

IDEA PUBLIC SCHOOLS ENVELOPE IMPROVEMENTS IDEA DONNA

PROJECT # 33-DBE-0424

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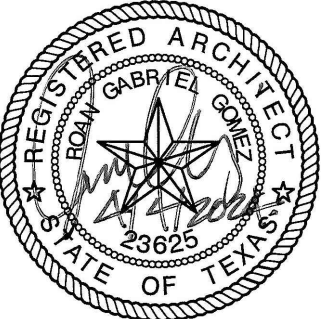
D R A W I N G I N D E X

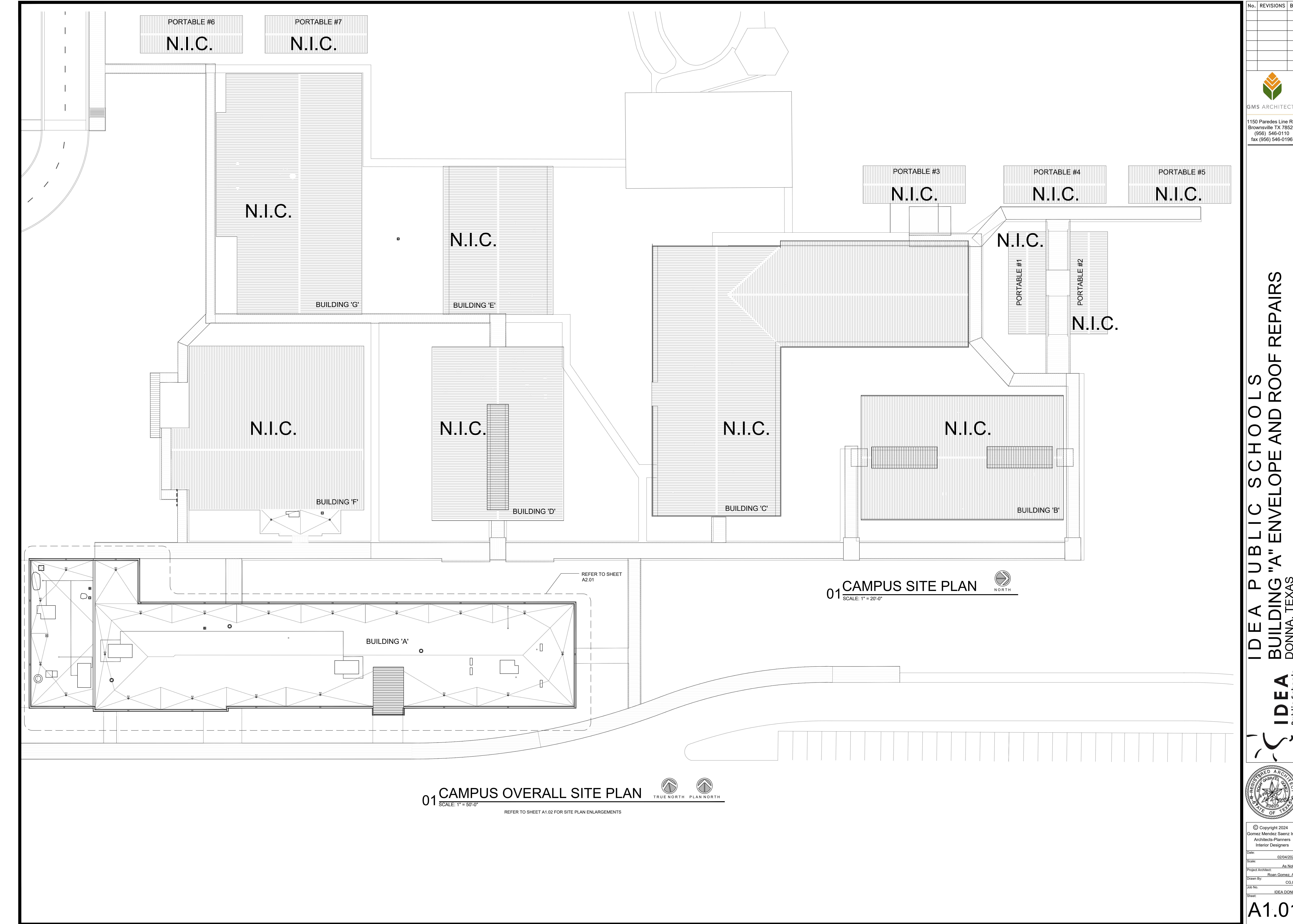
IDEA DONNA

A1.01	CAMPUS SITE PLAN
A1.02	PARTIAL SITE PLAN; SIDEWALK DETAILS
A2.01	ROOF PLANS
A2.02	ROOF DETAILS
A3.01	ELEVATIONS - BLDG. A
A3.02	PARTIAL ELEVATIONS - BLDG A
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A4.02	DETAILS
A4.03	DETAILS


ARCHITECTS

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IDEA PUBLIC SCHOOLS
BUILDING "A" ENVELOPE AND ROOF REPAIRS
 DONNA, TEXAS



01 CAMPUS SITE PLAN
SCALE: 1" = 20'-0"


01 CAMPUS OVERALL SITE PLAN
SCALE: 1" = 50'-0"
TRUE NORTH PLAN NORTH
REFER TO SHEET A1.02 FOR SITE PLAN ENLARGEMENTS

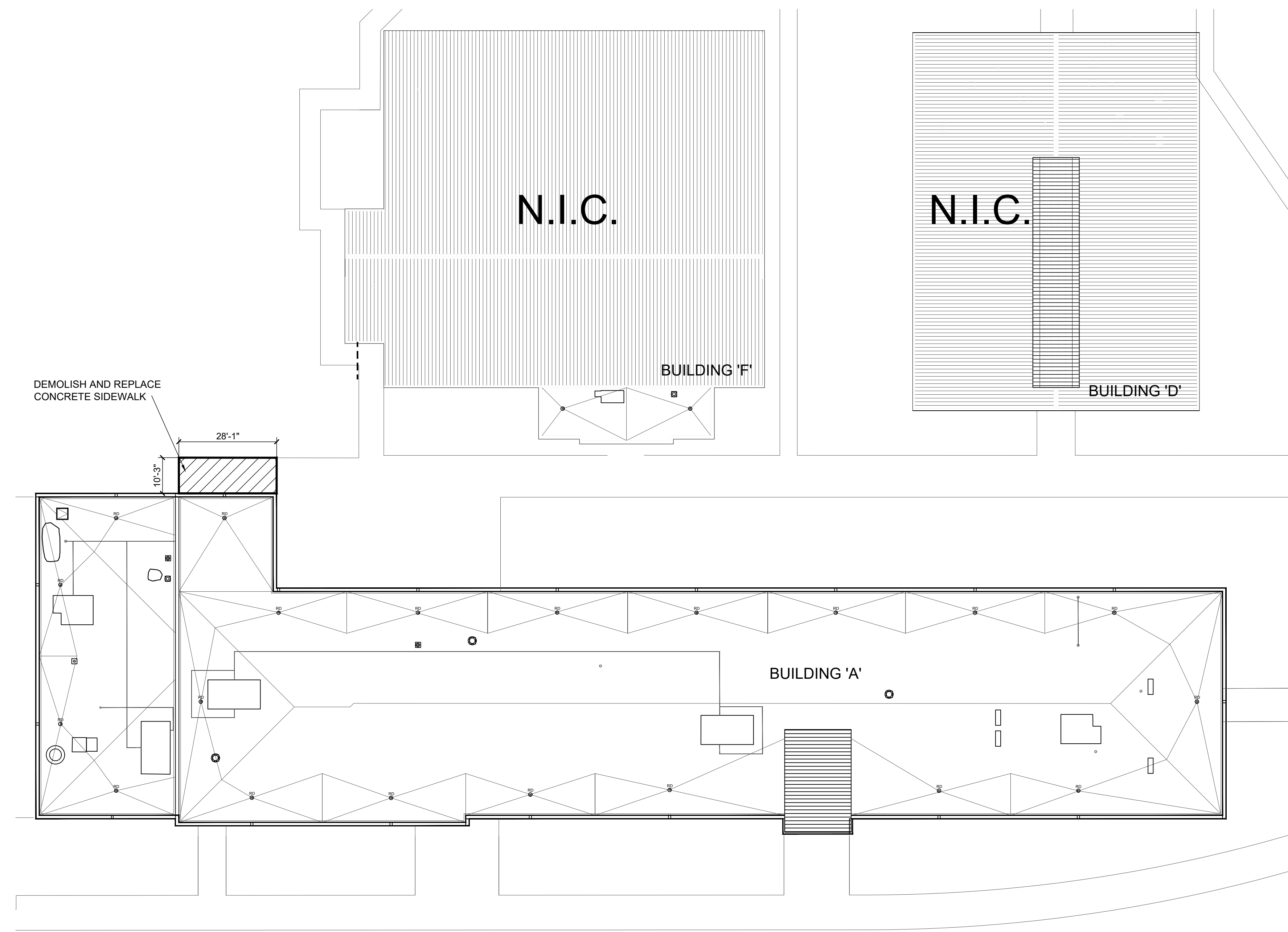
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 Date: 02/04/2024
 Scale: As Noted
 Project Architect: Rolin Gomez, AIA
 Drawn By: CG-RG
 Job No.: IDEA DONNA
 Sheet:

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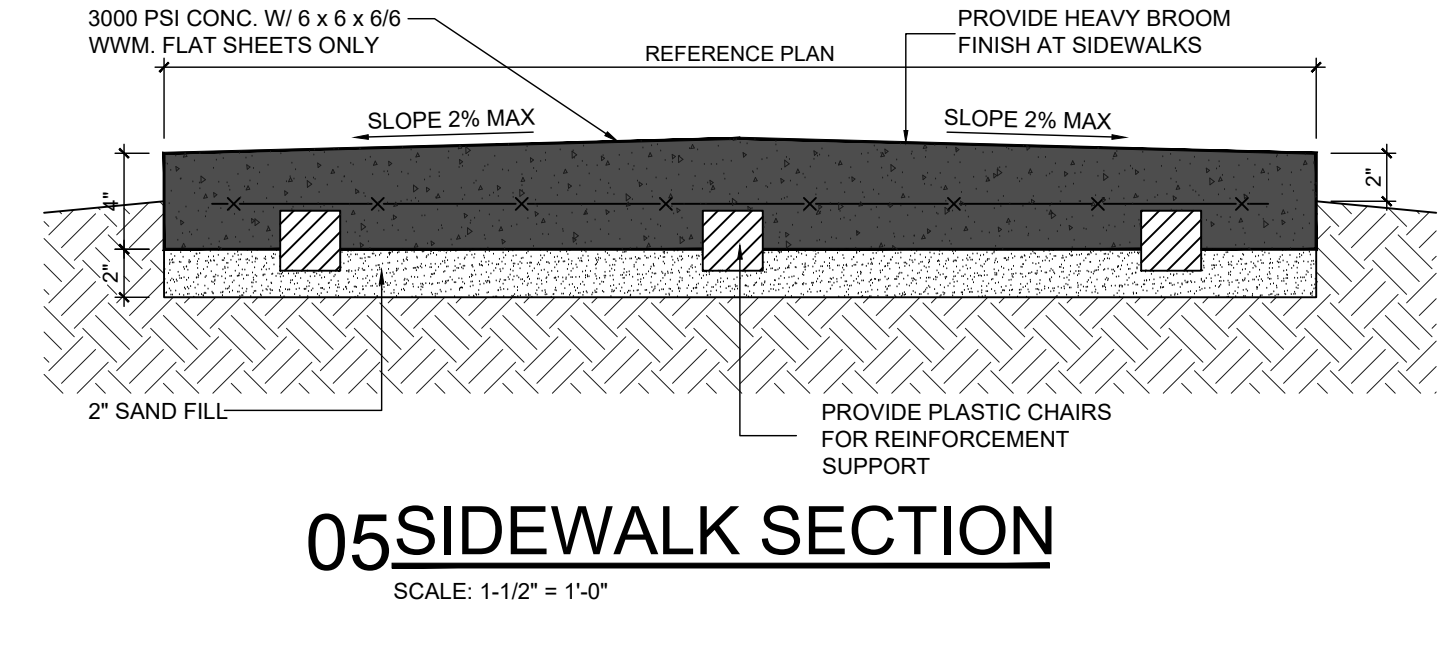
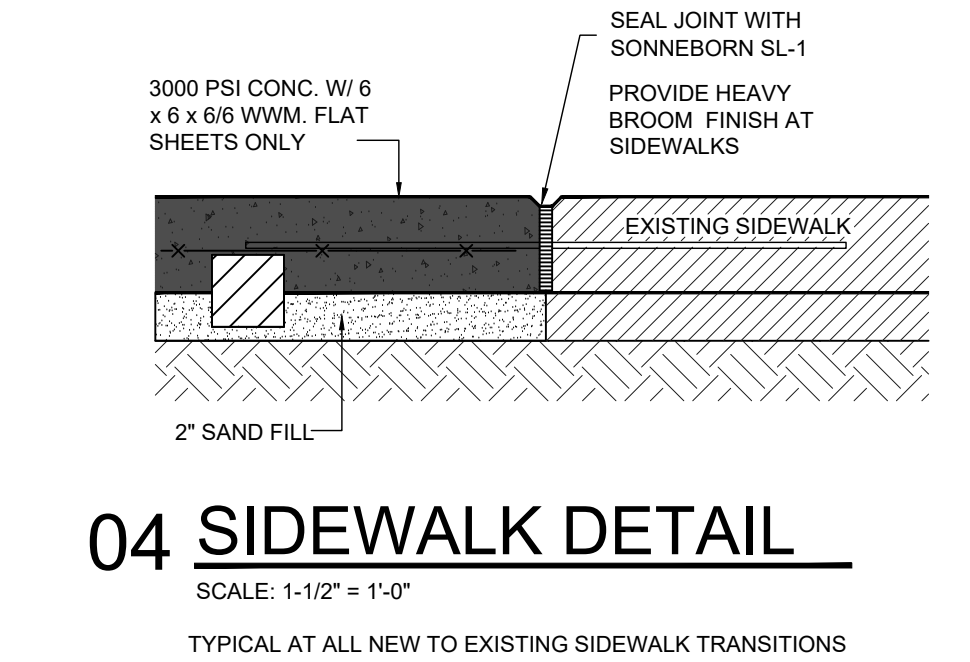
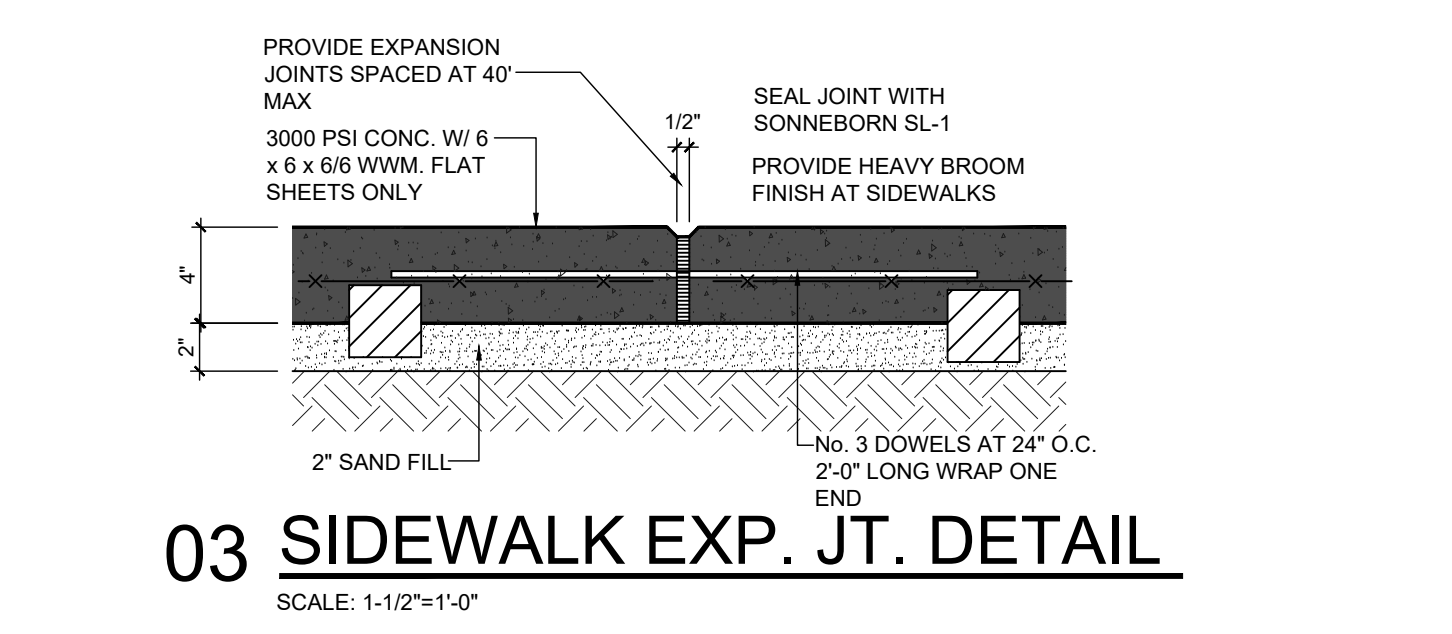
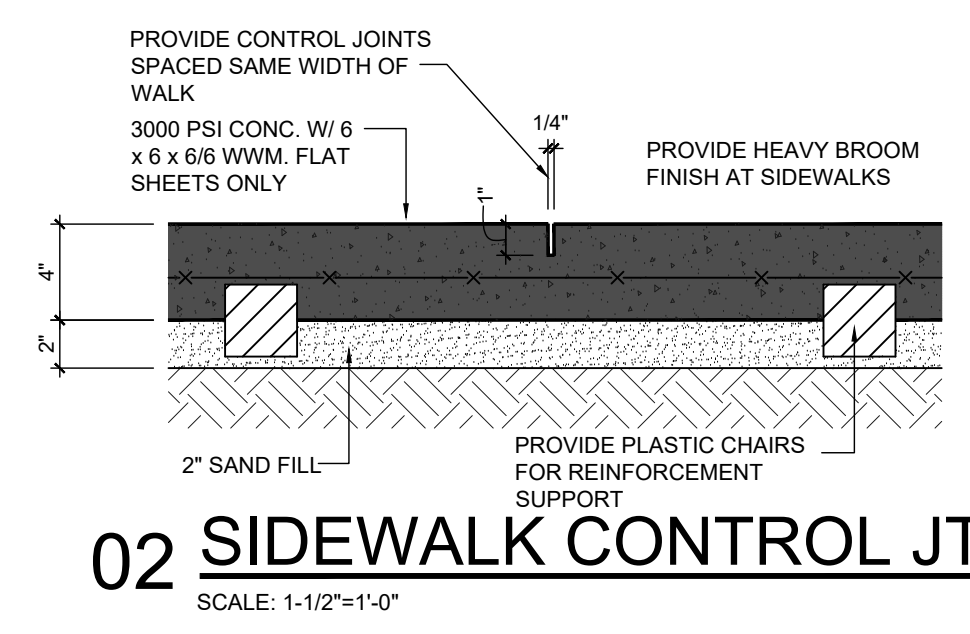
GMS ARCHITECTS

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01 CAMPUS SITE PLAN
SCALE: 1" = 20'-0"

- SITE NOTES:
- 1.) FINISH GRADE TO BE 6" BELOW FINISH FLOOR ELEVATION SLOPE AWAY FROM ALL IMPROVEMENTS AT A RATE OF 1/4" PER FOOT FOR THE FIRST 10'-0"; THEN AT A RATE OF 1/8" PER FOOT FOR THE NEXT 20'-0"
 - 2.) SIDE WALK SLOPE IS NOT TO EXCEED 1:20 WITH A CROSS SLOPE OF 1:50 AT ANY INSTANCE.
 - 3.) AT ALL ENTRIES OF NEW BUILDINGS WARP CONCRETE SIDEWALKS SO AS TO PROVIDE A FLAT SURFACE WITH FINISHED FLOOR

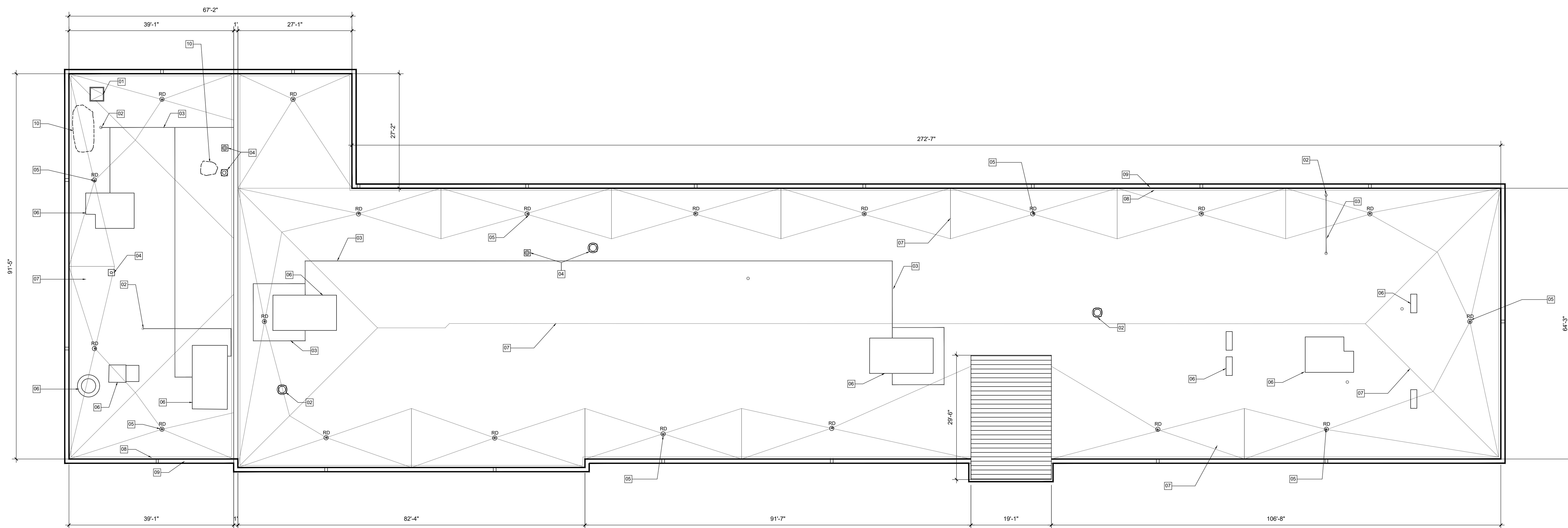


IDEA PUBLIC SCHOOLS
BUILDING "A" ENVELOPE AND ROOF REPAIRS
DONNA, TEXAS



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Architects-Planners
Interior Designers

Date: 02/04/2024
Scale: As Noted
Project Architect: As Noted
Roan Gomez, AIA
Drawn By: CG RG
Job No: IDEA DONNA
Sheet:



BUILDING A
02 ROOF PLAN
SCALE: 3/32" = 1'-0"

GENERAL ROOFING NOTES:

WHERE APPLICABLE, THE RE-ROOFING PORTION OF THIS PROJECT HAS BEEN DESIGNED TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE (LATEST EDITION), THE SPECIFIED ROOFING SYSTEM MEETS FACTORY MUTUAL RESEARCH CORPORATION STANDARD 4470 APPROVAL REQUIREMENTS FOR CLASS 1 FIRE AND 1-90 WINDSTORM CLASSIFICATION AND CLASS 1-SH HAIL RATING.

AT ALL NEW ROOF WORK AREAS AND PRIOR TO CONSTRUCTION, WALK THROUGH EVERY ROOM IN BUILDINGS WITH OWNER'S REPRESENTATIVE AND IDENTIFY WATER DAMAGED CEILINGS, WALLS, ETC. TO DETERMINE LOCATION & AMOUNTS OF INTERIOR WATER DAMAGE. PROVIDE COPY OF THIS LIST TO ARCHITECT.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD-VERIFY EXISTING CONDITIONS, DIMENSIONS, QUANTITIES, AND ETC., PRIOR TO BIDDING.

INSPECT ALL DECK AREAS FOR DAMAGE AND REPORT TO ARCHITECT ANY DEFICIENCIES FOUND.

REPLACE ALL LEAD ROOF JACKS VENTS WITH NEW LEADS.

INSTALL NEW DOUBLE-WALL HEATER VENTS AND EXTEND FLUES TO MATCH EXISTING AS REQUIRED TO ACCOMMODATE NEW ROOF THICKNESS AND TO PROVIDE A MINIMUM 12-INCH HEIGHT FROM THE NEW ROOF SURFACE TO THE BOTTOM OF THE VENT CAP.

EXTEND ALL DUCTS, PIPES, CONDUIT, WIRE AND ETC., AS REQUIRED TO ACCOMMODATE NEW ROOF SYSTEM.

AT ALL EXISTING UTILITY PIPING, CONDUIT, ETC. PROVIDE PROPER SIZED PIPE STANDS AS SPECIFIED, UNDER ALL PIPES AND CONDUIT, AT 8'-0" O.C. UNLESS A NARROWER SPACING IS REQUIRED FOR PROPER SUPPORT.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A LICENSED ELECTRICAL, PLUMBING AND MECHANICAL CONTRACTOR CAREFULLY REMOVE, RAISE OR MODIFY AND CAREFULLY REINSTALL EXISTING OPERATING MECHANICAL, ELECTRICAL, PLUMBING AND RELATED EQUIPMENT AS REQUIRED TO COMPLETE THE WORK.

THE CONTRACTOR SHALL TAKE EXTREME CARE IN WORKING WITH EXISTING ITEMS THAT ARE TO REMAIN. DAMAGE CAUSED BY THE CONSTRUCTION PROCESS WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.

AT THE COMPLETION OF ALL ROOFING WORK AT EACH BUILDING, ALL EXISTING ROOF DRAINS AND RELATED PIPING SHALL BE WATER TESTED, CHECKED AND CERTIFIED BY A LICENSED PLUMBING CONTRACTOR TO BE OPERATIONAL AND LEAK FREE.

PROVIDE POSITIVE DRAINAGE, BY USE OF CRICKETS, IN AND AROUND ALL ROOF TOP EQUIPMENT TO AREA ROOF DRAINS.

