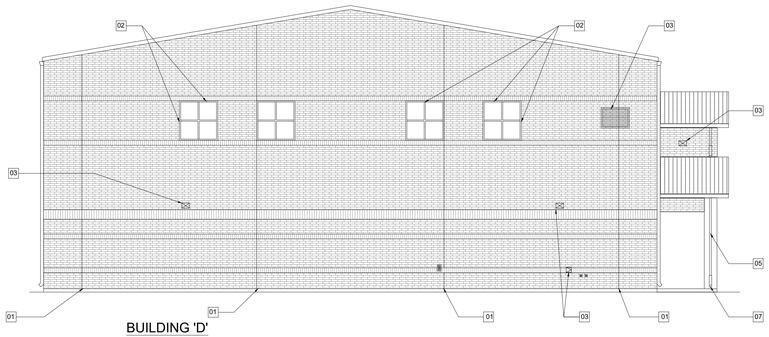
BUILDING 'C'
## 03 WEST ELEVATION
SCALE : 1/8" = 1'-0'



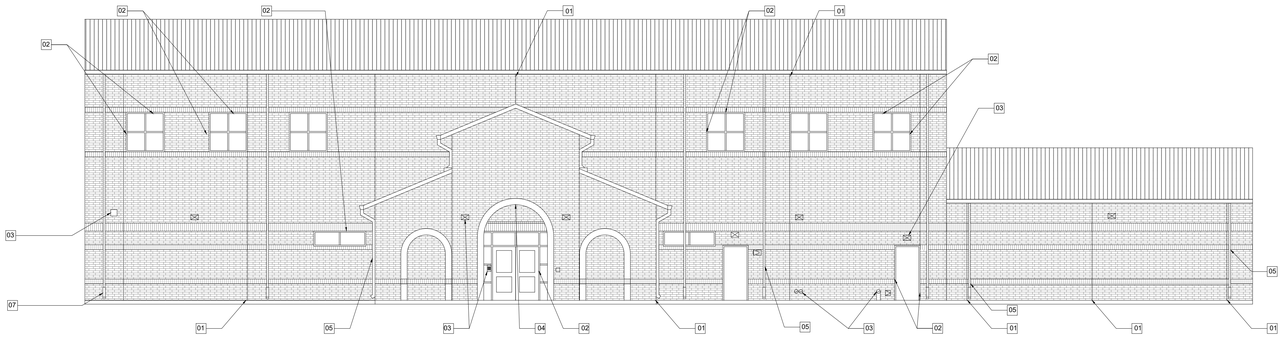
BUILDING 'C'
## 04 EAST ELEVATION
SCALE : 1/8" = 1'-0'

LEGEND

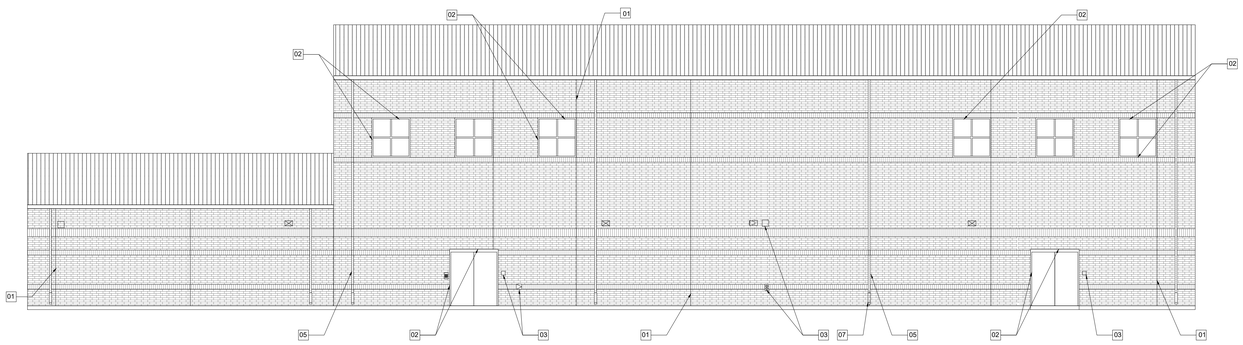
- ELECTRICAL DISCONNECT / BOXES
- JBOX
- OUTLET
- CAMERA
- LIGHT FIXTURE
- INTERCOM PHONE
- FIRE HORN
- WALL SPEAKER
- LOUVER
- WALL HYDRANT
- PLUMBING PENETRATION
- EMPTY CONDUIT
- ANTENNAE
- KEYPAD
- PERFORATED COVER
- IT CONDUITS