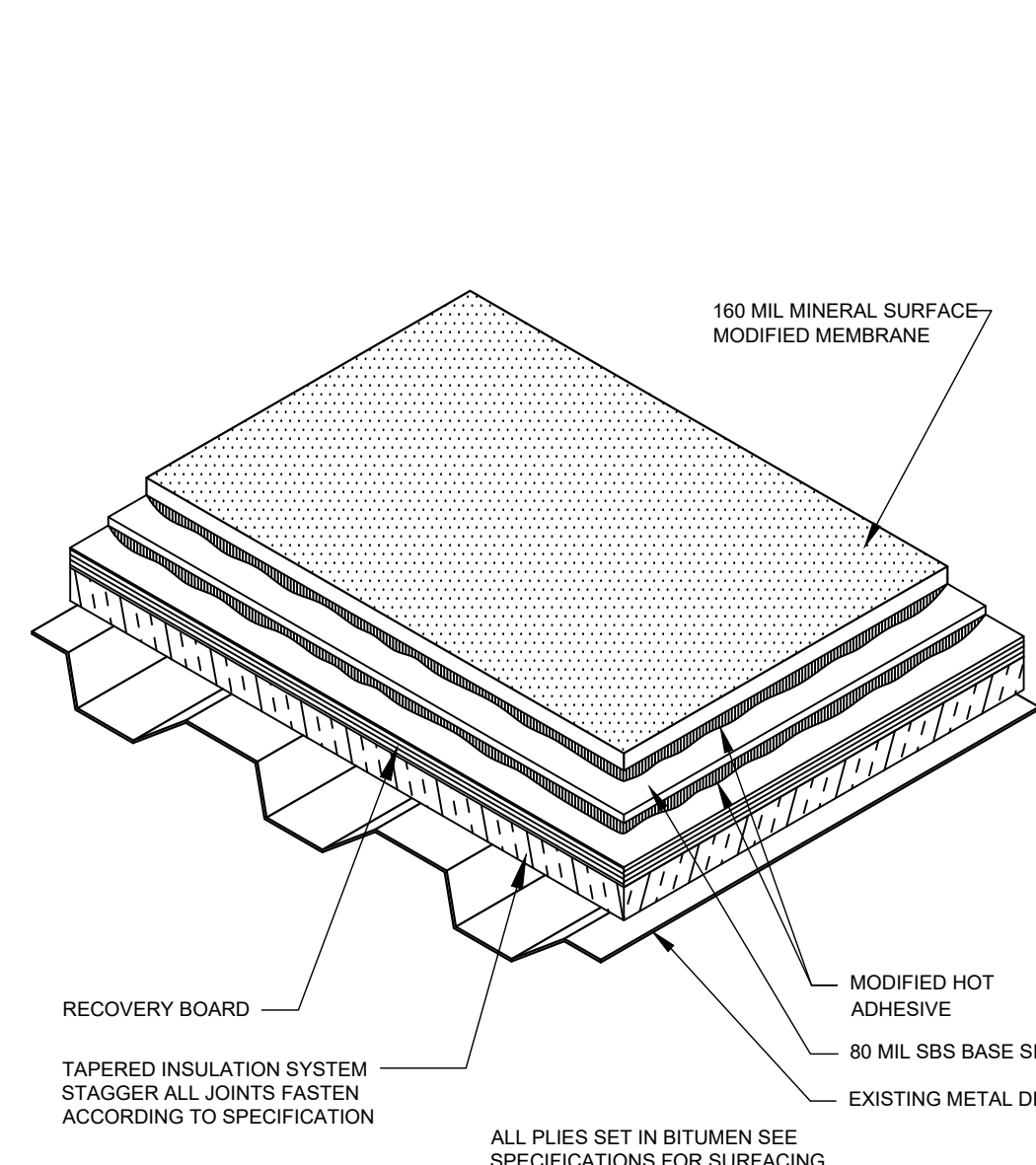
KEYED NOTES

- | | | | |
|----|--|----|---|
| 01 | PROVIDE NEW FLASHING/SEALANT AROUND ROOF HATCH | 06 | PROVIDE NEW CANT STRIPS AT ALL PARAPET WALLS (TYP.) |
| 02 | PROVIDE NEW FLASHING/SEALANT AROUND ROOF PENETRATION (TYP.) REFER TO SHEET A2.02 | 08 | PROVIDE NEW PARAPET CAP FLASHING (TYP.) |
| 03 | REINSTALL CONDENSATE LINES (TYP.) | 10 | LOW SPOT IN ROOF INSULATION |
| 04 | PROVIDE NEW FLASHING/SEALANT AROUND VENTS/EXHAUST (TYP.) | | |
| 05 | PROVIDE NEW FLASHING/SEALANT AROUND ROOF DRAIN (TYP.) | | |
| 06 | PROVIDE NEW CURBS AND FLASHING/SEALANT AROUND EXISTING MECHANICAL EQUIPMENT (TYP.) | | |
| 07 | NEW BITUMEN ROOF OVER NEW RECOVERY BOARD OVER NEW TAPERED RIGID INSULATION. | | |

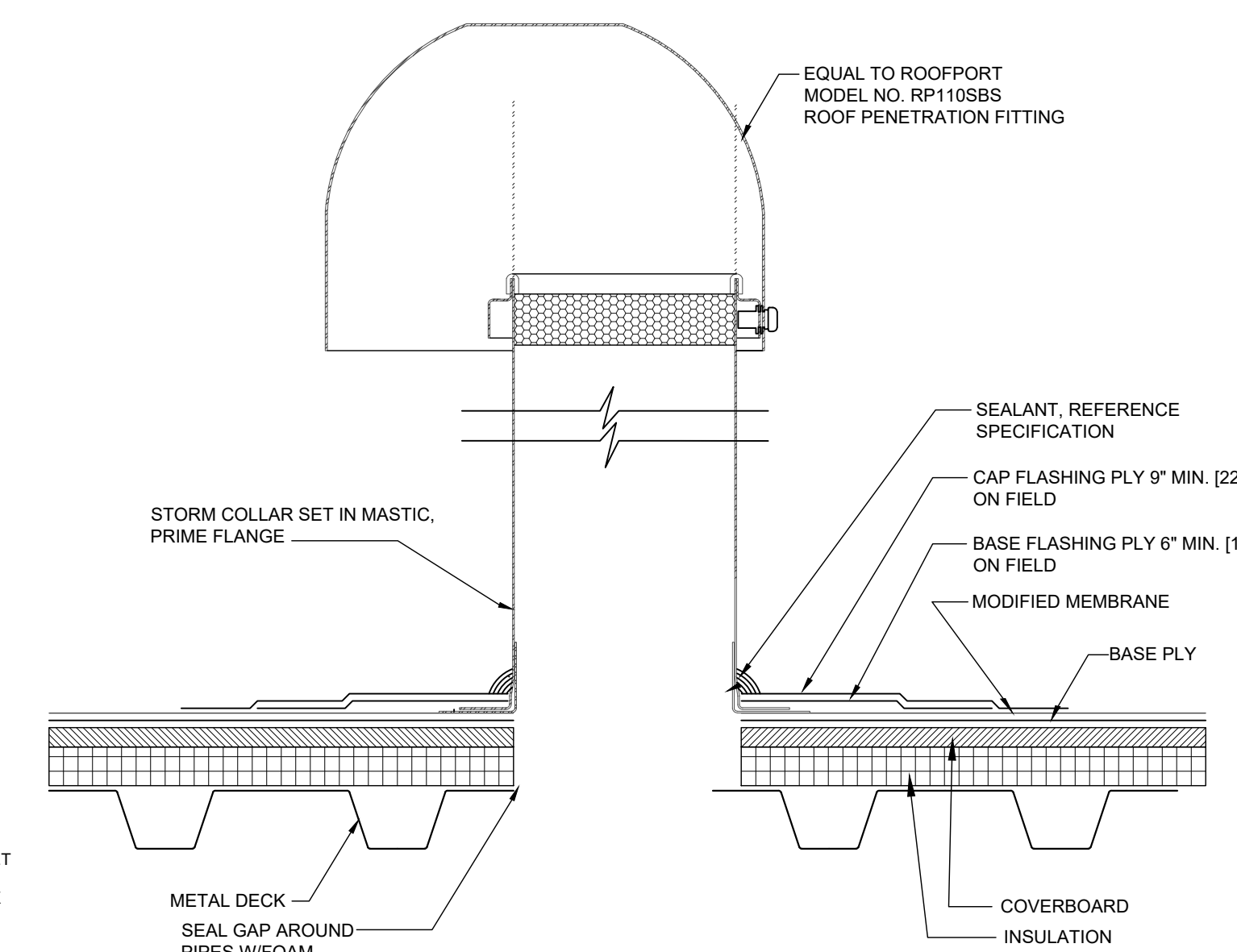
ROOF: SCOPE OF WORK

1. REMOVE ROOFING MEMBRANE TO RECOVER BOARD.
2. REPLACE INSULATION AS REQUIRED TO PROVIDE POSITIVE SLOPE TO ROOF DRAINS
3. REPAIR LOW AREA WHERE PONDING OCCURS.
4. INSTALL NEW CANT AND PARAPET FLASHING.
5. INSTALL NEW MODIFIED BITUMEN ROOFING SYSTEM.
6. REFER TO SHEET A2.02 FOR DETAILS
7. PURGE DRAIN LINES FROM ROOF LEVEL TO DISCHARGE POINTS.
8. PERFORM WATER TEST AT ALL ROOF DRAINS.
9. REPAIR DRAIN LINES AND RE-SEAT ROOF DRAINS.
10. REPAIR ELECTRICAL AND MECHANICAL ROOF PENETRATIONS
11. INSTALL NEW CAP FASCIA AND ACCESSORIES.
12. INSTALL WALKWAY SYSTEM AT ALL ROOFTOP EQUIPMENT.
11. PROVIDE CONCRETE SPLASH BLOCK AT EXTERIOR DOWNSPOUTS.

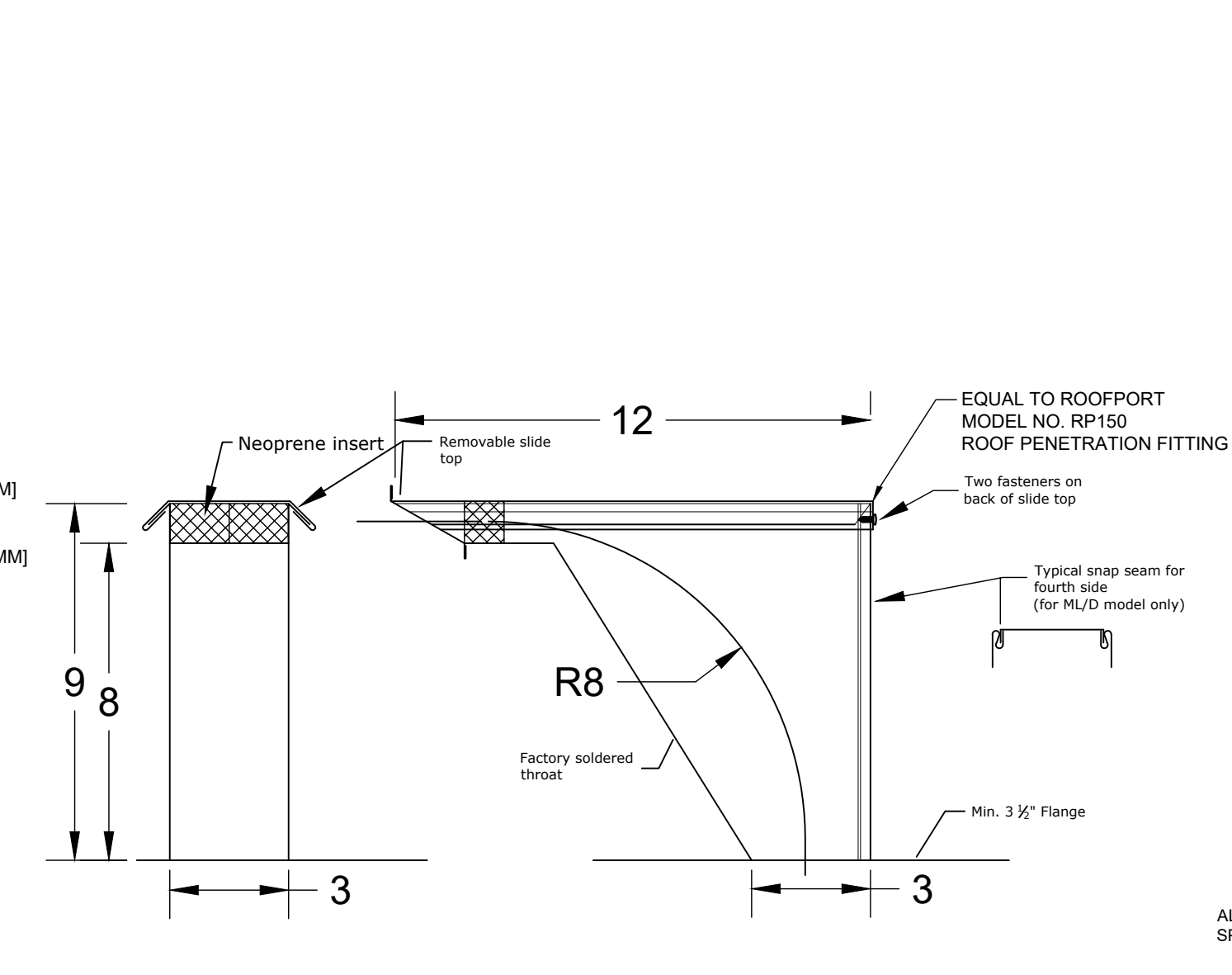




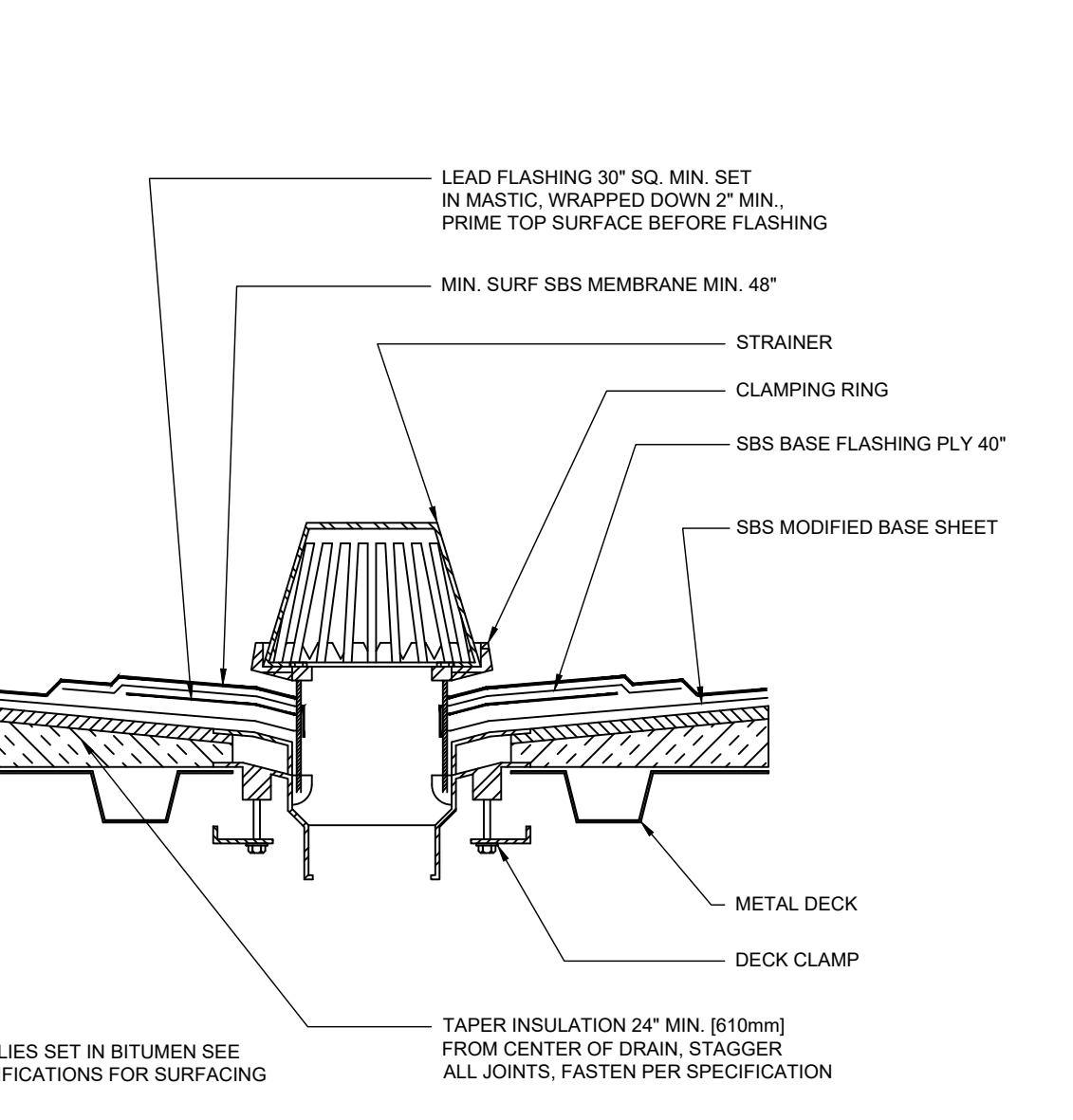
01 MINERAL FINISH
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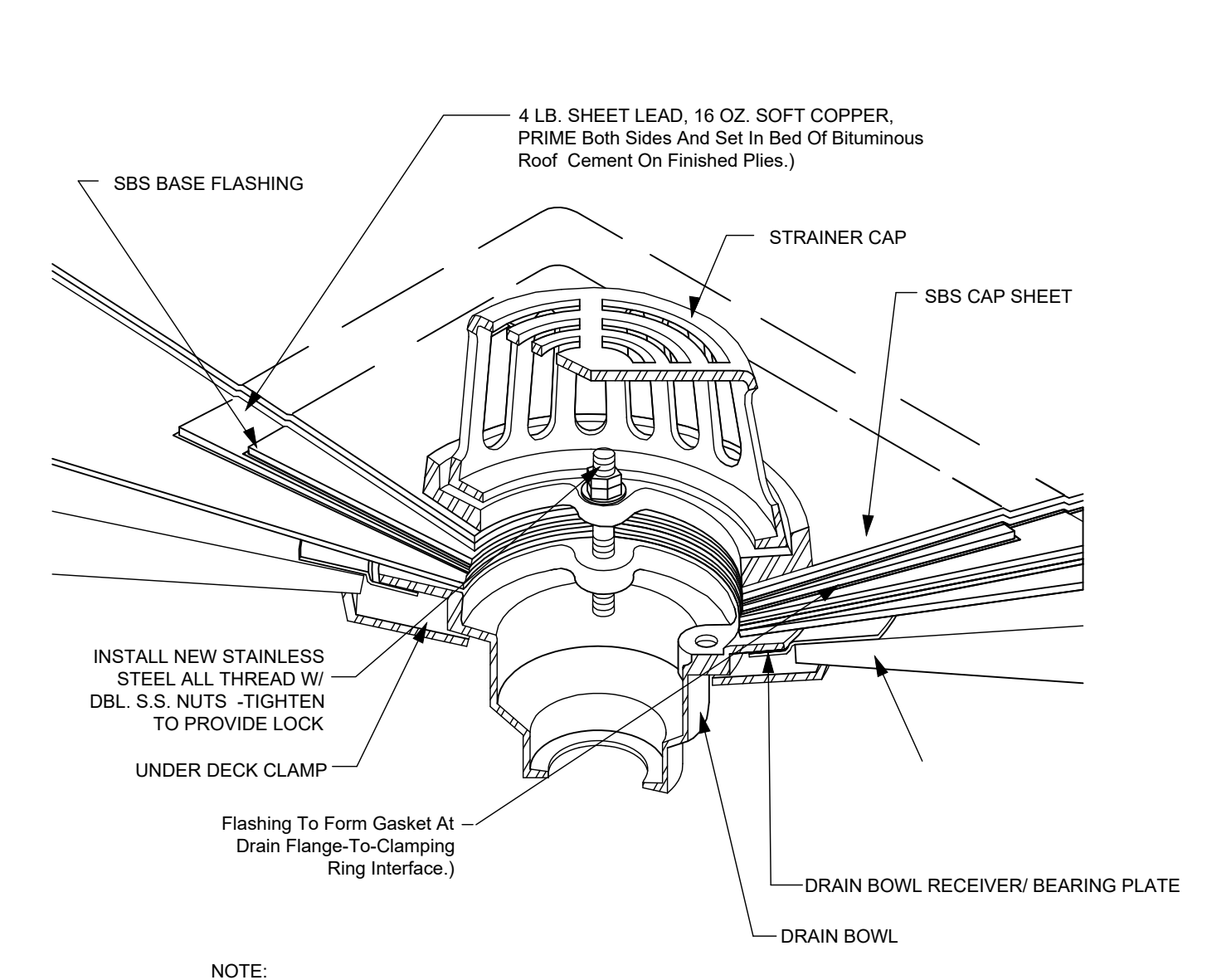
02 PIPING PENETRATION DETAIL
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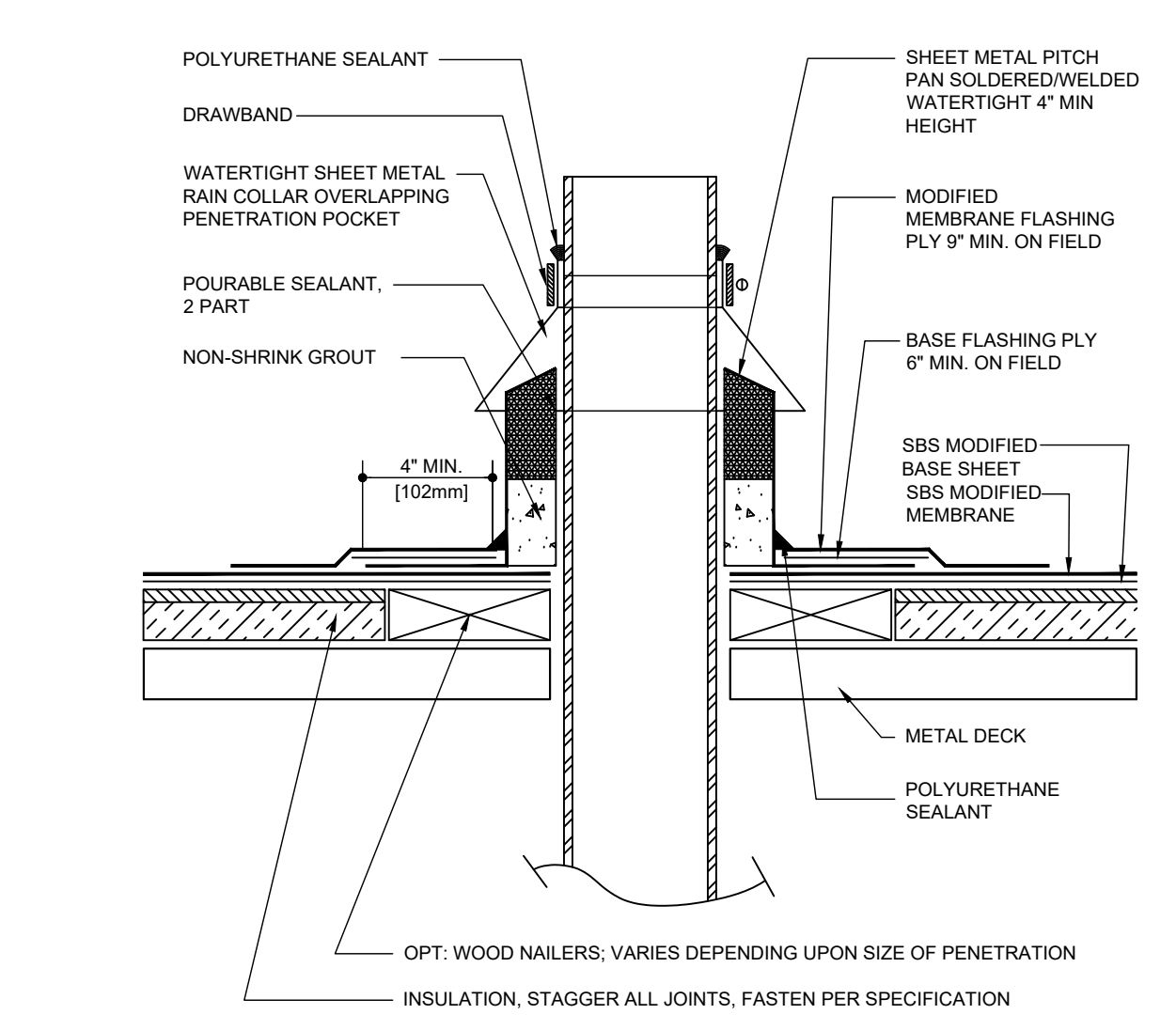
03 PIPING ROOF FLASHING DTL
NOT TO SCALE



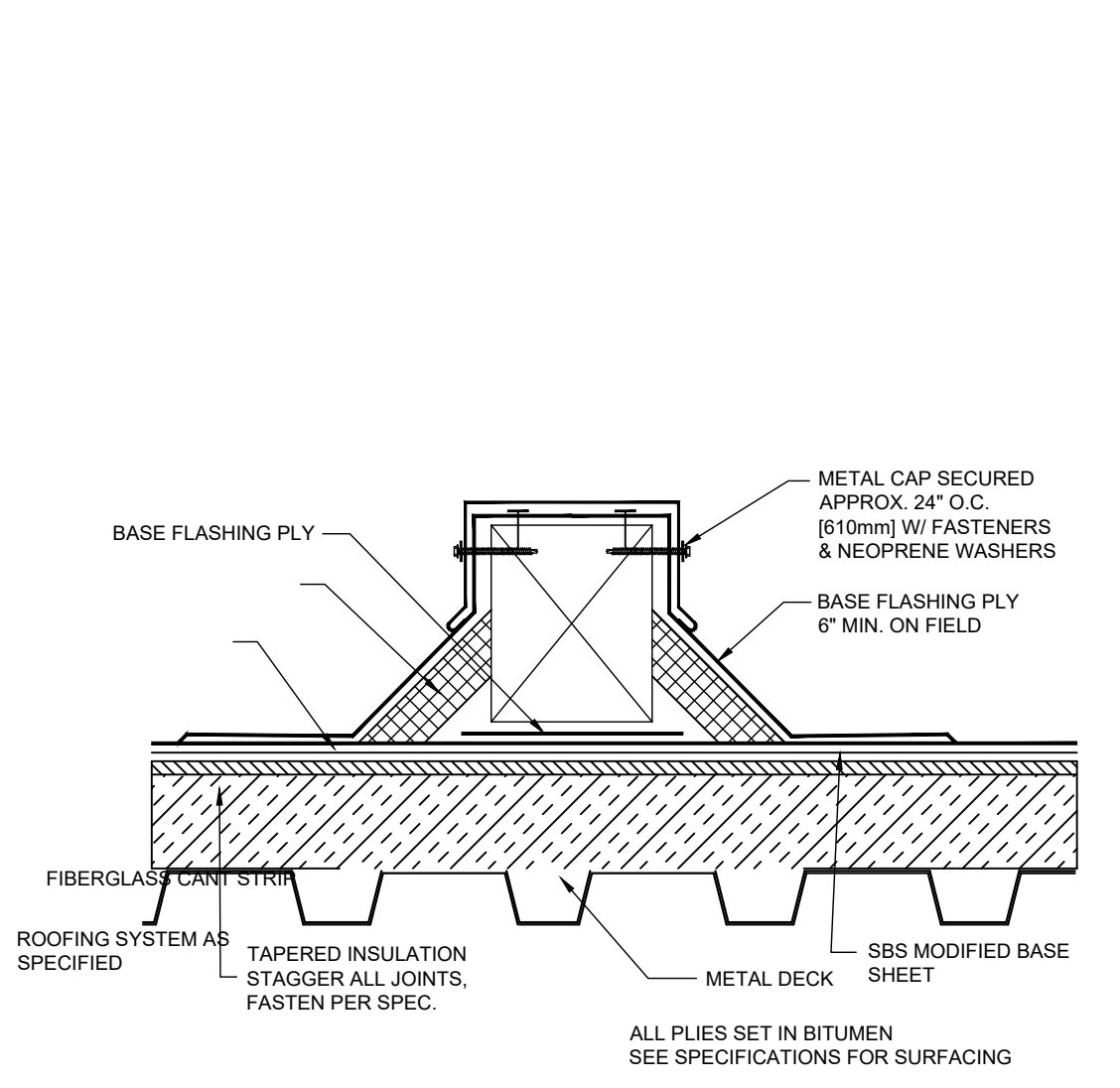
04 ROOF DRAIN DETAIL
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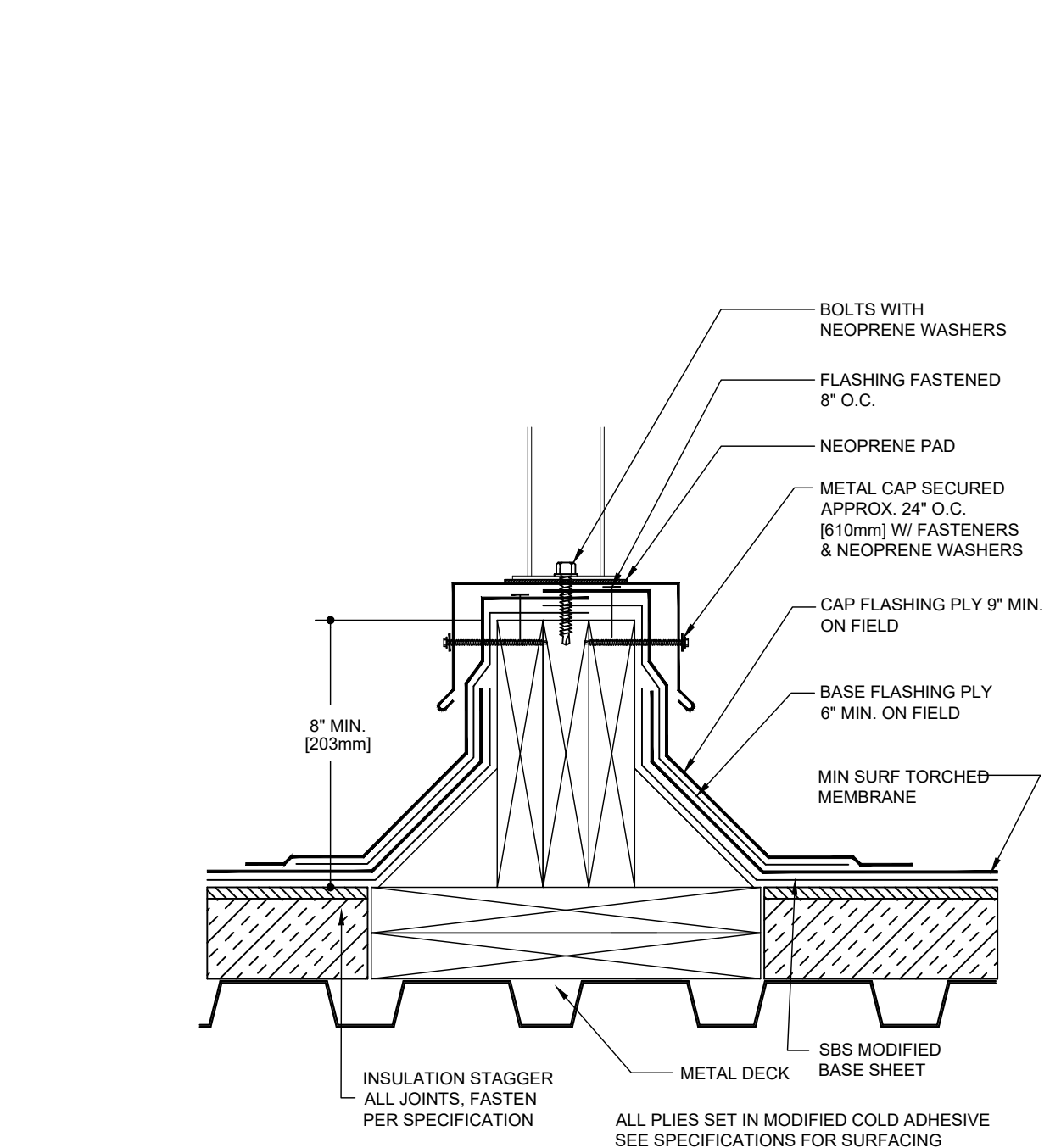
05 TYP. ROOF DRAIN DETAIL
NOT TO SCALE



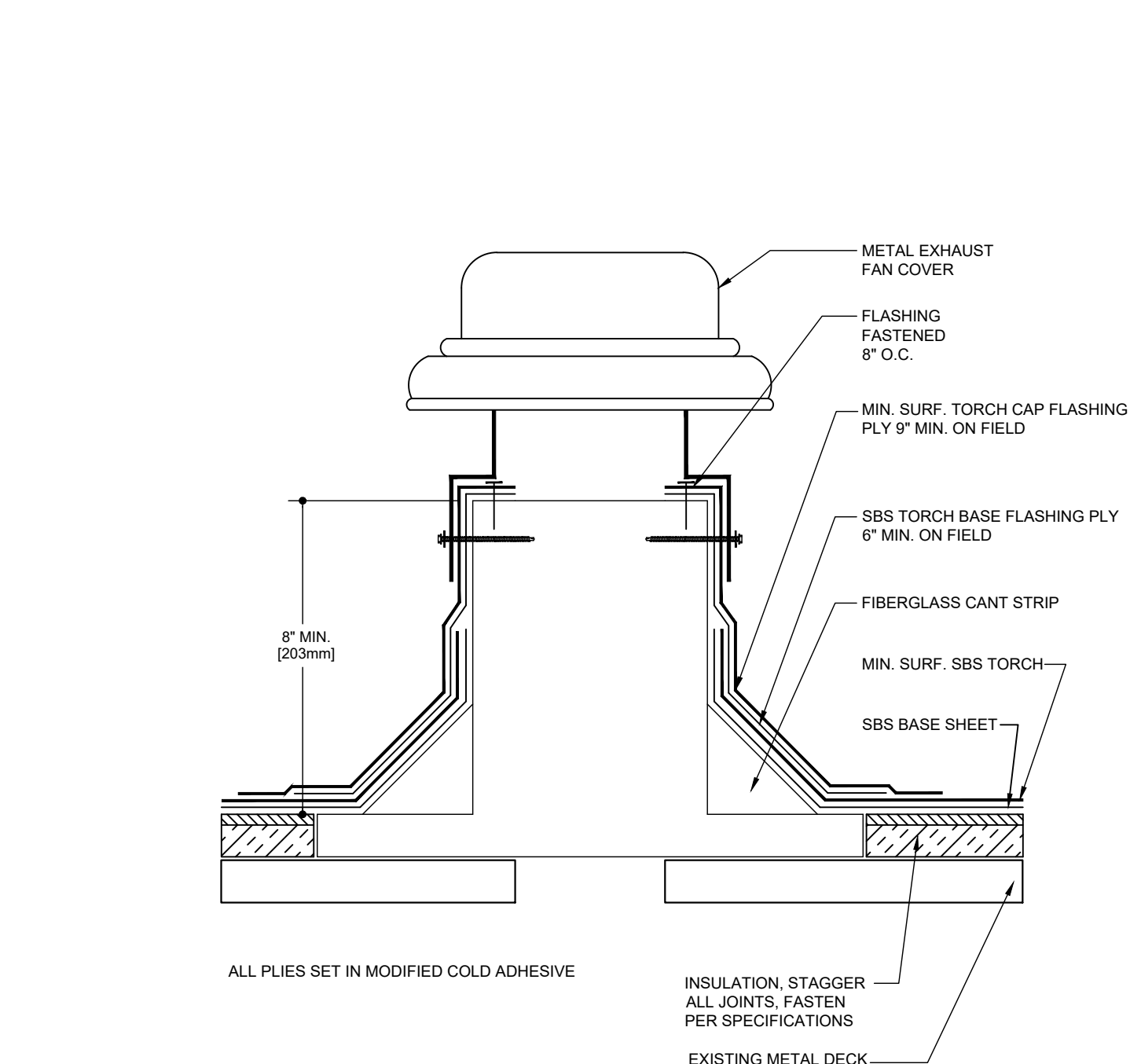
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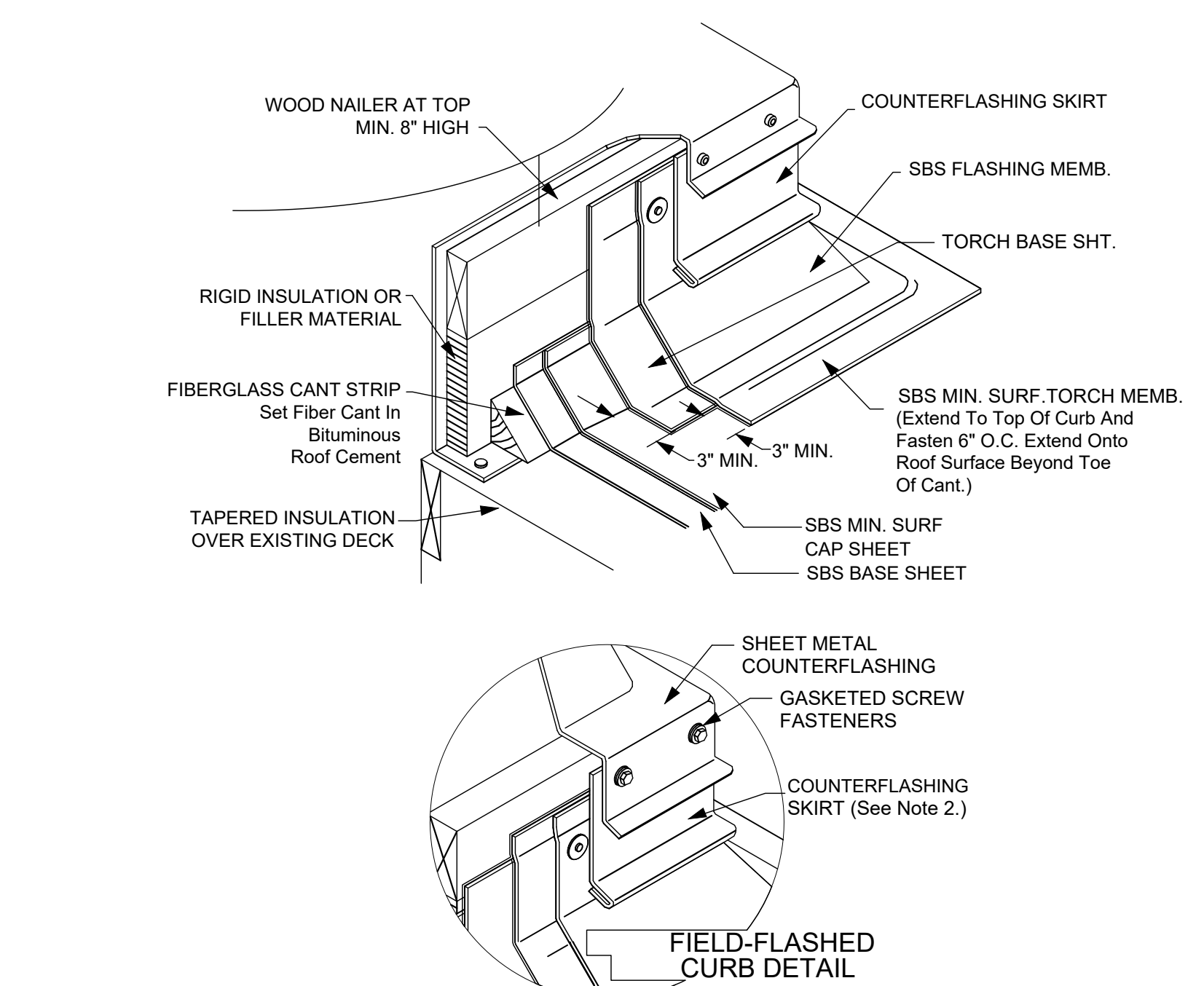
07 SUPPORT DETAIL
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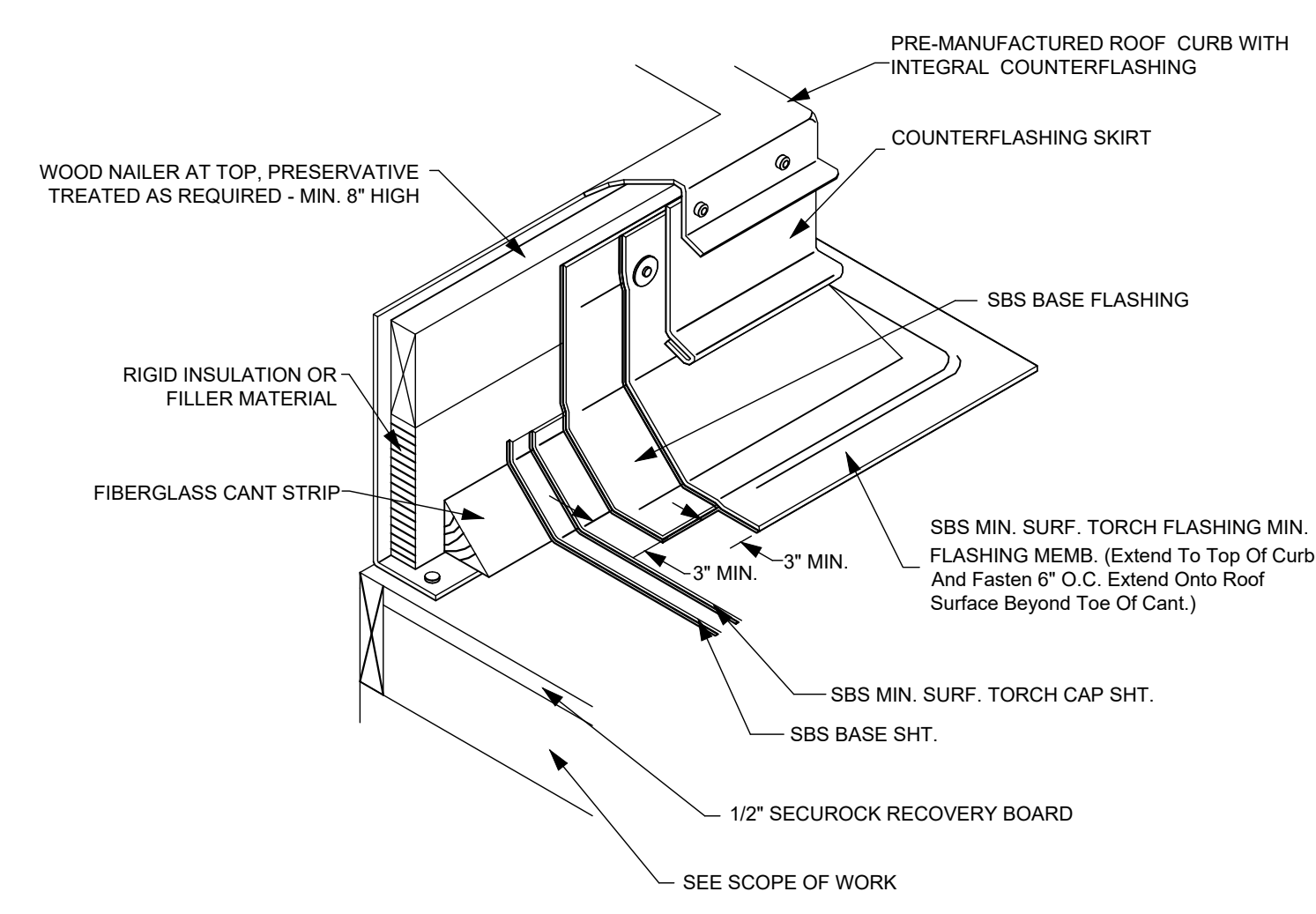
08 SUPPORT DETAIL
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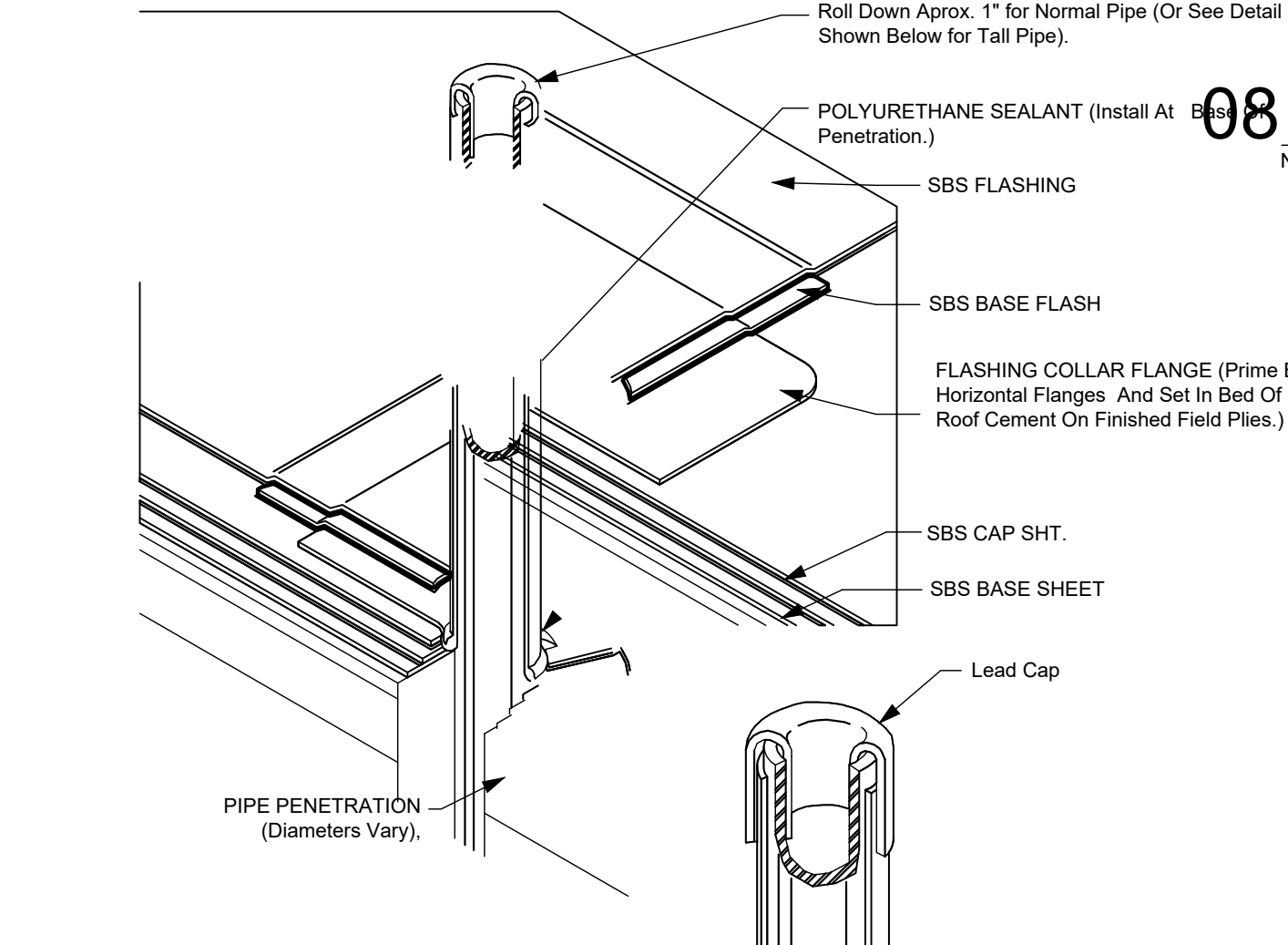
09 EXHAUST FAN DETAIL
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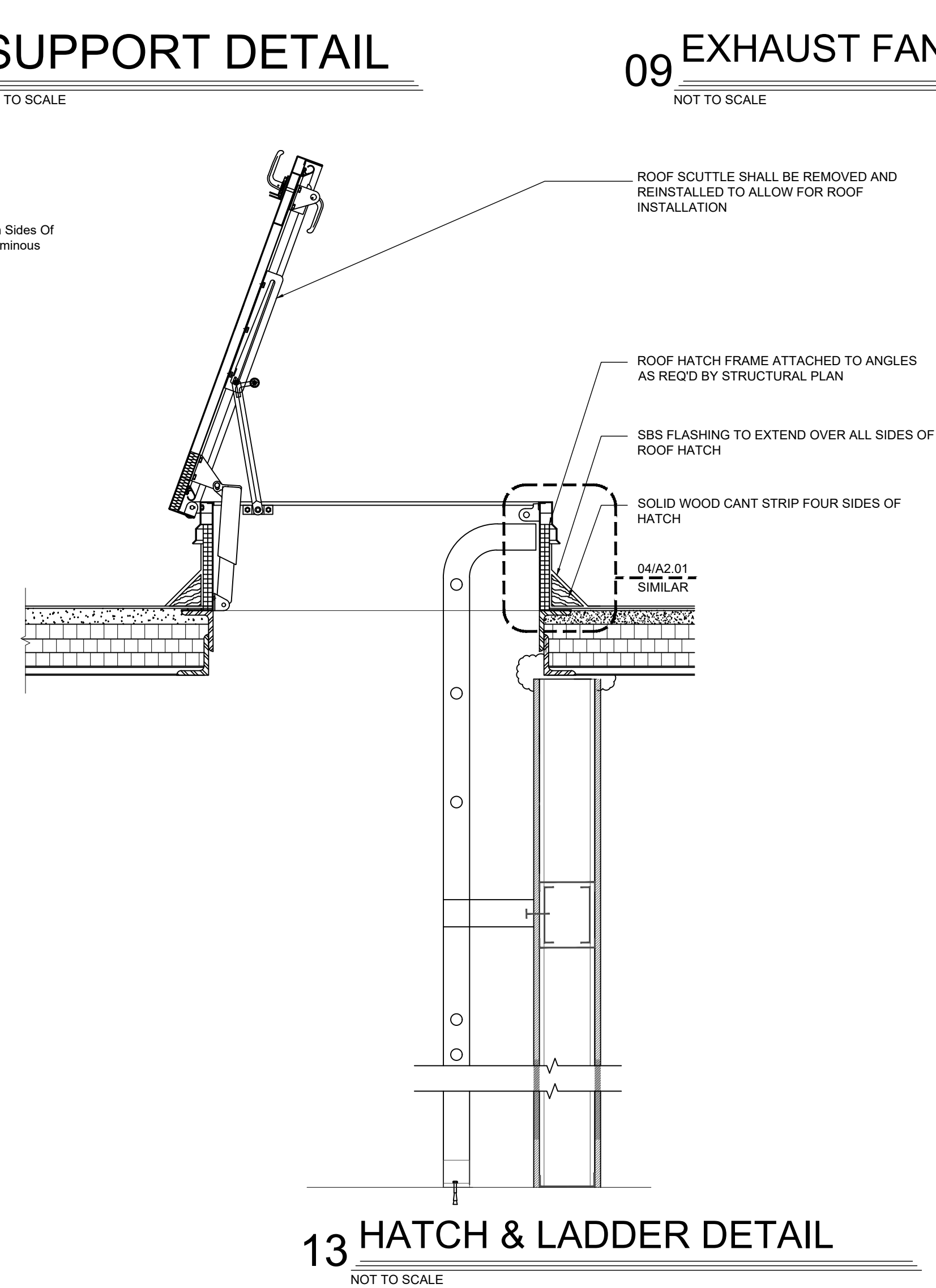
10 POWER VENT DETAIL
NOT TO SCALE