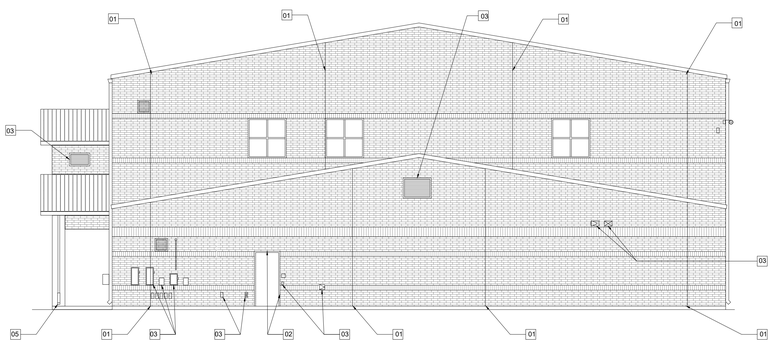
BUILDING 'D'
## 05 NORTH ELEVATION
SCALE : 1/8" = 1'-0'



BUILDING 'D'
## 06 WEST ELEVATION
SCALE : 1/8" = 1'-0'



BUILDING 'D'
## 07 EAST ELEVATION
SCALE : 1/8" = 1'-0'



BUILDING 'D'
## 08 SOUTH ELEVATION
SCALE : 1/8" = 1'-0'

| No. | REVISIONS | BY |
|---|---|---|
| | | |


GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196


# IDEA Public Schools - Exterior Envelope Repairs
## IDEA San Benito
San Benito, Texas

IDEA Public Schools

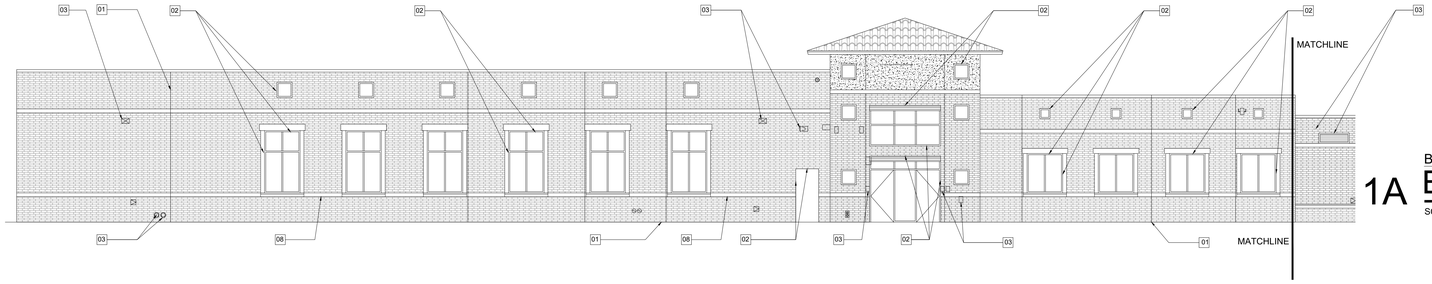
REGISTERED ARCHITECT RYAN GABRIEL ROAN 08/28/24 23625 STATE OF TEXAS


© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

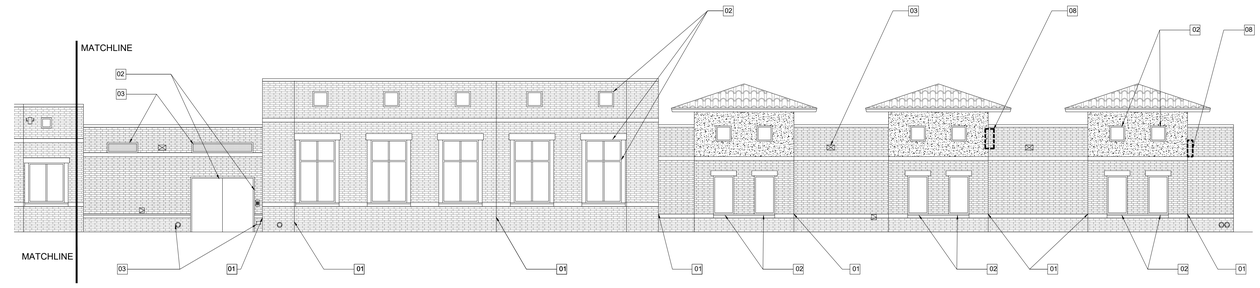

| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | |
| Sheet: | Exterior Envelope |