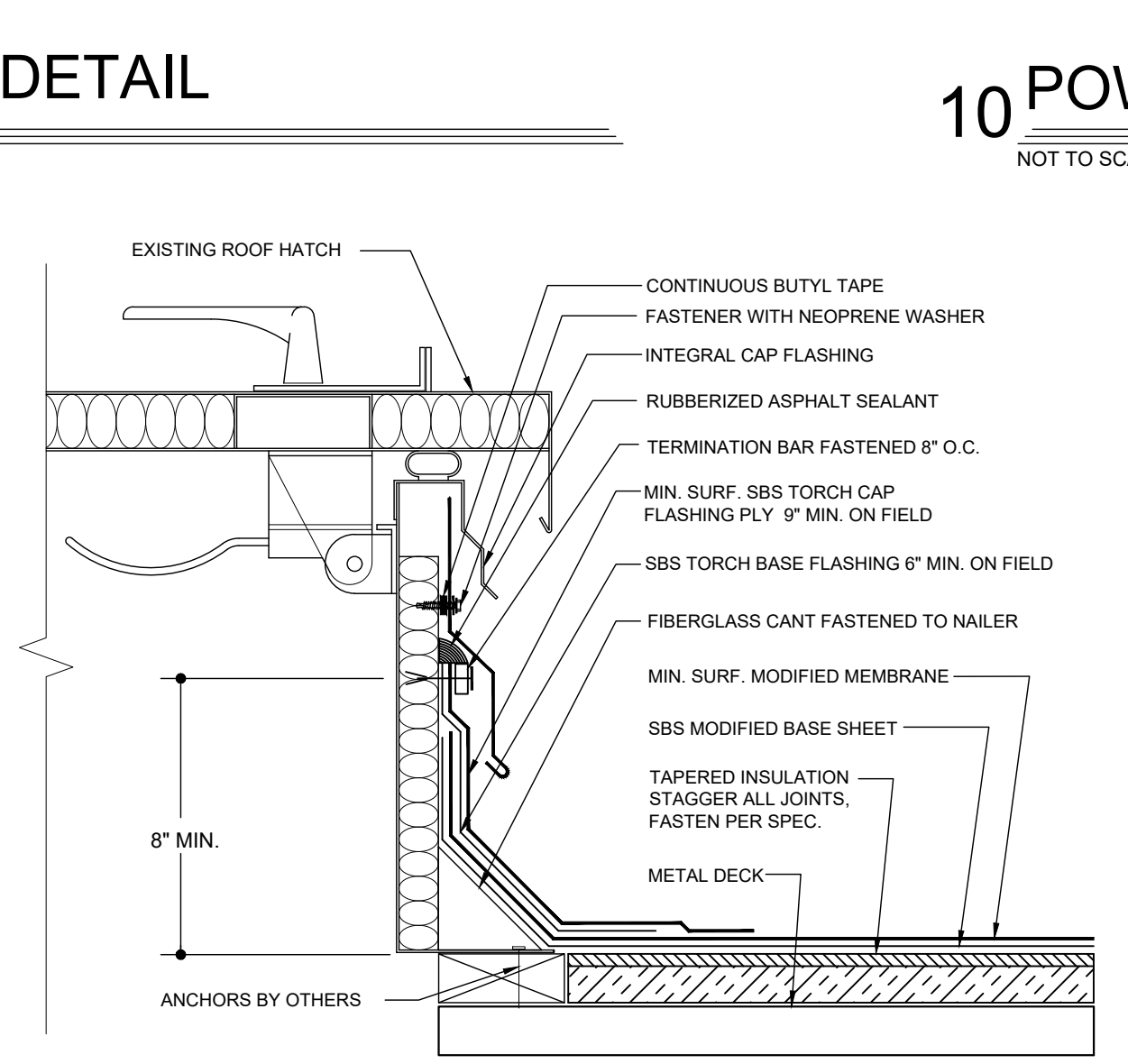
11 TYP. A/C CURB DETAIL
NOT TO SCALE



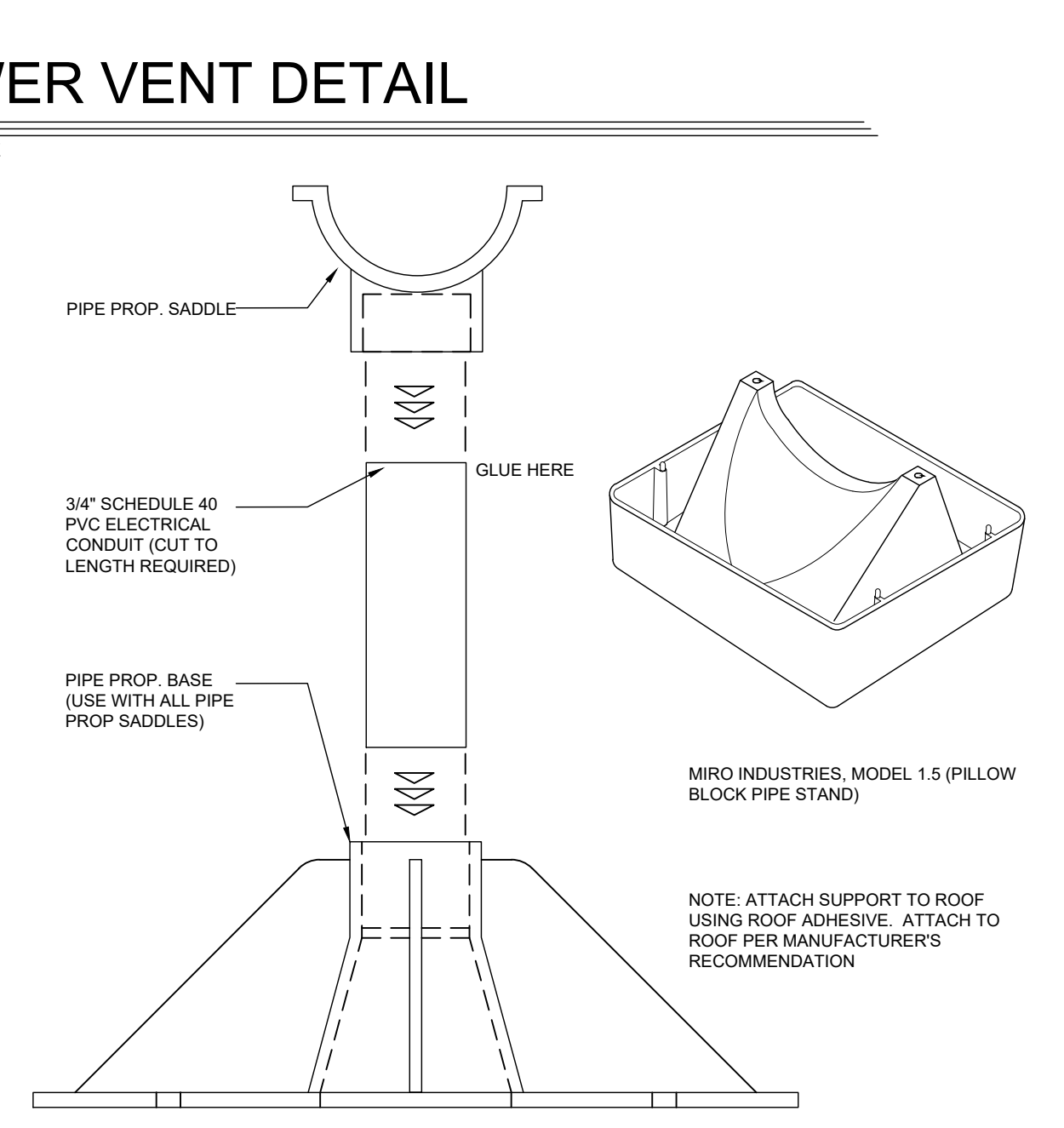
12 TYP. VENT PIPE DETAIL
NOT TO SCALE



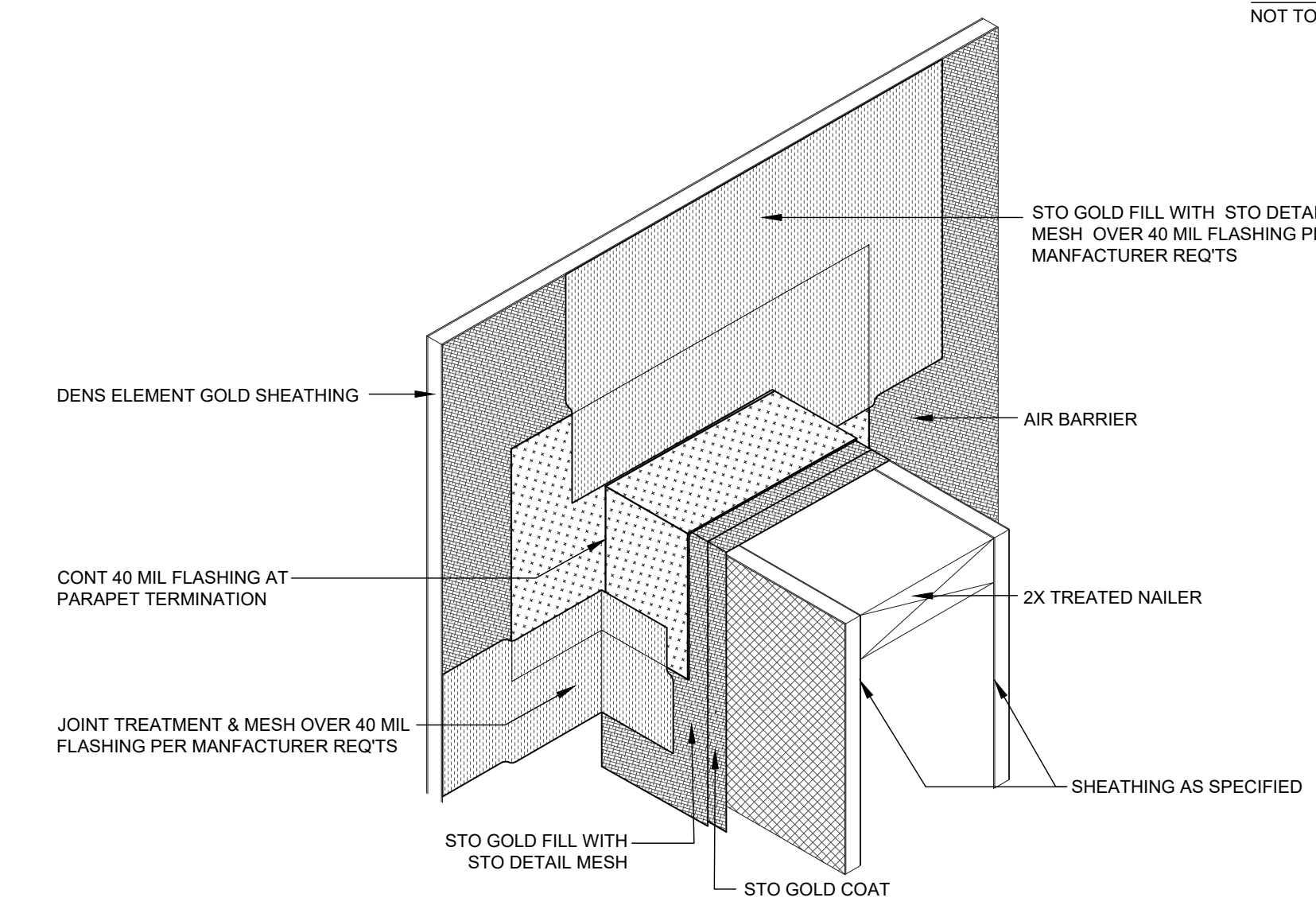
13 HATCH & LADDER DETAIL
NOT TO SCALE



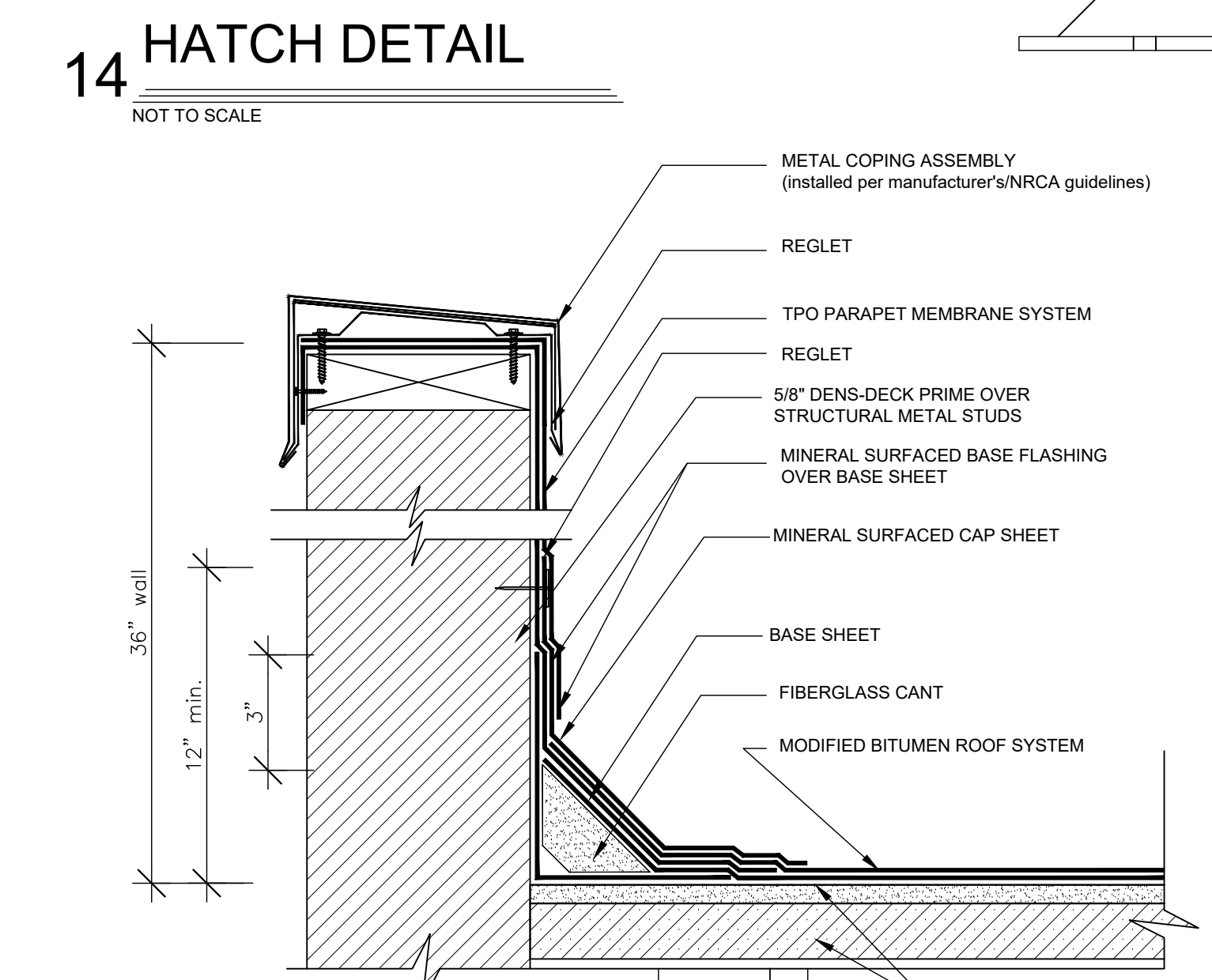
14 HATCH DETAIL
NOT TO SCALE



15 CONDENSATE PIPE SUPPORT DETAIL
NOT TO SCALE

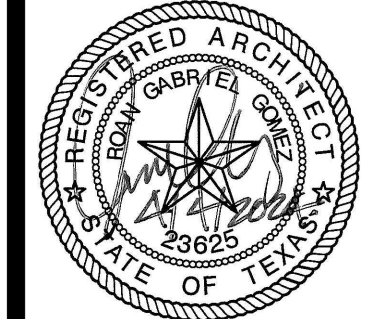
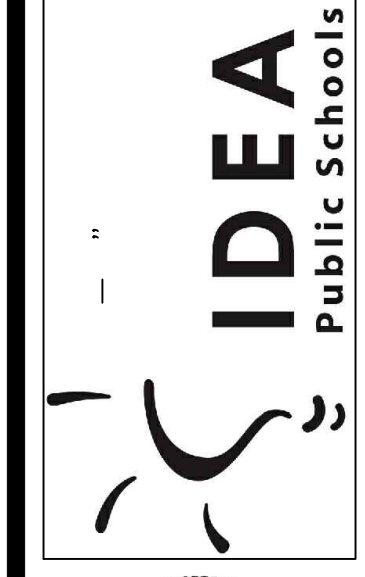


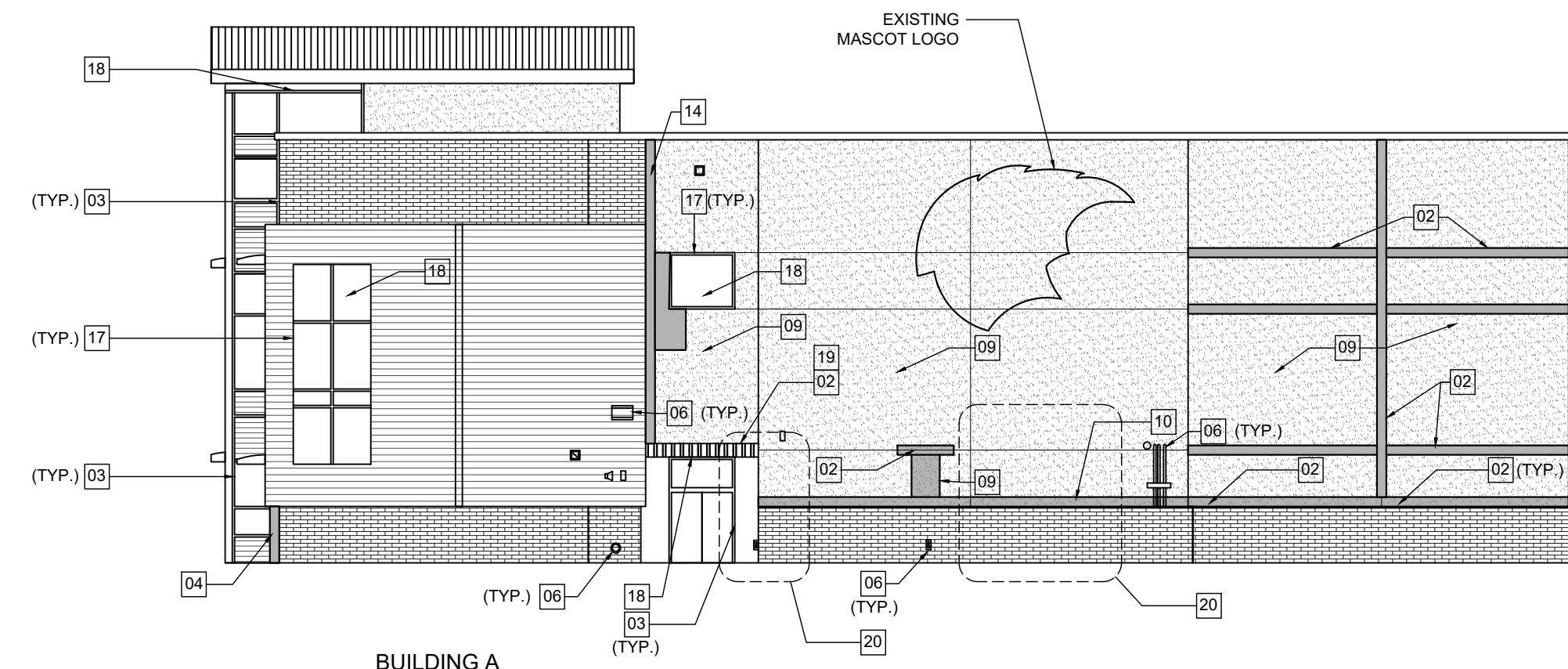
17 PARAPET TERMINATION ISO
SCALE: NONE



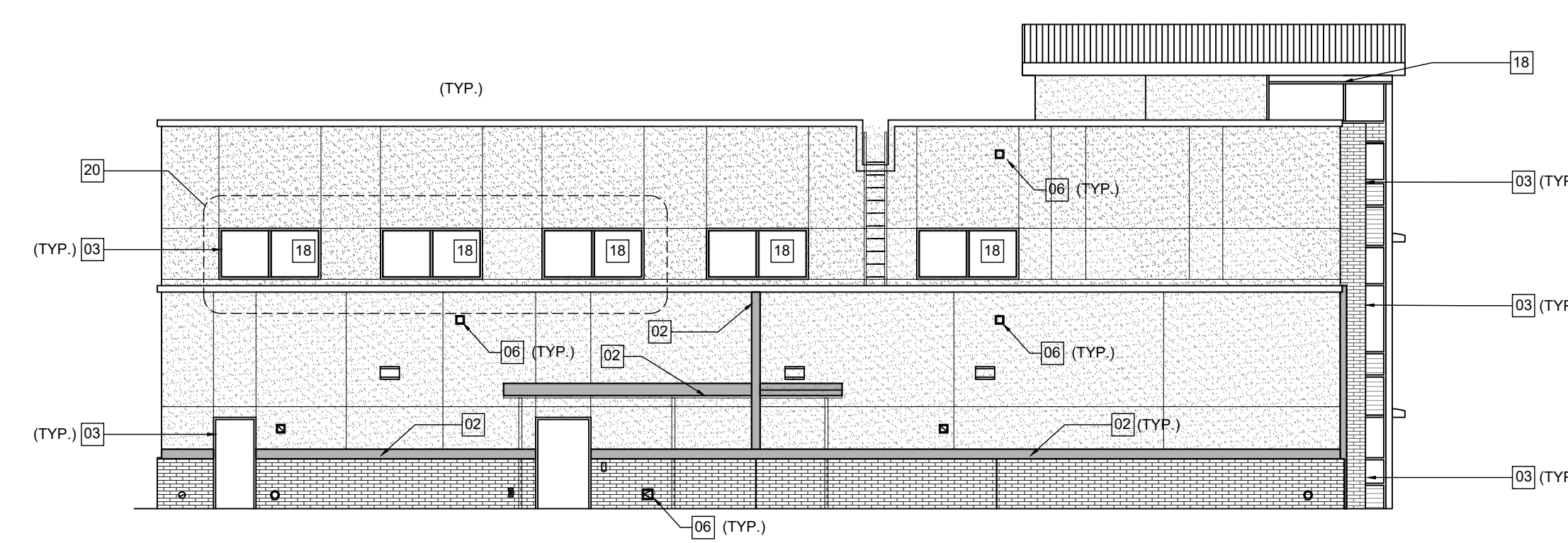
16 PARAPET DETAIL
NOT TO SCALE

IDEA PUBLIC SCHOOLS
BUILDING "A" ENVELOPE AND ROOF REPAIRS
DONNA, TEXAS



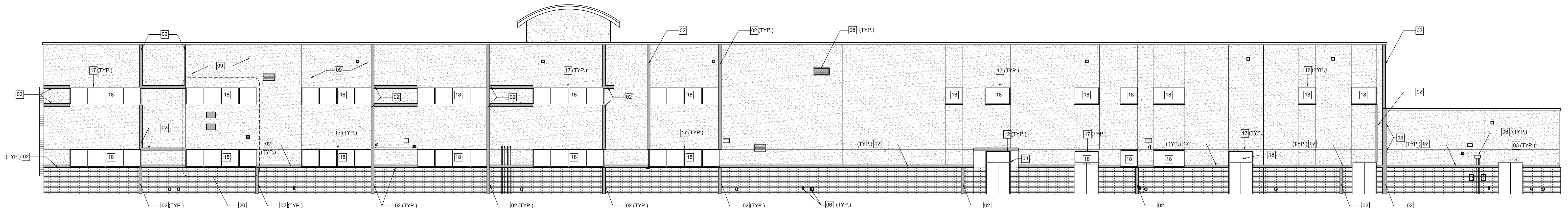


01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

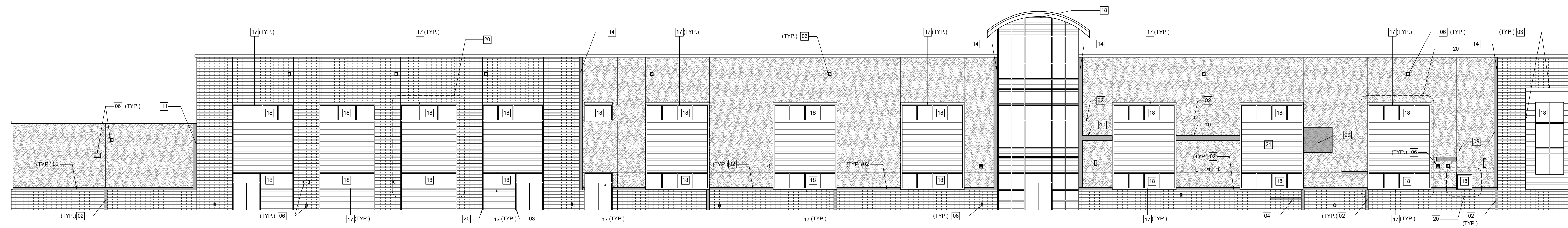


02 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

BLDG A



03 WEST ELEVATION
SCALE: 1/8" = 1'-0"



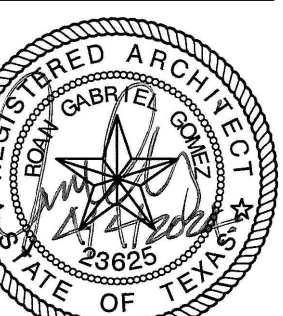
04 EAST ELEVATION
SCALE: 1/8" = 1'-0"

KEYED NOTES

- 01 PAINT PLASTER, TYP.
- 02 REPLACE HORIZONTAL AND/OR VERTICAL OR CORNER PLASTER BEADS. REFER TO DETAILS FROM SHEET A4.01
- 03 REPLACE ALL SEALANT & BACKER RODS @ DOORS/WINDOWS/CONTROL JOINTS, TYP.
- 04 REMOVE AND REPLACE LOOSE OR DAMAGED BRICK VENEER/METAL LATHE AND CORRECT WATER PROOFING MEMBRANE AS PER DETAILS FROM SHEET A4.01
- 05 ADD SPLASH BLOCKS, TYP.
- 06 RE-SEAL ALL WALL EXTERIOR PENETRATIONS, TYP.
- 07 REMOVE RUST AND COLD GALVANIZE ROOF FRAMING/EXPOSED METAL
- 08 REPLACE GUTTER/DOWNSPOUT/BOOT
- 09 CLUSTER OF HAIRLINE CRACKS. WHEN CRACK IS 1/2" OR MORE. REPAIR WITH BACKER ROD AND CAULKING BEFORE PAINTING
- 10 PATCH AND REPAIR PLASTER TO MATCH EXISTING FINISH. REFER TO DETAILS A4.01
- 11 CLEAN AND SEAL INSIDE CORNER
- 12 CORRECT DRIP FLASHING ABOVE HEADER AT METAL PANEL. ADD BREAK METAL HEADER FLASHING WITH F DRIP. REFER TO DETAILS 01-04/A4.02
- 13 RE-SEAL AROUND COVE LIGHT, PENETRATION, TYP.
- 14 REPLACE PLASTER BEADS AND/OR PLASTER ON INSIDE CORNER OR UNDERSIDE
- 15 CORRECT FLASHING AT WINDOW SILL AT METAL PANEL. REFER TO DETAILS 05-06/A4.02
- 16 CORRECT FLASHING AT WINDOW SILL AT BRICK. REFER TO DETAILS 05-06/A4.03
- 17 REMOVE WINDOW AND REPAIR FLASHING ON ALL SIDES. REINSTALL WINDOW. REFER TO DETAIL SHEETS A4.00 SERIES
- 18 ADD BREAK METAL HEADER FLASHING WITH F DRIP. REPAIR WINDOW FLASHING, AND ADD BREAK METAL SILL FLASHING AND SILL PAN. REFER TO SHEETS 01, 02/A4.03
- 19 REPLACE FLASHING AT TRANSITION FROM CANOPY TO BUILDING
- 20 WATER TESTED AREA WITH HISTORY OF LEAKS
- 21 REPLACE METAL PANELS