IDEA SAN BENITO

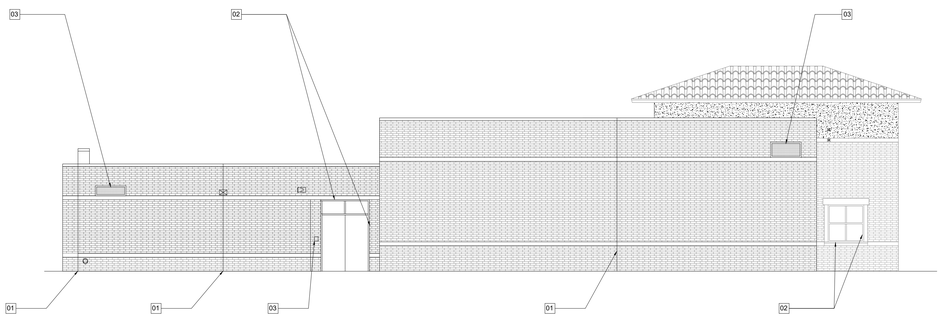
A5.02



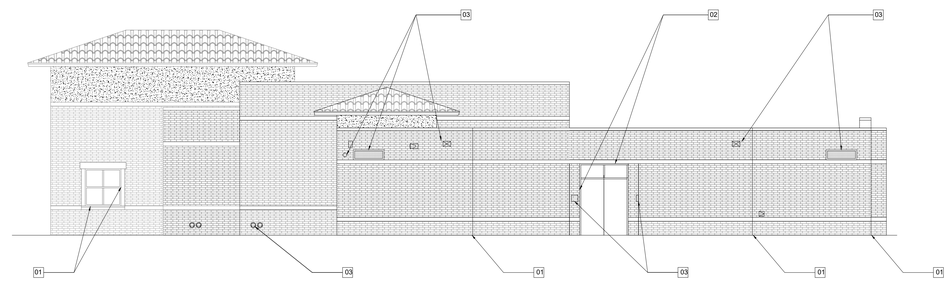

1A BUILDING 'E'
## EAST ELEVATION
SCALE : 1/8" = 1'-0'




1B BUILDING 'E'
## EAST ELEVATION
SCALE : 1/8" = 1'-0'



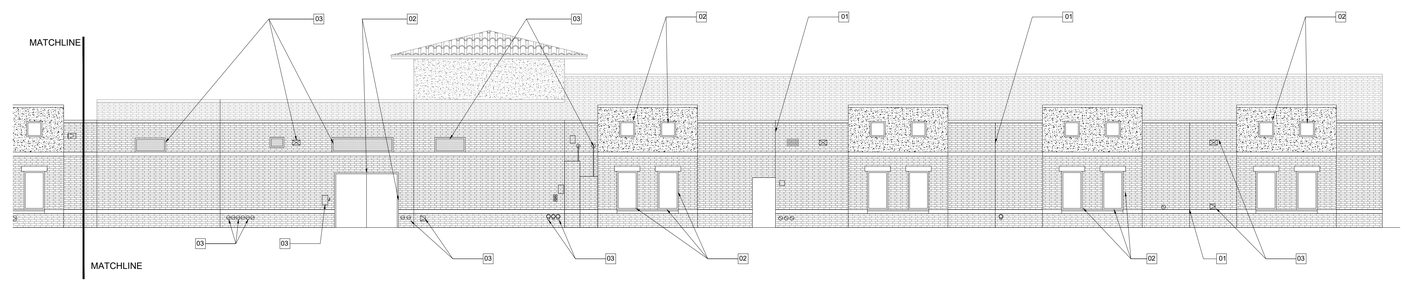
02 BUILDING 'E'
## SOUTH ELEVATION
SCALE : 1/8" = 1'-0'



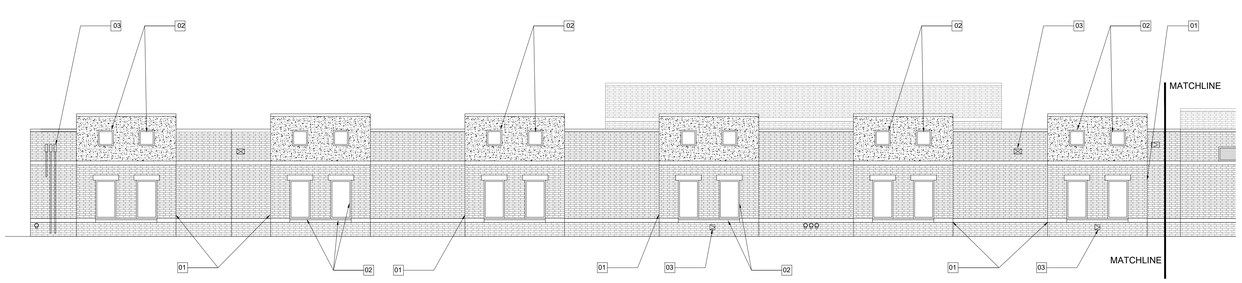
03 BUILDING 'E'
## NORTH ELEVATION
SCALE : 1/8" = 1'-0'

LEGEND

- ELECTRICAL DISCONNECT / BOXES
- JBOX
- OUTLET
- CAMERA
- LIGHT FIXTURE
- INTERCOM PHONE
- FIRE HORN
- WALL SPEAKER
- LOUVER
- WALL HYDRANT
- PLUMBING PENETRATION
- EMPTY CONDUIT
- ANTENNAE
- KEYPAD
- PERFORATED COVER
- IT CONDUITS




4A BUILDING 'E'
## WEST ELEVATION
SCALE: 1/8" = 1'-0"




4B BUILDING 'E'
## WEST ELEVATION
SCALE : 1/8" = 1'-0'

BUILDING E: SCOPE OF WORK

1. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
2. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
4. ADD BACKER ROD AND SEALANT TO ALL METAL INTERFACES ON EXTERIOR WALLS
5. REPLACE GUTTERS AND DOWNSPOUTS THROUGHOUT PROJECT AND PROVIDE DOWNSPOUT BOOTS

## KEYED NOTES

| | |
|---|---|
| 01 | REPLACE CONTROL/EXPANSION JOINTS WITH NEW SEALANT, TYP. REFER TO SHEET A4.01 |
| 02 | REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/EQUIPMENT CONTROL JOINTS, TYP. REFER TO SHEET A4.01, A4.02, A6.01 |
| 03 | RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP. |
| 04 | RE-SEAL AT ALL FIXURES AND WALL PENETRATIONS INSIDE COVE OR UNDER SOFFIT, TYP. |
| 05 | REPLACE GUTTER/DOWNSPOUT WITH NEW ONES TO MATCH EXISTING , TYP. REFER TO 04/A4.01 |
| 06 | REPOINT DAMAGED MASONRY HERE |
| 07 | PROVIDE NEW BOOT IN BED OF SEALANT AND DRAW BAND AT TOP OF FLASHING BOOT, TYP. |
| 08 | REPOINT CAST STONE, TYP. |
| 09 | PROVIDE SOFFIT WHERE IT IS MISSING |

| No. | REVISIONS | BY |
|---|---|---|
| | | |

GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196

IDEA Public Schools - Exterior Envelope Repairs
IDEA San Benito
San Benito, Texas

IDEA Public Schools

REGISTERED ARCHITECT
KAREN GABRIELA GOMEZ SAENZ
8/28/24
3862
STATE OF TEXAS

© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers

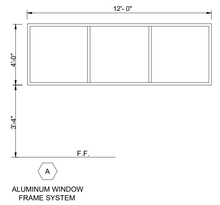
| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | |
| Sheet: | Exterior Envelope |

IDEA SAN BENITO

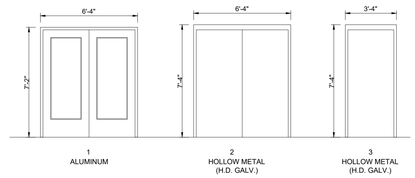
A5.03

# DOOR & WINDOW ELEVATIONS

## BUILDING A & B

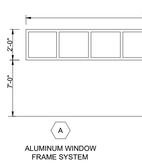



WINDOW ELEVATIONS
SCALE 1/4" = 1'-0"

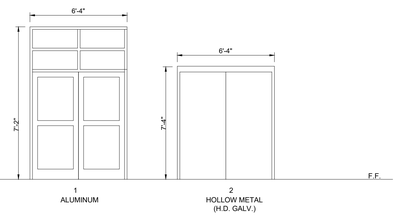



DOOR FRAME ELEVATIONS
SCALE 1/4" = 1'-0"