BUILDING A: SCOPE OF WORK

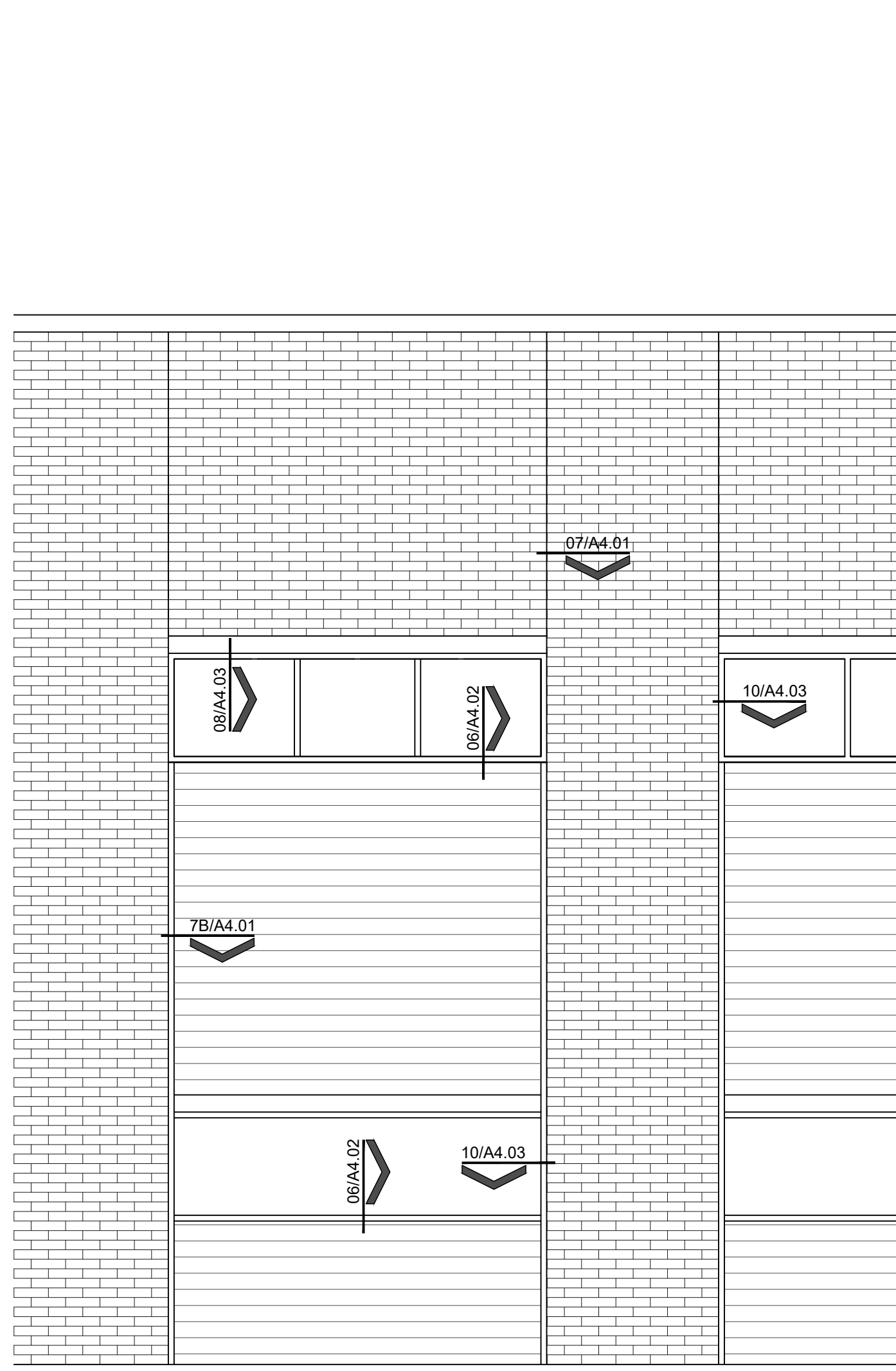
1. POWER WASH EXTERIOR STUCCO AND MASONRY VENEER.
2. WATER TEST EXTERIOR WINDOWS AND STOREFRONTS.
3. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL EXTERIOR DOOR AND WINDOW ASSEMBLIES.
4. REMOVE AND REPLACE BACKER ROD AND SEALANT AT ALL MASONRY CONTROL JOINTS.
5. REPAIR STUCCO CONTROL JOINTS AND SILL TRIM PIECES.
6. REPAIR EXTERIOR METAL WALL PANELS AND TRIM.
7. REMOVE EXCESS TOPSOIL WHERE IT CONTACTS METAL PANELS.
8. INSTALL BREAK METAL SILL TRIM AT MASONRY VENEER.
9. REPAIR FLASHING AT AIRSPACE AT MASONRY.
10. APPLY ELASTOMERIC COATING OVER STUCCO VENEER FOR THE ENTIRE BUILDING.
11. PAINT ALL EXTERIOR SURFACES TO MATCH EXISTING SECURE ALL DISLODGED METAL PANELS.
12. REPLACE EXISTING EXTERIOR WATERPROOFING/SEALANT JOINTS.
13. REPLACE FLASHING OVER BRICK WAINSCOT, AND PROVIDE POSITIVE DRAINAGE 1/4" PER 1'-0".
14. REPLACE SILL FLASHING AT BUILDING BASE WHERE DAMAGED, AND RE-GRADE IN AREAS OF PONDING SO THAT AT LEAST 6" ARE CLEAR FROM GRADE TO SILL FLASHING.
15. RE-APPLY WINDOW FLASHING ON ALL SIDES OF WINDOW PATCH AND REPAIR ALL AFFECTED SURFACES TO MATCH EXISTING.



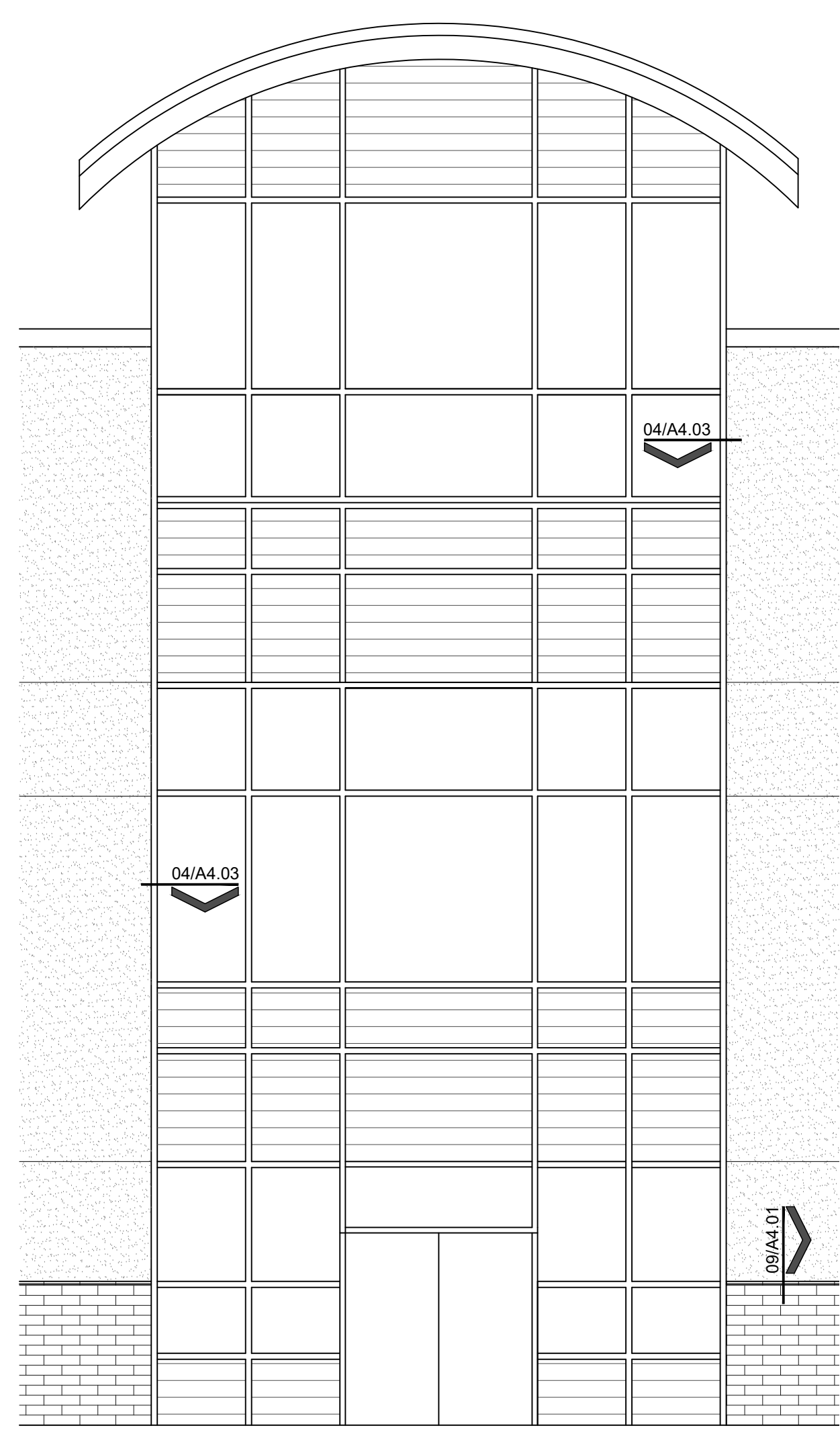
TYPICAL DOOR AND WINDOW ELEVATIONS

SCALE: 1/4" = 1'-0"

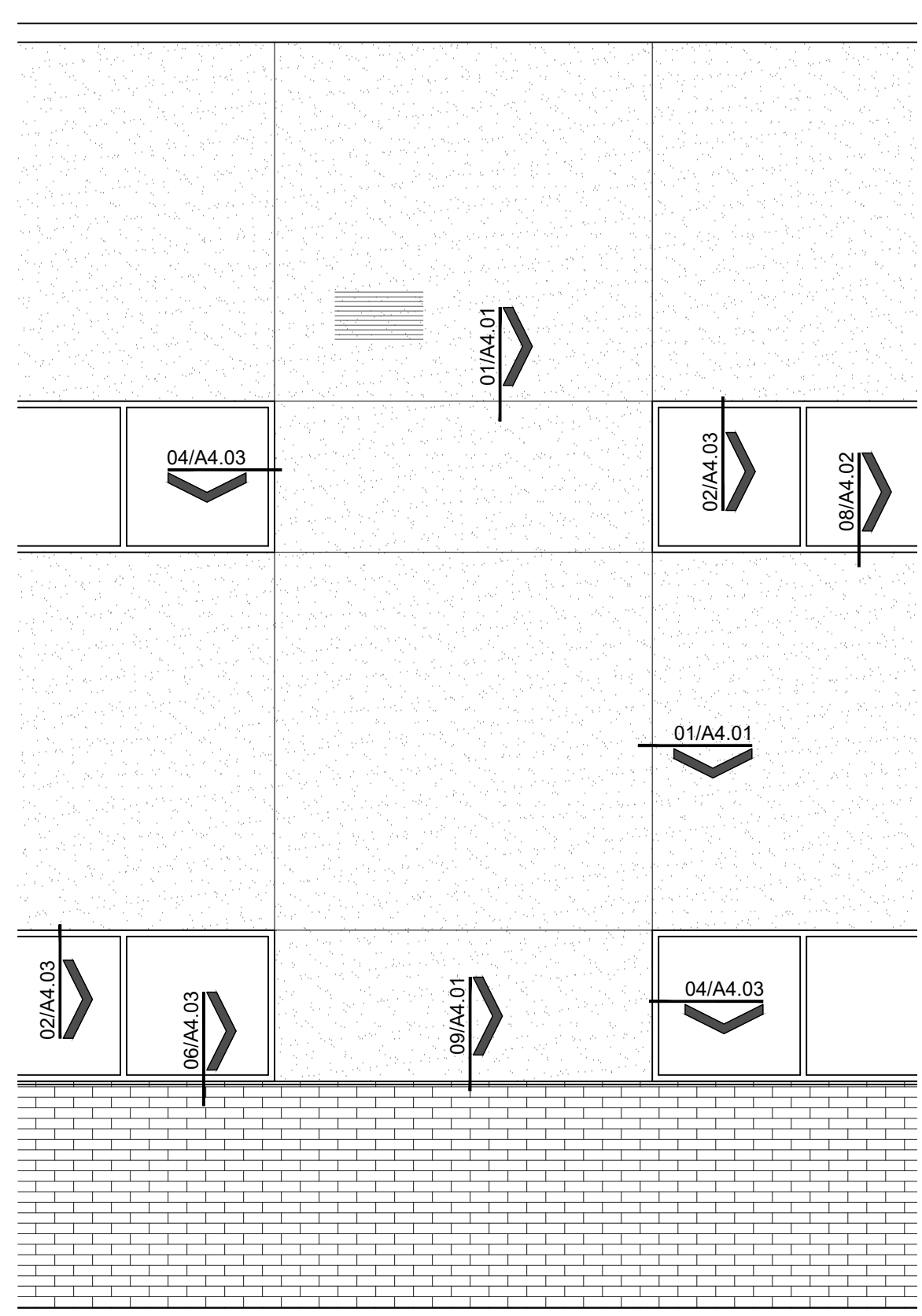
- SCOPE OF WORK:
1. Remove sealant at all exterior doors, windows and masonry control joints.
 2. Install backer rod and sealant at windows, doors and masonry control joints.
 3. Install door threshold at exterior doors.
 4. Remove fixtures and Seal all wall penetrations at electrical and plumbing fixtures.
 5. Refer to Sheet A6.01 for window / door elevations



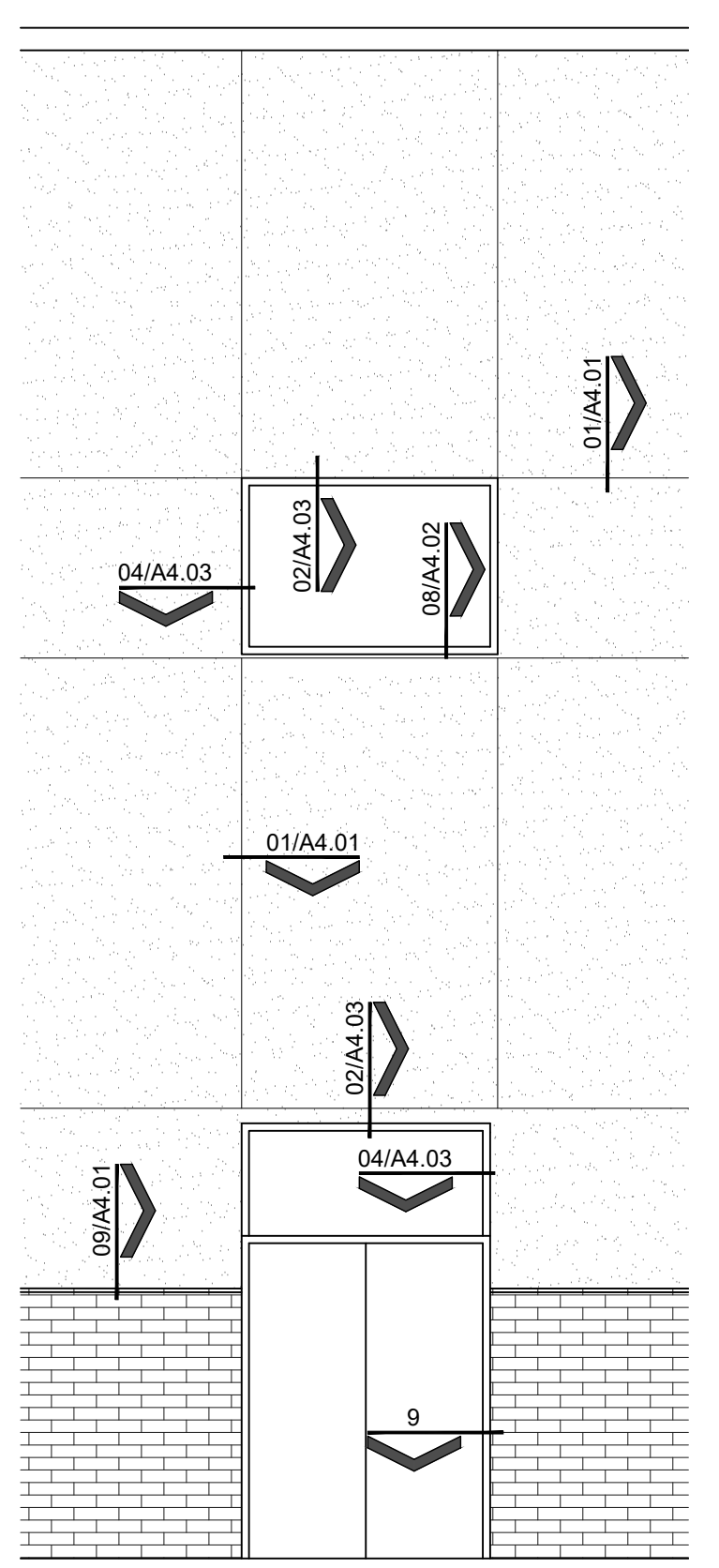
01 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



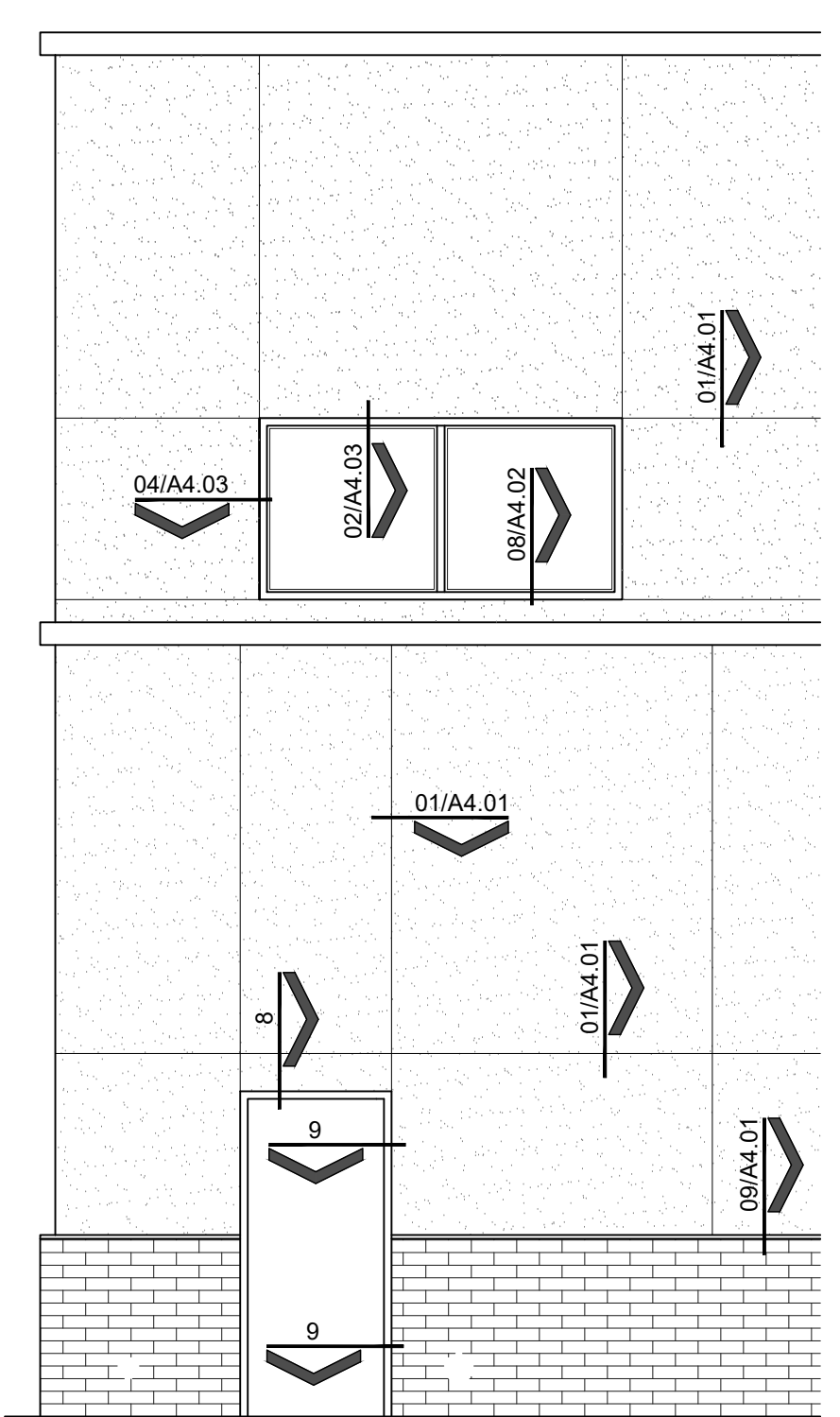
02 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



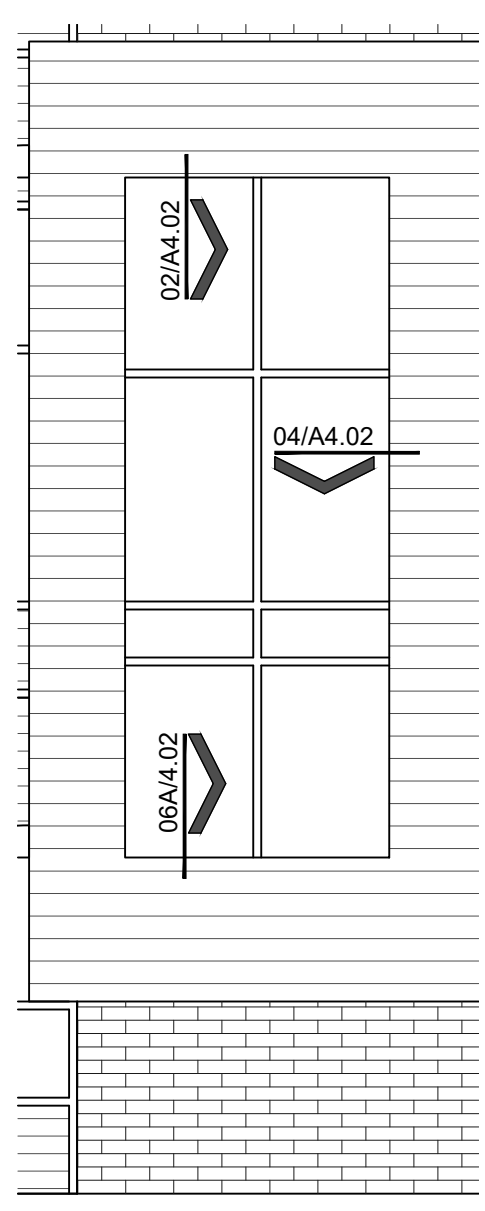
03 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



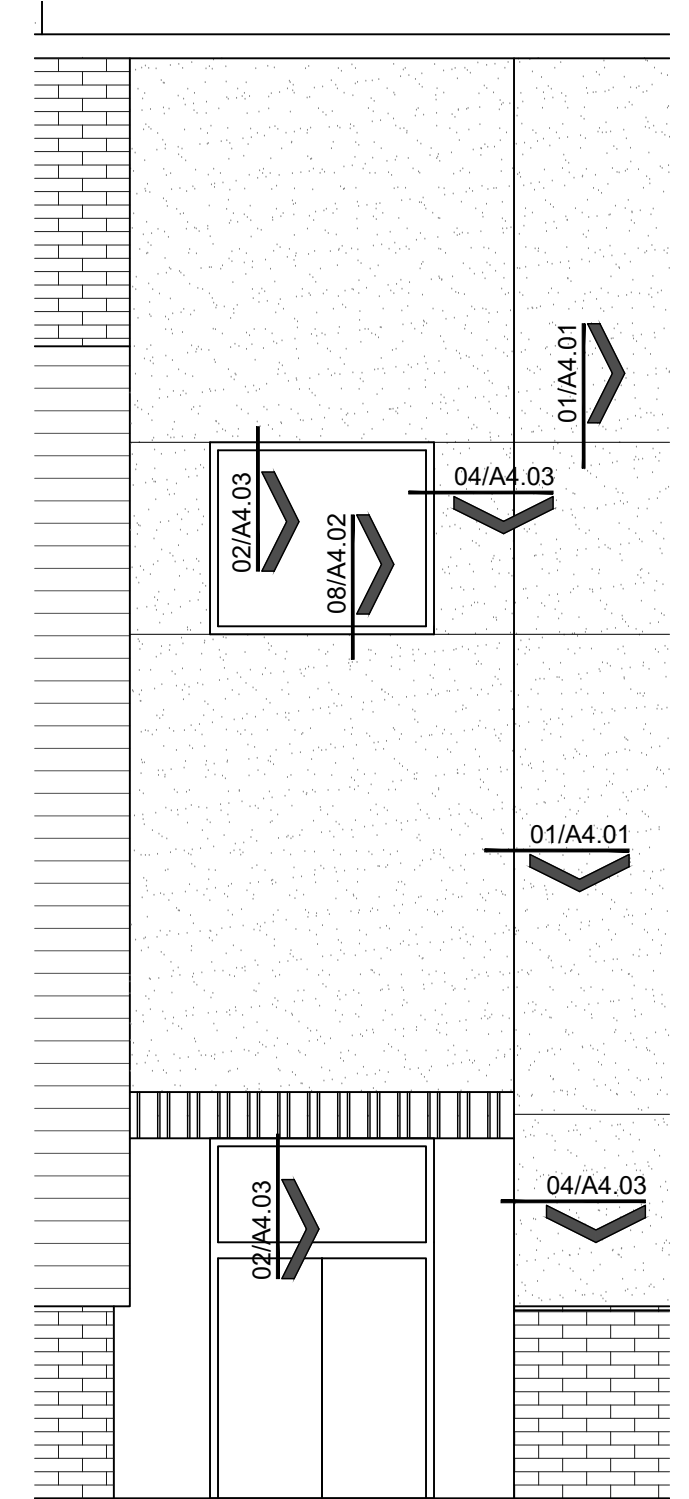
04 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



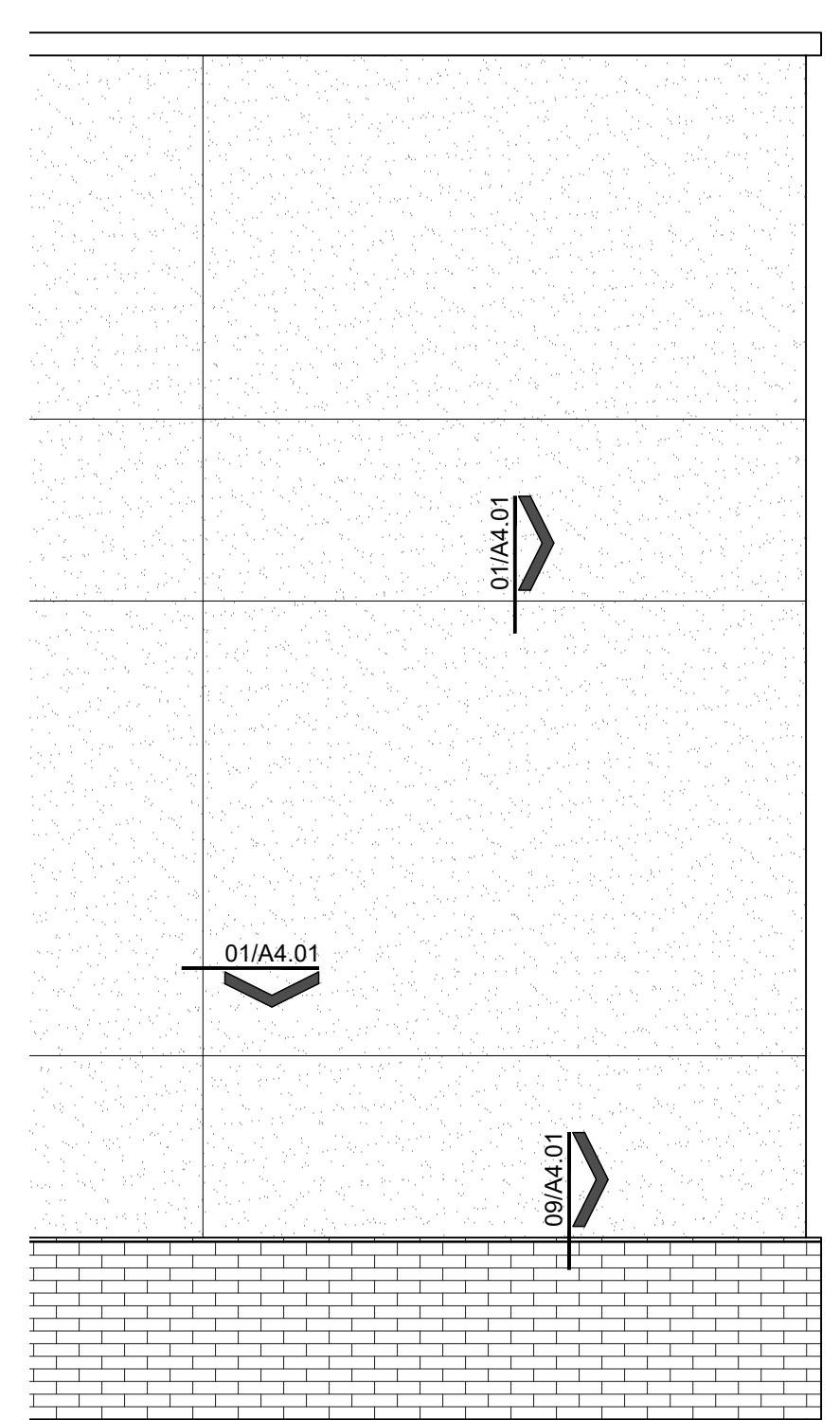
05 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



06 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"



07 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"

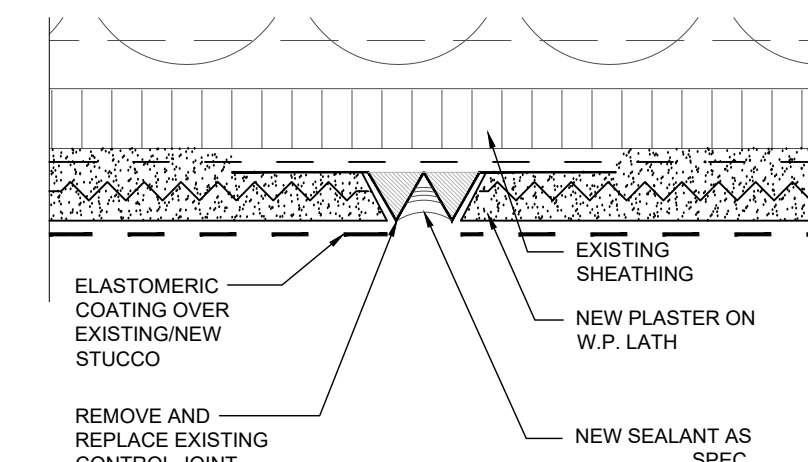
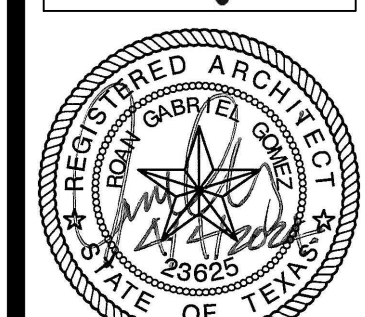


08 PARTIAL ELEVATION
SCALE: 1/4" = 1'-0"

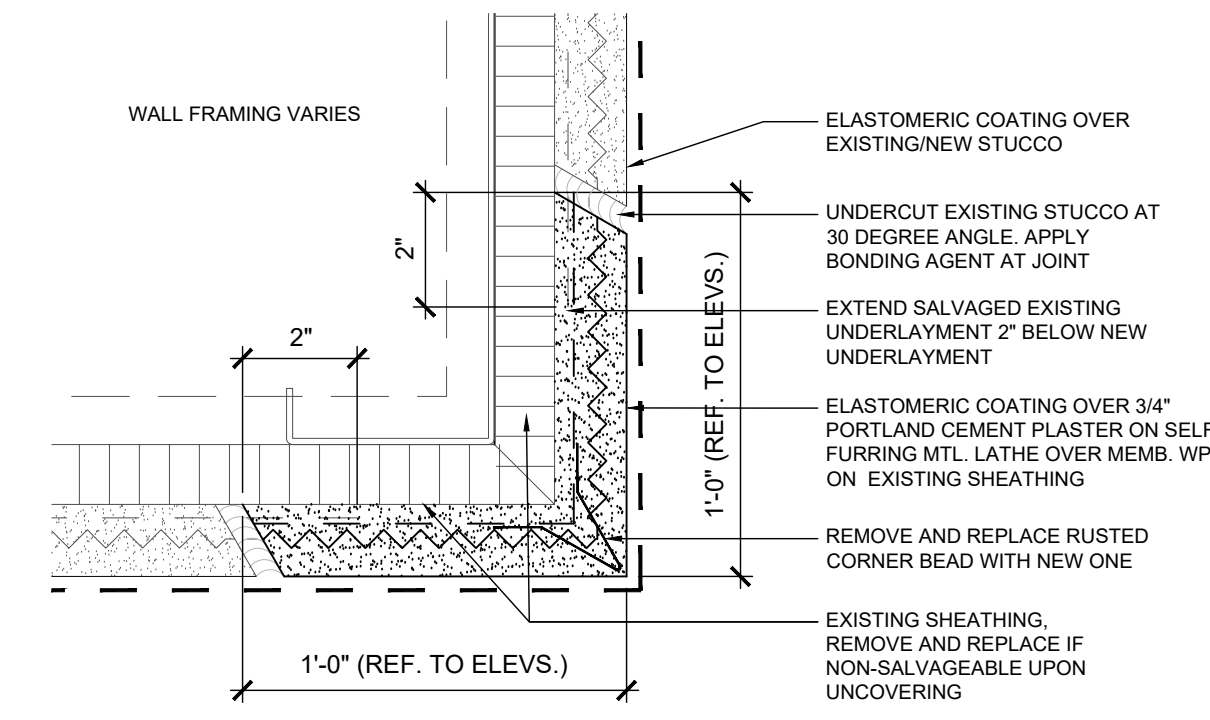
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 DONNA, TEXAS



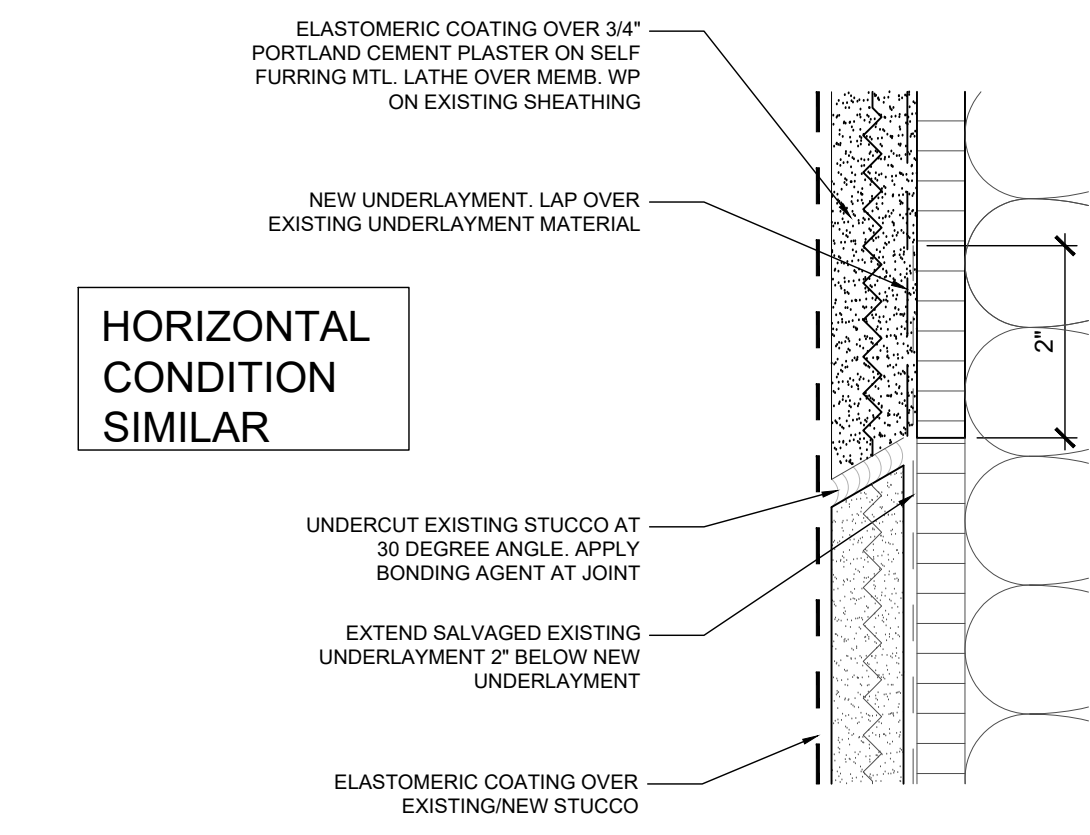
**IDEA PUBLIC SCHOOLS
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 DONNA, TEXAS
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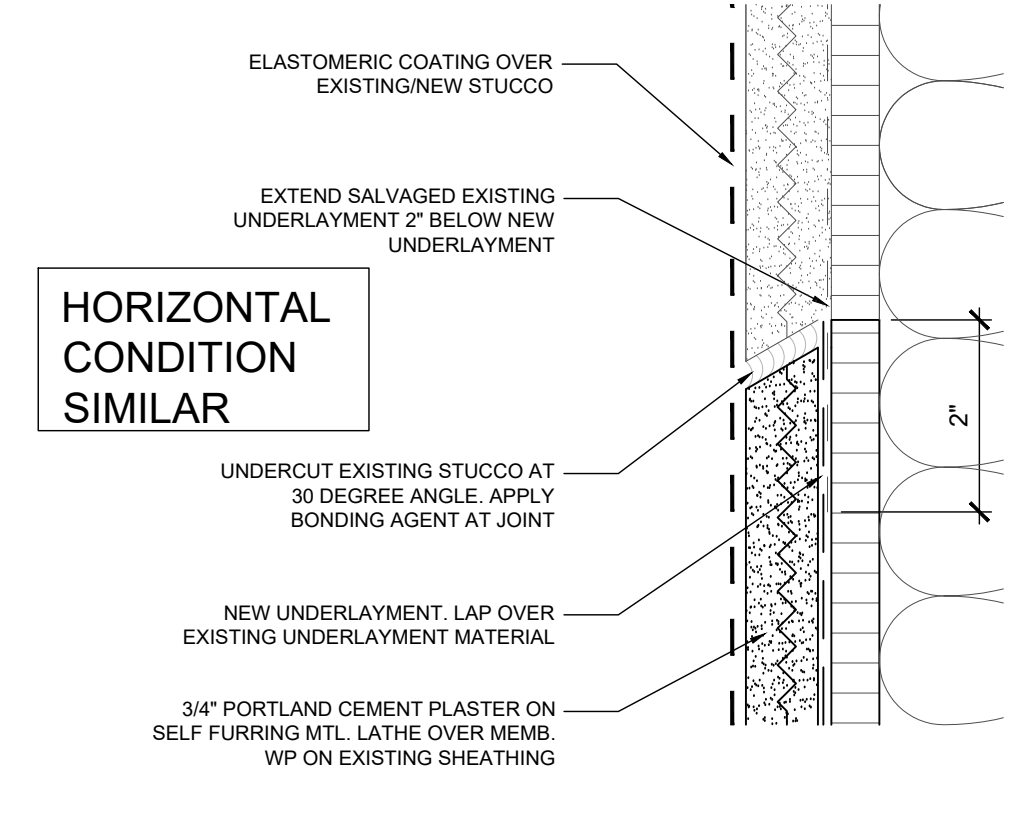
01
**TYPICAL VERTICAL
 (HORIZONTAL SIM.)
 CONTROL JOINT @ PLASTER**
 SCALE: 6" = 1'-0"



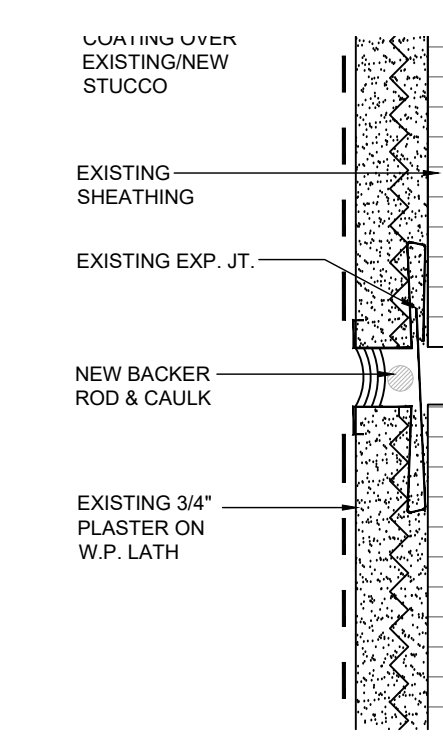
02
**TYPICAL CORNER DETAIL
 @ PLASTER**
 SCALE: 6" = 1'-0"



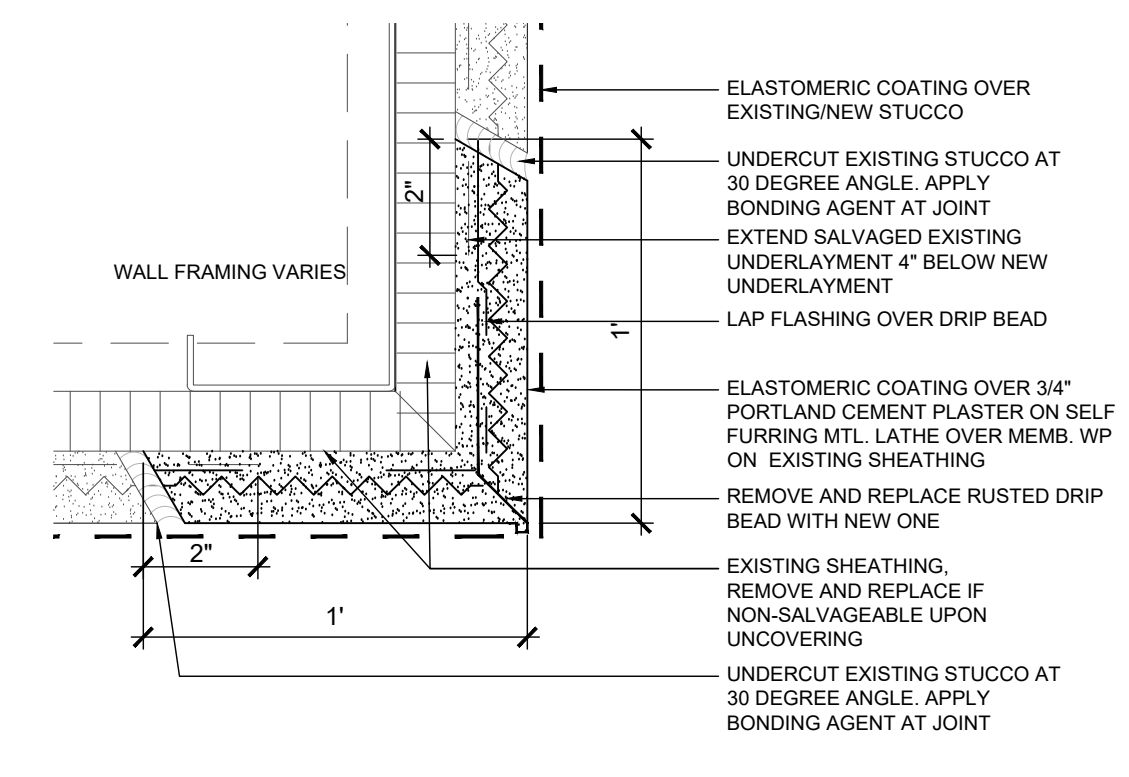
03
**PLASTER REPAIR DETAIL
 (TOP PORTION REMOVED)**
 SCALE: 6" = 1'-0"



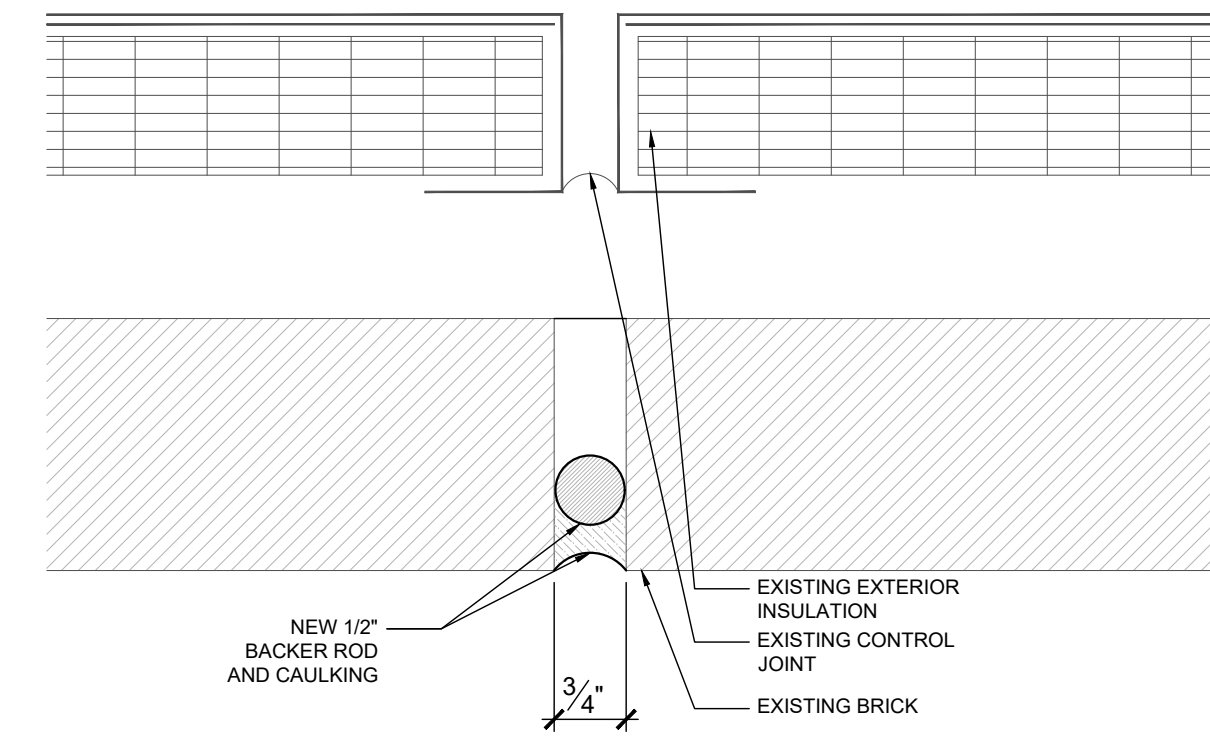
04
**PLASTER REPAIR DETAIL
 (BOTTOM PORTION REMOVED)**
 SCALE: 6" = 1'-0"



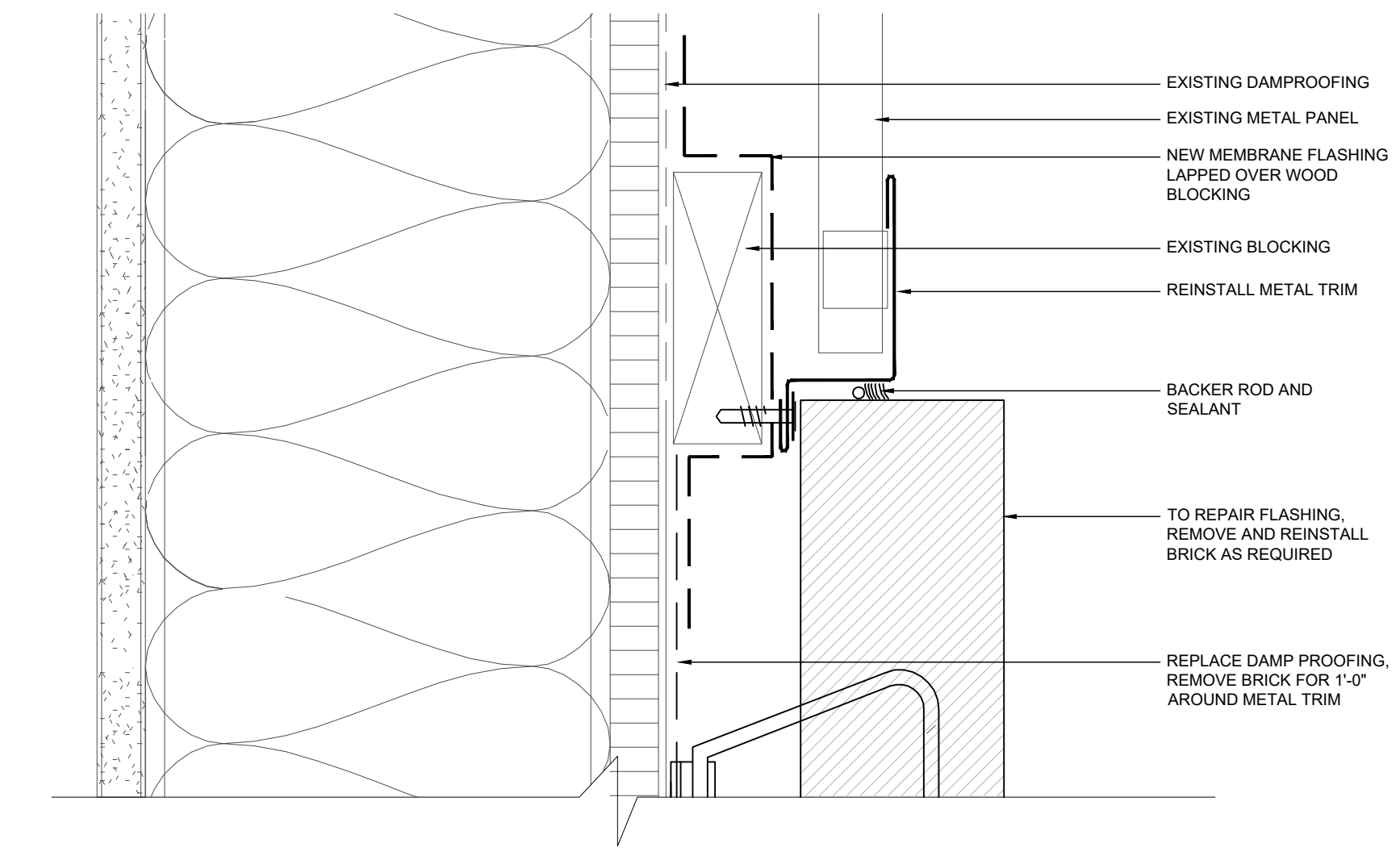
05
**EXPANSION JOINT @
 STUCCO**
 SCALE: 6" = 1'-0"