## BUILDING C

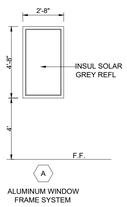



WINDOW ELEVATIONS
SCALE 1/4" = 1'-0"

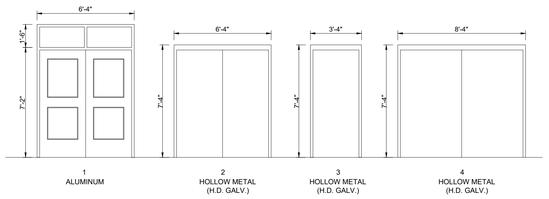



DOOR FRAME ELEVATIONS
SCALE 1/4" = 1'-0"

## BUILDING D

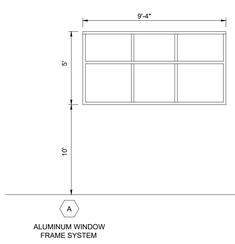


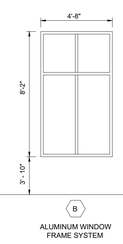

WINDOW ELEVATIONS
SCALE 1/4" = 1'-0"

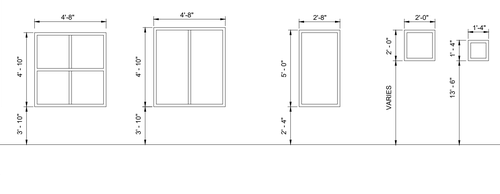



DOOR FRAME ELEVATIONS
SCALE 1/4" = 1'-0"

## BUILDING E

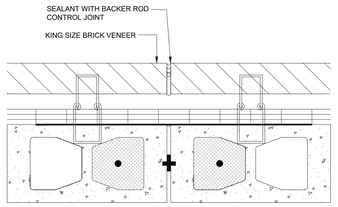


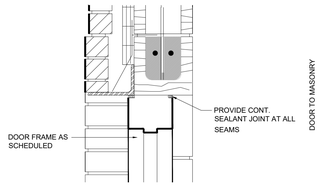




WINDOW ELEVATIONS
SCALE 1/4" = 1'-0"

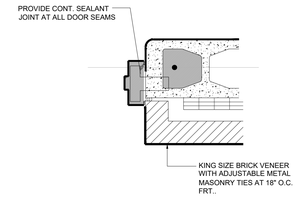
DOOR FRAME ELEVATIONS
SCALE 1/4" = 1'-0"



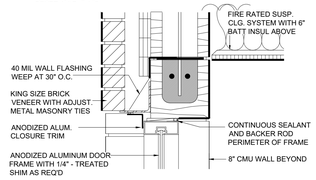

06 CONTROL JOINT DTL
SCALE: 1/2" = 1'-0"



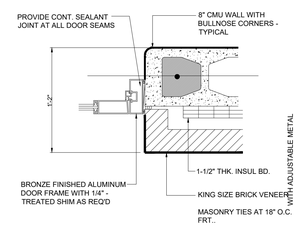

05 DOOR HEAD DETAIL
SCALE 1-1/2" = 1'-0"



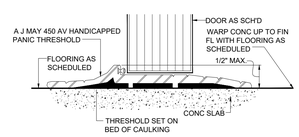

04 DOOR JAMB DETAIL
SCALE 1-1/2" = 1'-0"




03 DOOR HEAD DETAIL
SCALE 1-1/2" = 1'-0"




02DOOR JAMB DETAIL
SCALE 1-1/2" = 1'-0"




01THRESHOLD DETAIL
SCALE : NONE

| No. | REVISIONS | BY |
|---|---|---|
| | | |


GMS ARCHITECTS
1150 Paredes Line Rd.
Brownsville TX 78526
(956) 546-0110
fax (956) 546-0196


IDEA Public Schools - Exterior Envelope Repairs
IDEA San Benito
San Benito, Texas

IDEA Public Schools

REGISTERED ARCHITECT ROAN GABRIEL GOMEZ 23623 STATE OF TEXAS

IDEA SAN BENITO


© Copyright 2024
Gomez Mendez Saenz Inc.
Architects-Planners
Interior Designers


| | |
|---|---|
| Date: | AUGUST 2024 |
| Scale: | As Noted |
| Project Architect: | Roan Gomez, AIA |
| Drawn By: | RG,CG |
| Job No. | Exterior Envelope |
| Sheet: | A6.01 |