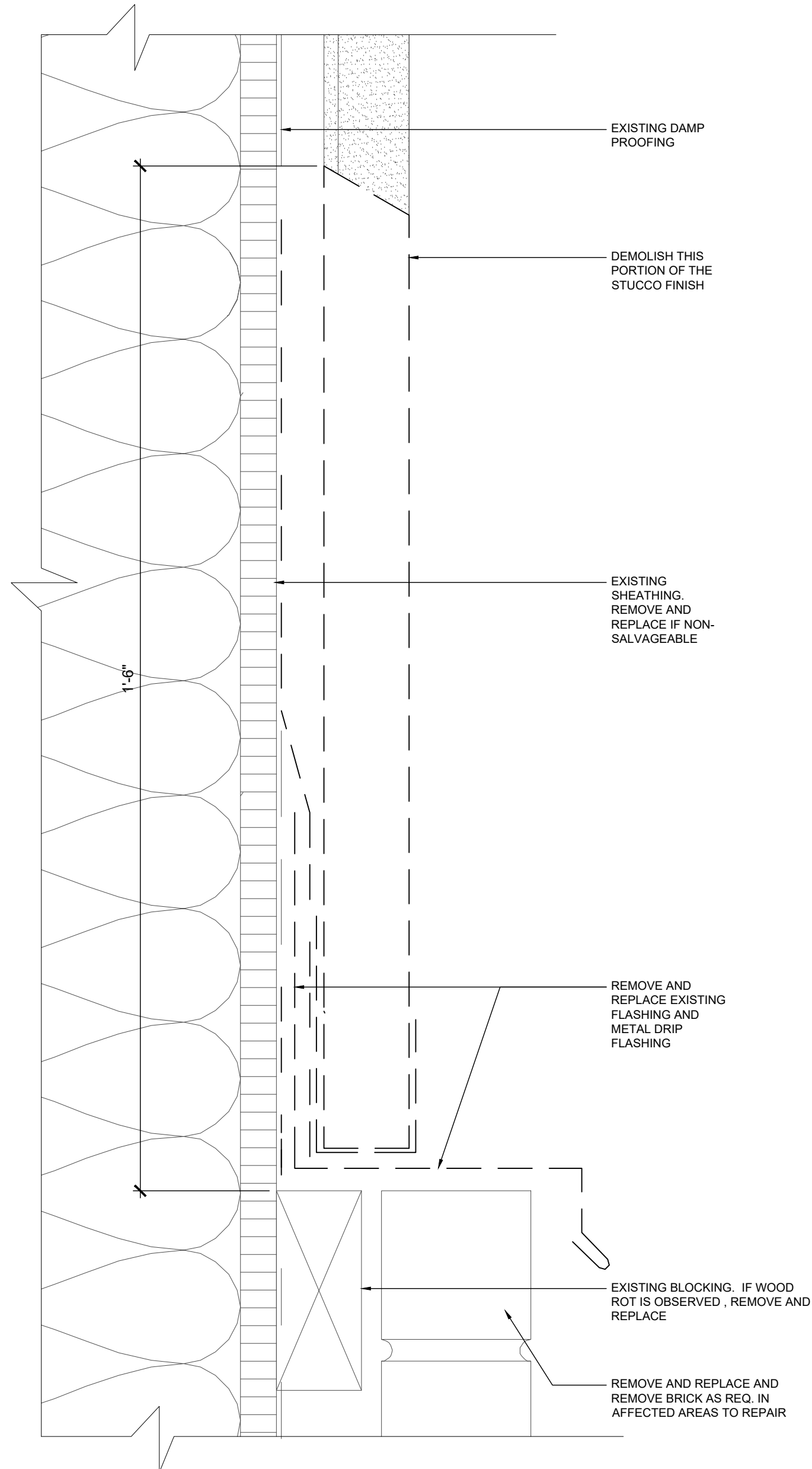
06
**TYPICAL DRIP DETAIL @
 PLASTER**
 SCALE: 6" = 1'-0"



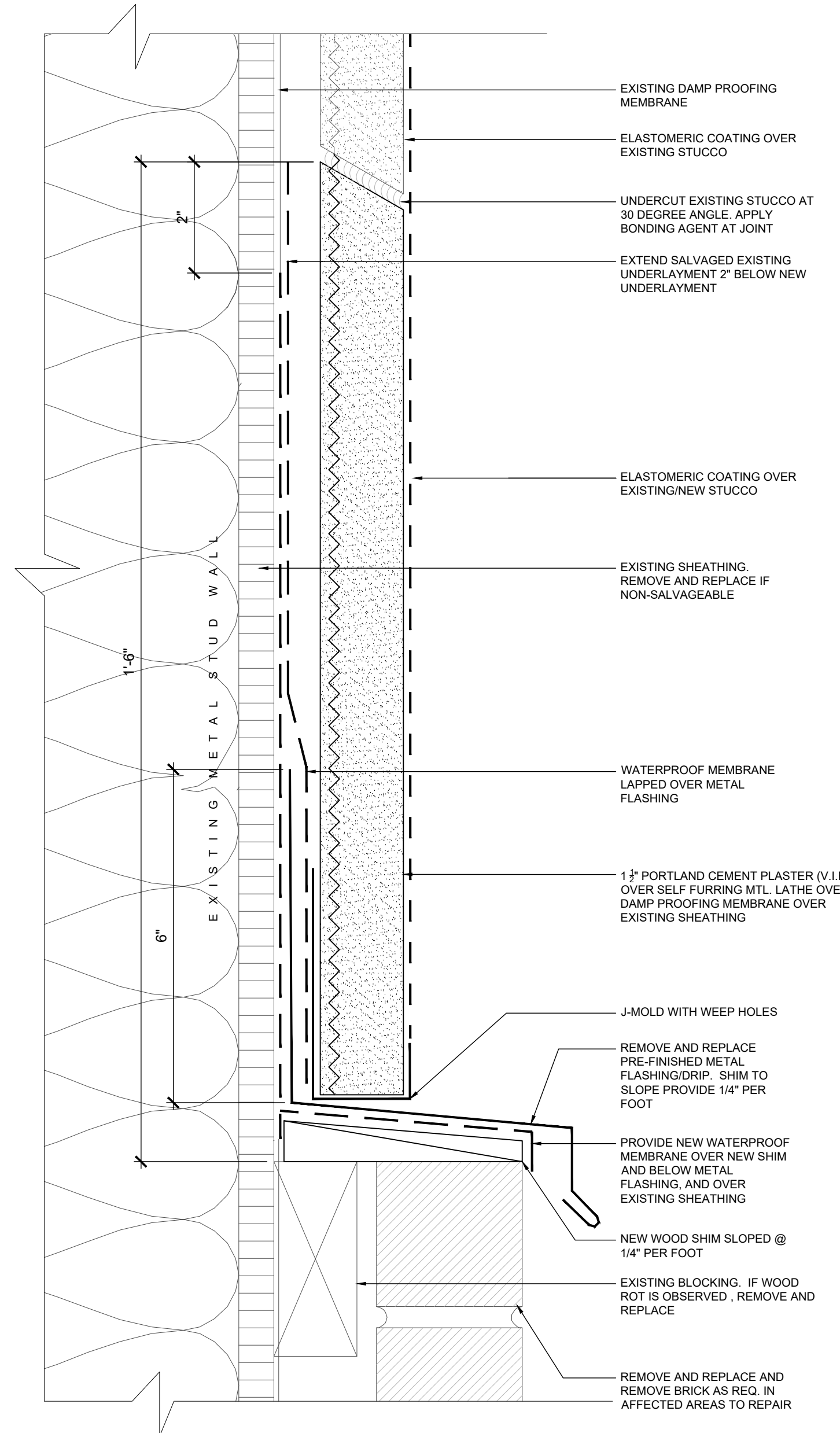
07
**TYPICAL VERTICAL
 CONTROL JOINT @ BRICK**
 SCALE: 6" = 1'-0"



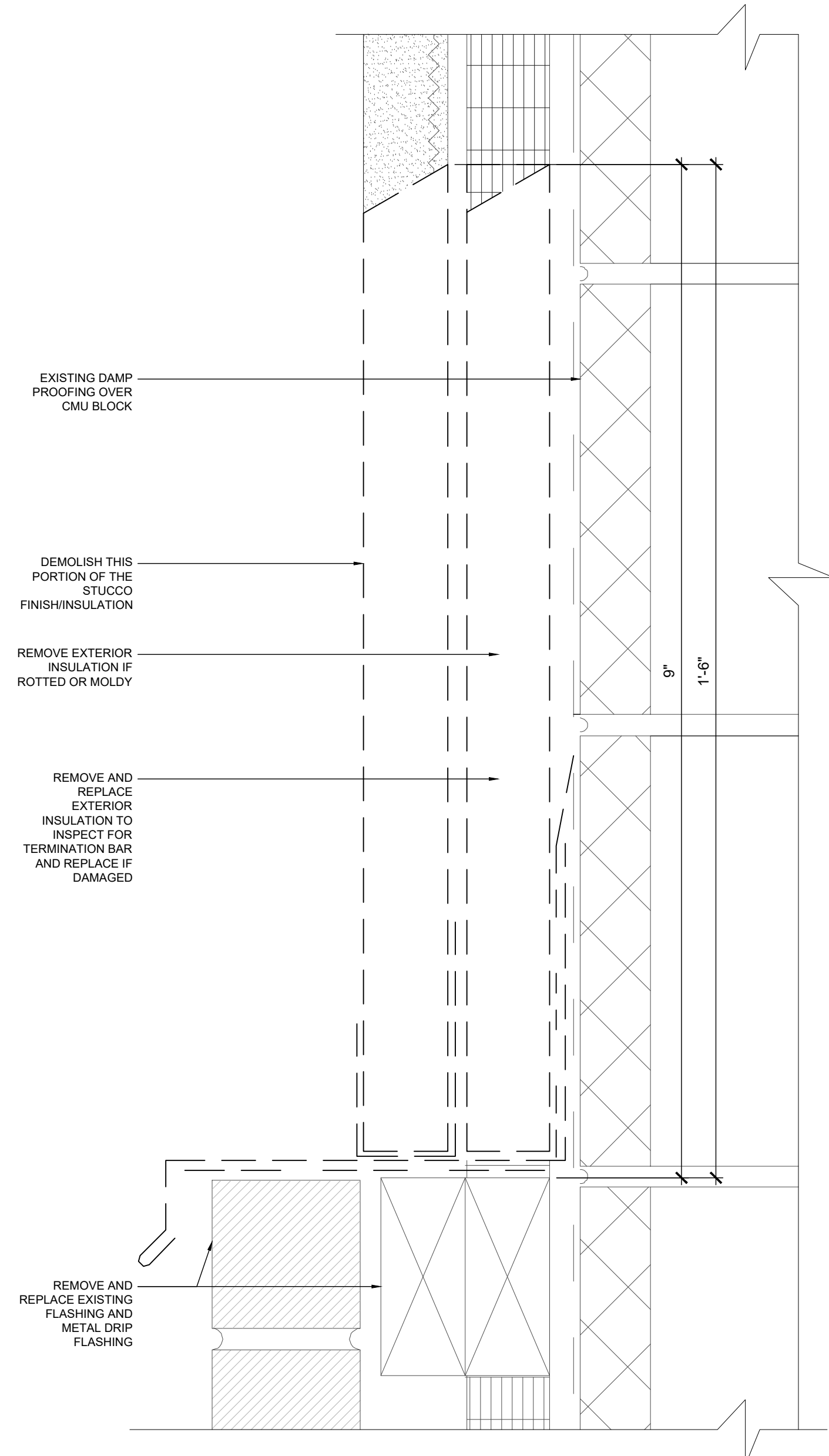
7B
METAL PANEL TRIM @ BRICK (JAMB VIEW)
 SCALE: 6" = 1'-0"



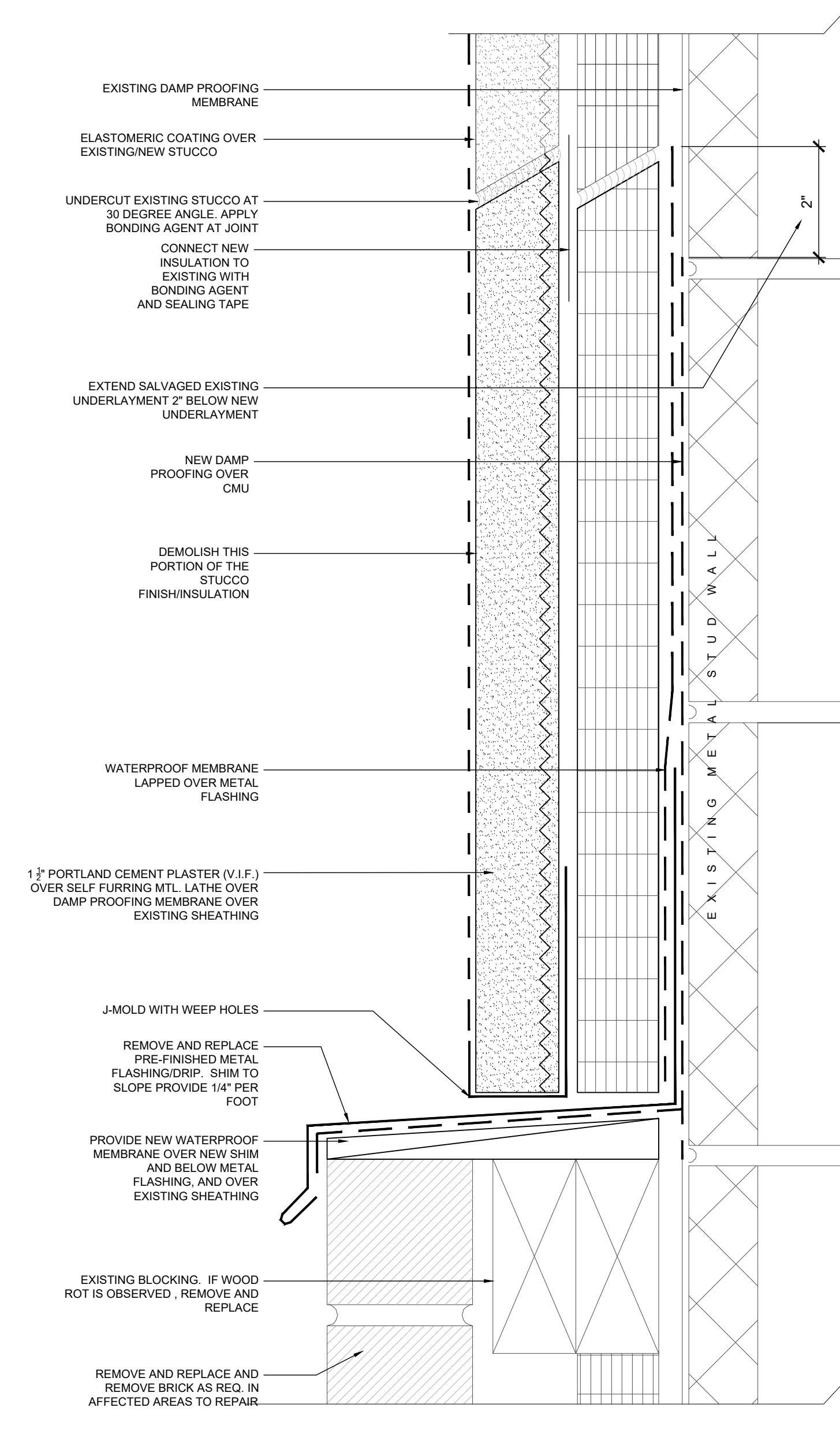
08
**TYPICAL DEMOLITION
 DETAIL @ WAINSCOT**
 SCALE: 6" = 1'-0"



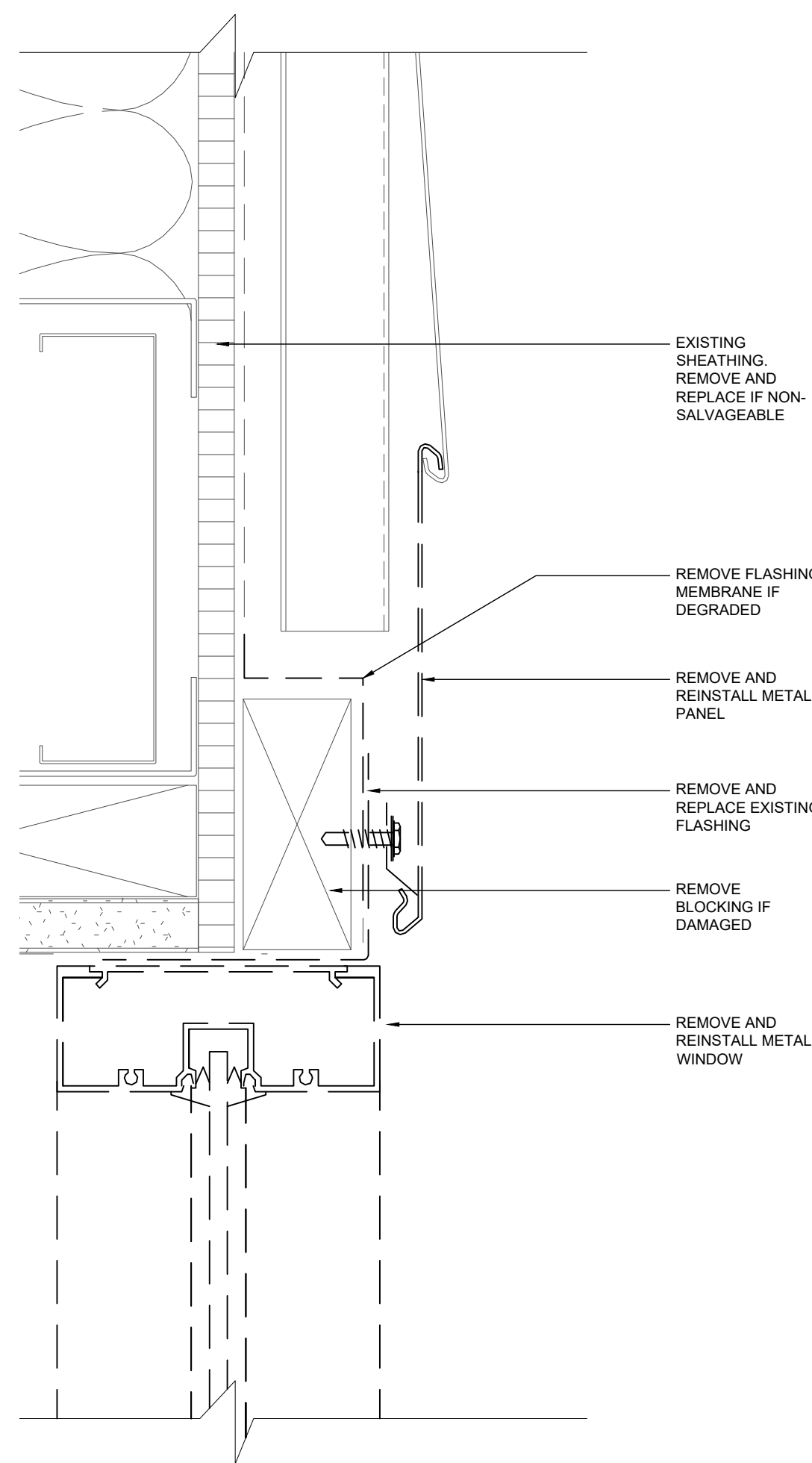
09
**TYPICAL STUCCO REPAIR @
 WAINSCOT - STUD WALL**
 SCALE: 6" = 1'-0"



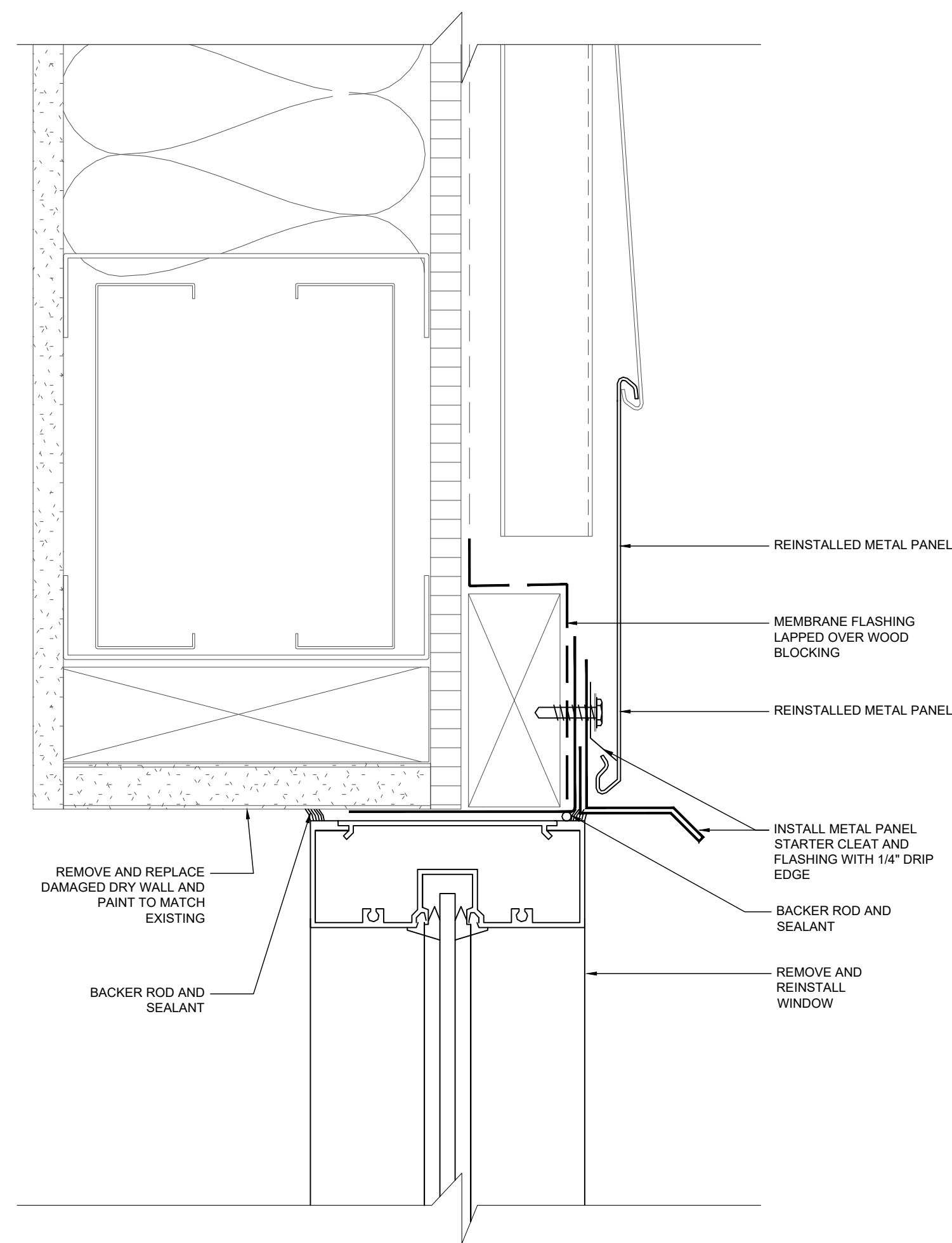
10
**TYPICAL DEMOLITION
 DETAIL @ WAINSCOT**
 SCALE: 6" = 1'-0"



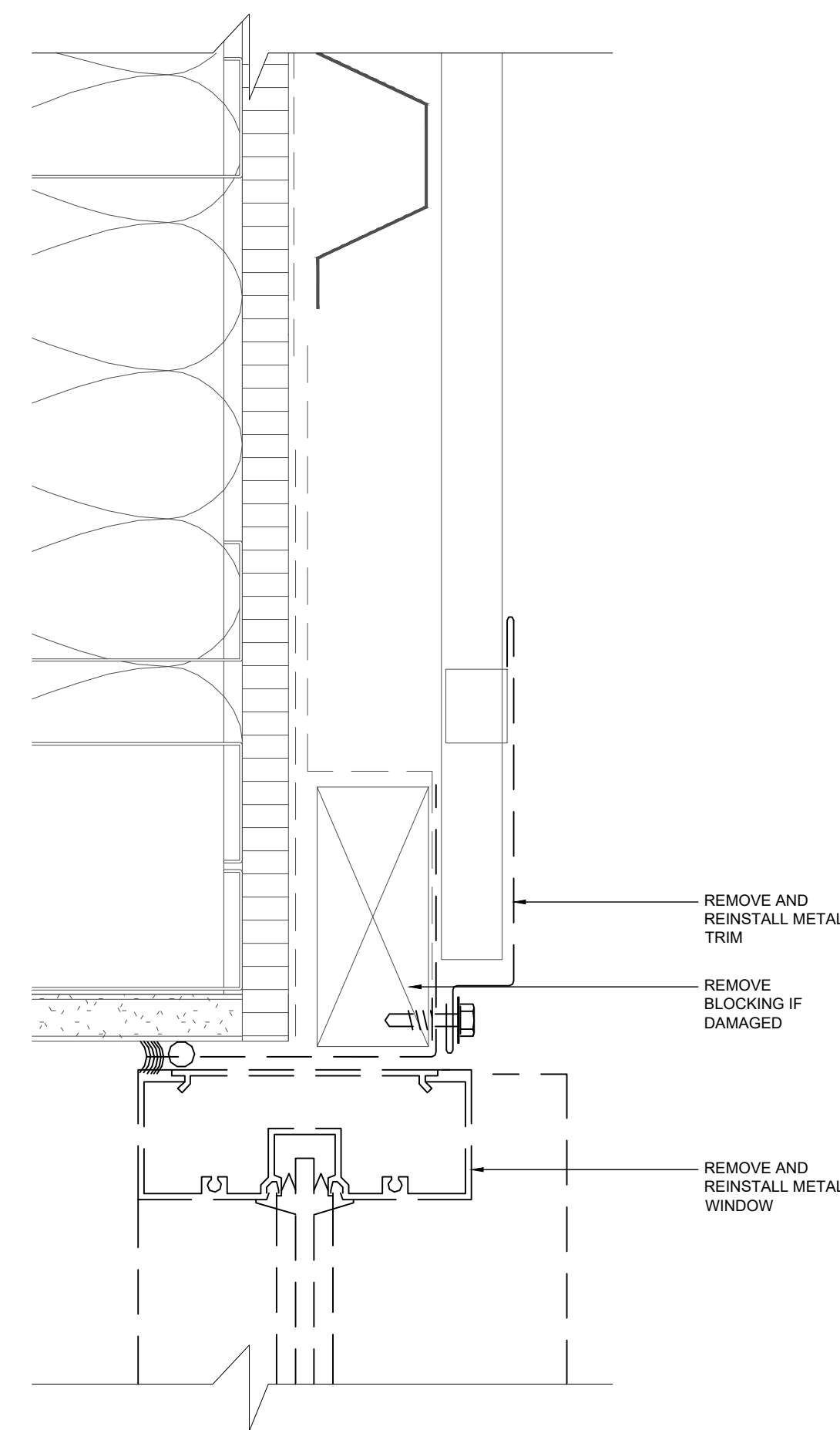
11
**TYPICAL STUCCO REPAIR @
 WAINSCOT - CMU WALL**
 SCALE: 6" = 1'-0"



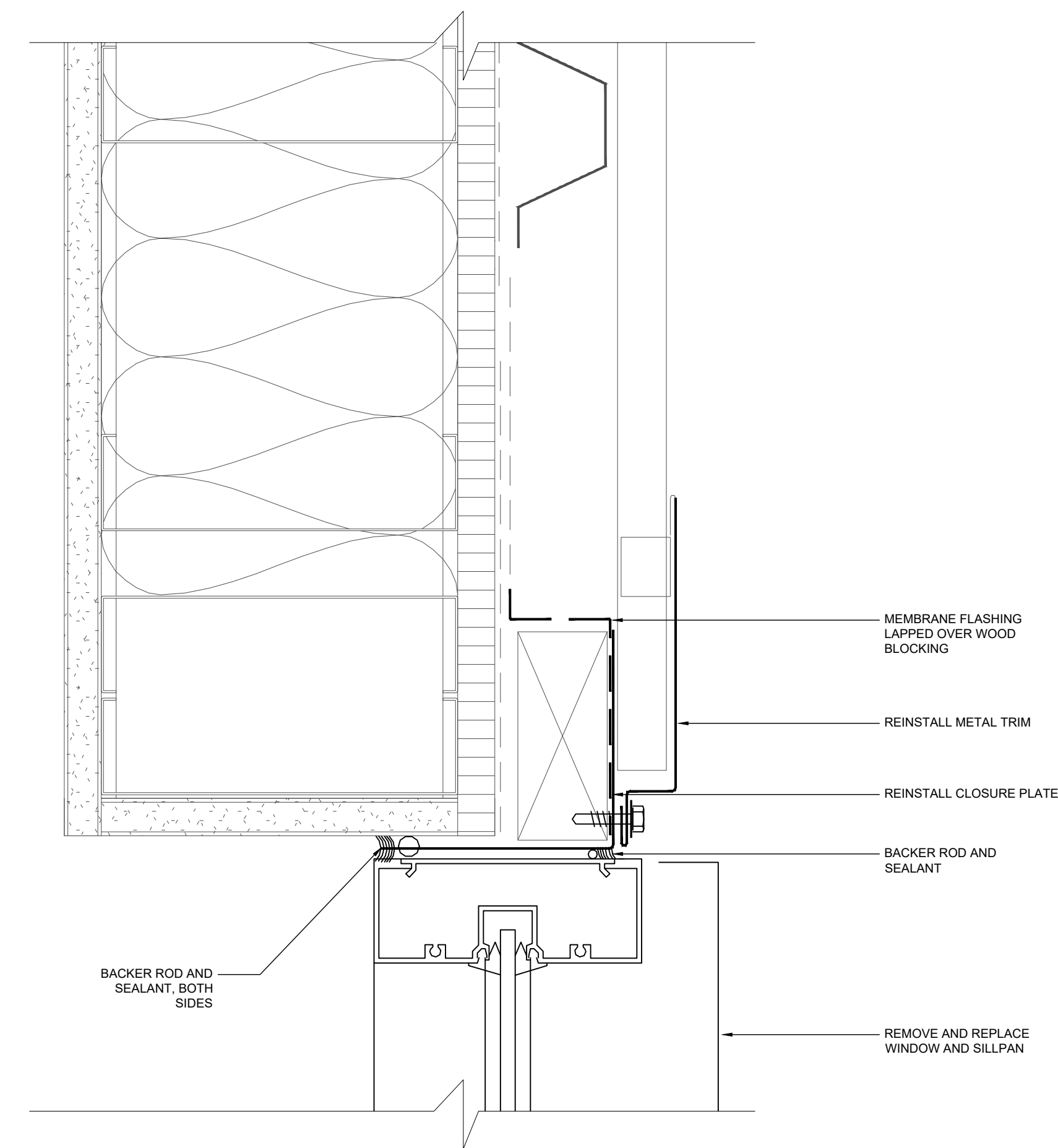
01 TYPICAL DEMOLITION
 DETAIL @ METAL PANEL HEADER
 SCALE: 6" = 1'-0"



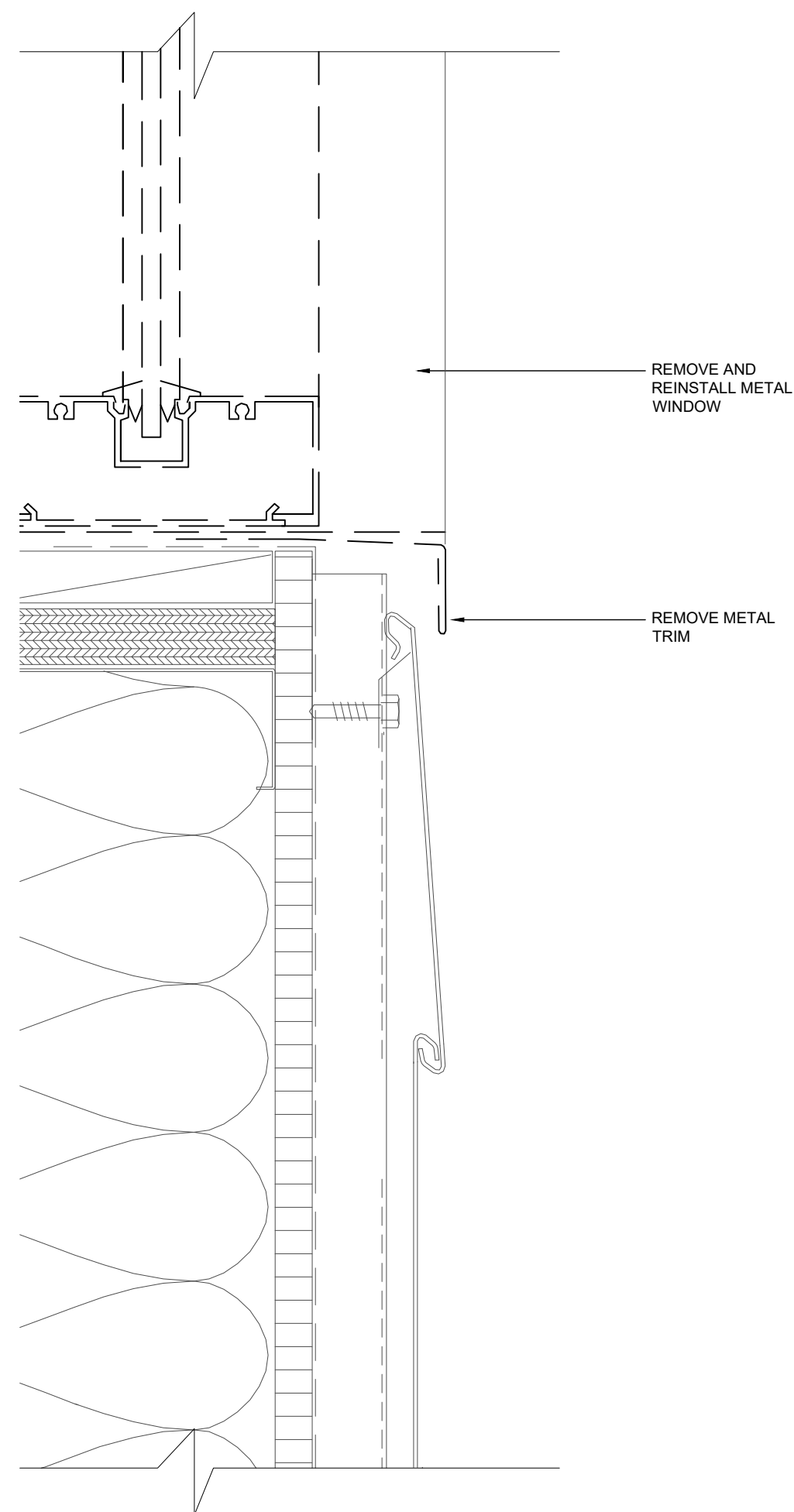
02 TYPICAL METAL PANEL
 REPAIR @ WINDOW HEADER
 SCALE: 6" = 1'-0"



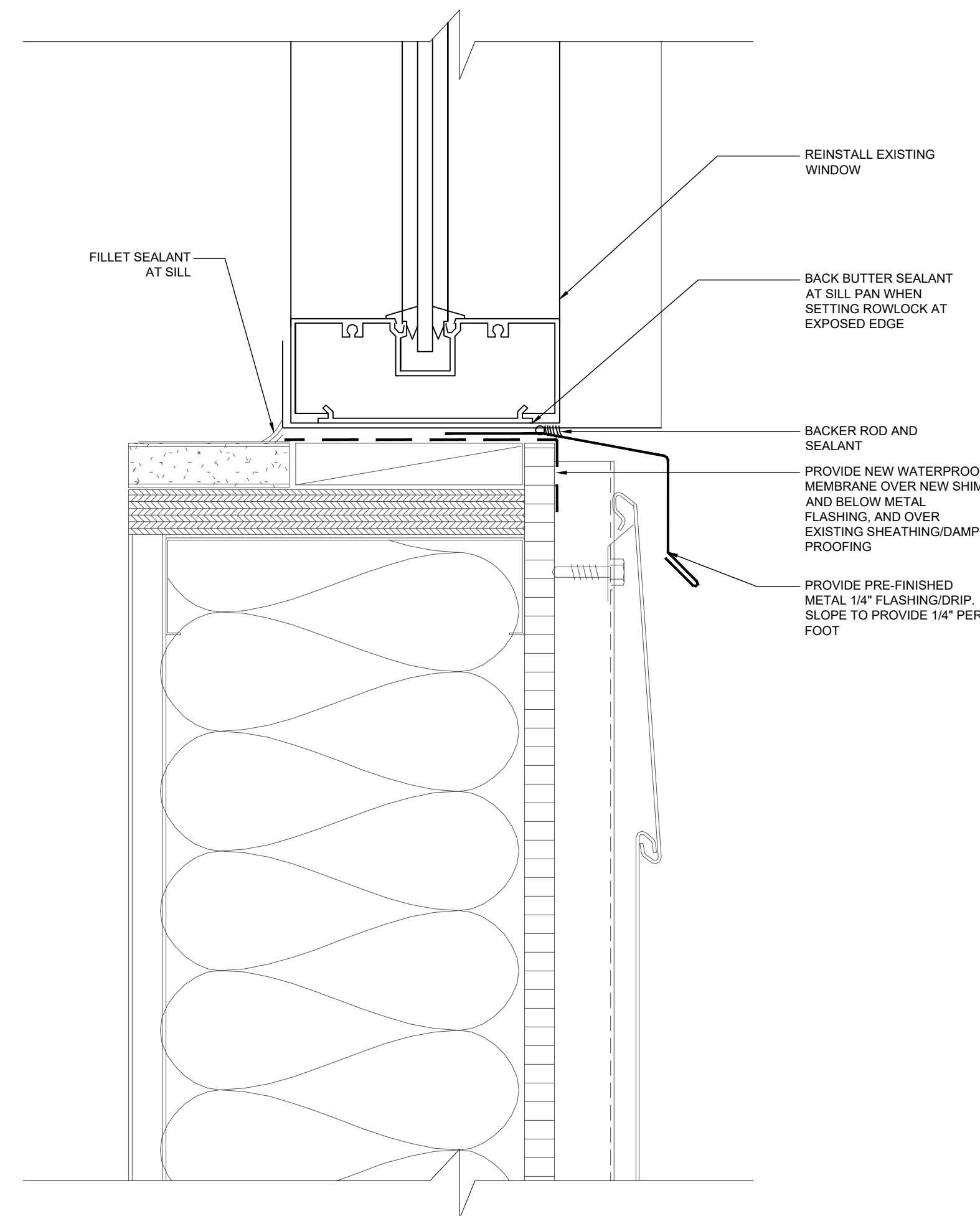
03 TYPICAL DEMOLITION
 DETAIL @ METAL PANEL WINDOW
 JAMB
 SCALE: 6" = 1'-0"



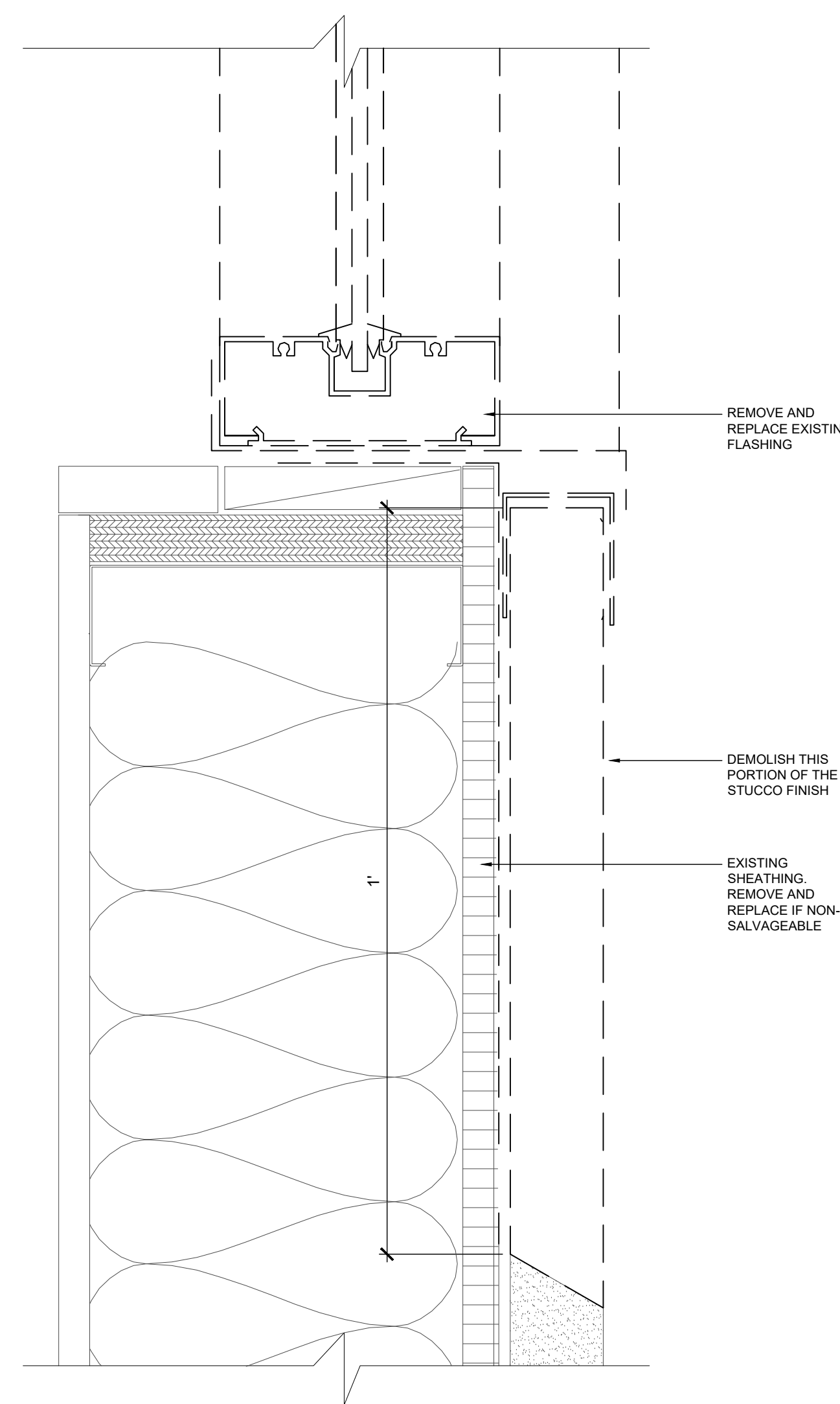
04 TYPICAL METAL PANEL
 REPAIR @ WINDOW JAMB
 SCALE: 6" = 1'-0"



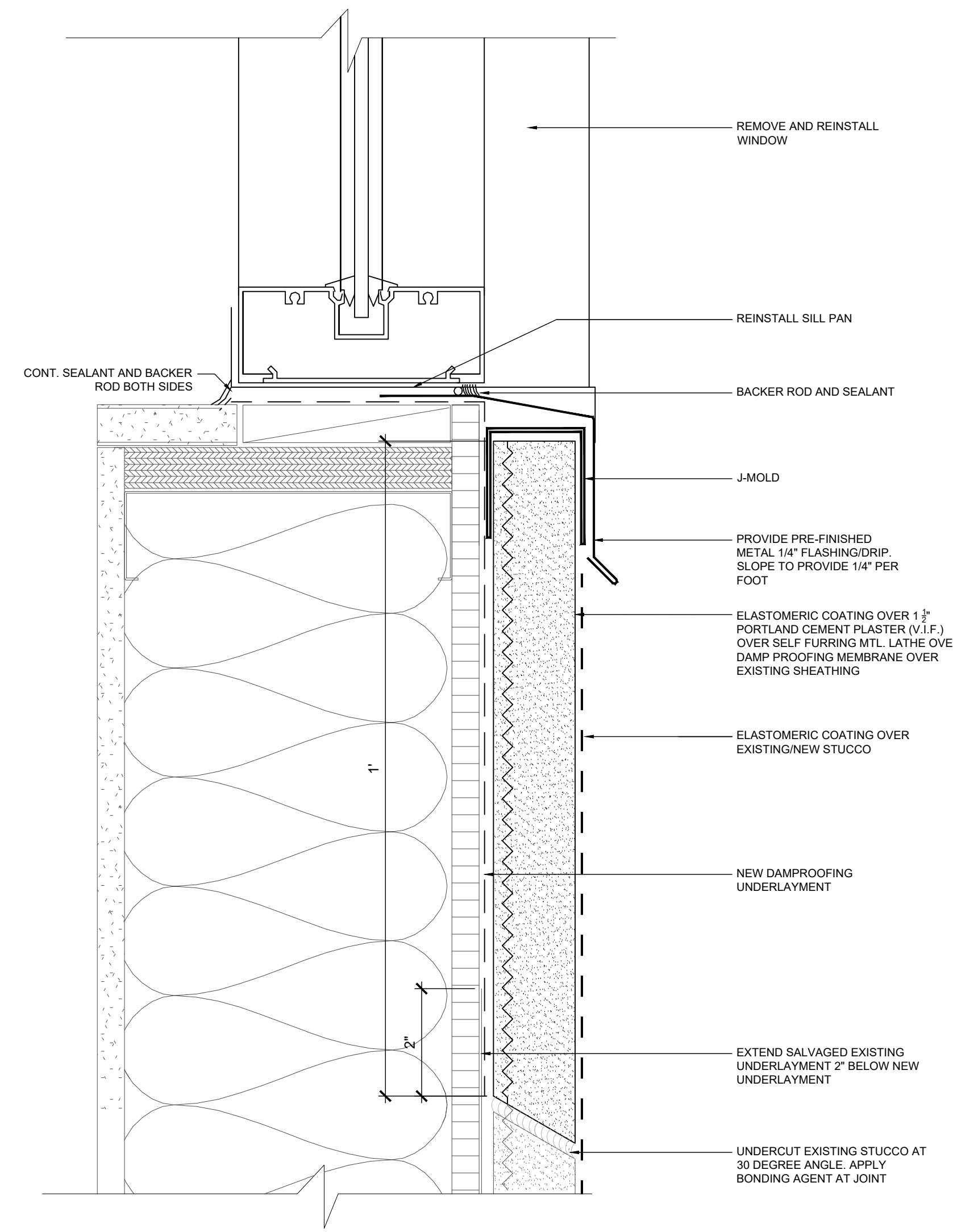
05 TYPICAL DEMOLITION
 DETAIL @ METAL PANEL SILL
 SCALE: 6" = 1'-0"



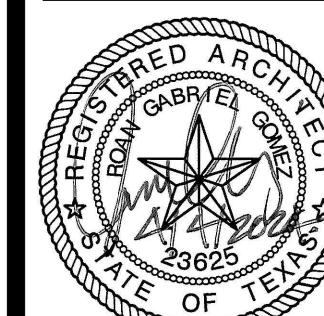
06 TYPICAL METAL PANEL
 REPAIR @ WINDOW SILL
 SCALE: 6" = 1'-0"

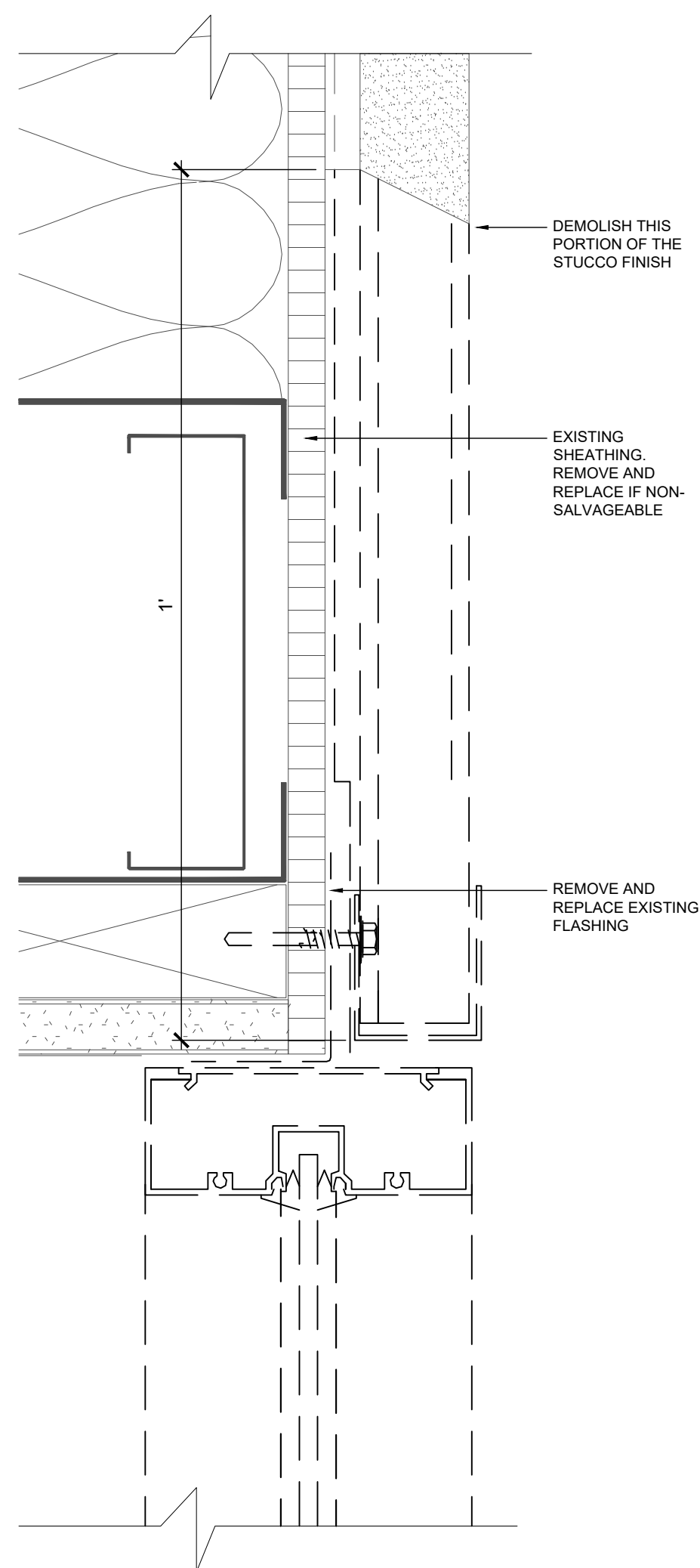


07 TYPICAL DEMOLITION
 DETAIL @ STUCCO SILL
 SCALE: 6" = 1'-0"

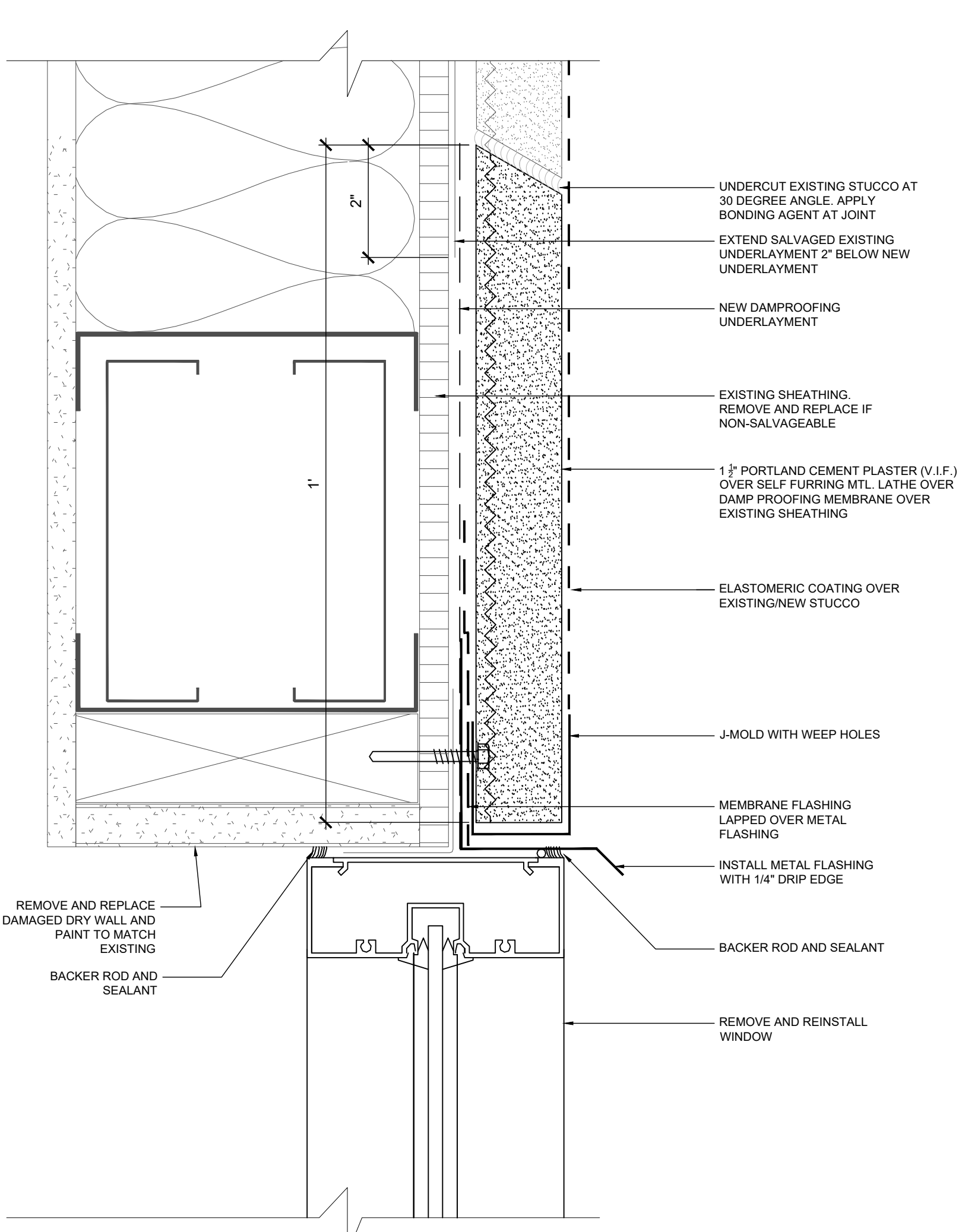


08 TYPICAL STUCCO REPAIR @
 STUCCO SILL
 SCALE: 6" = 1'-0"

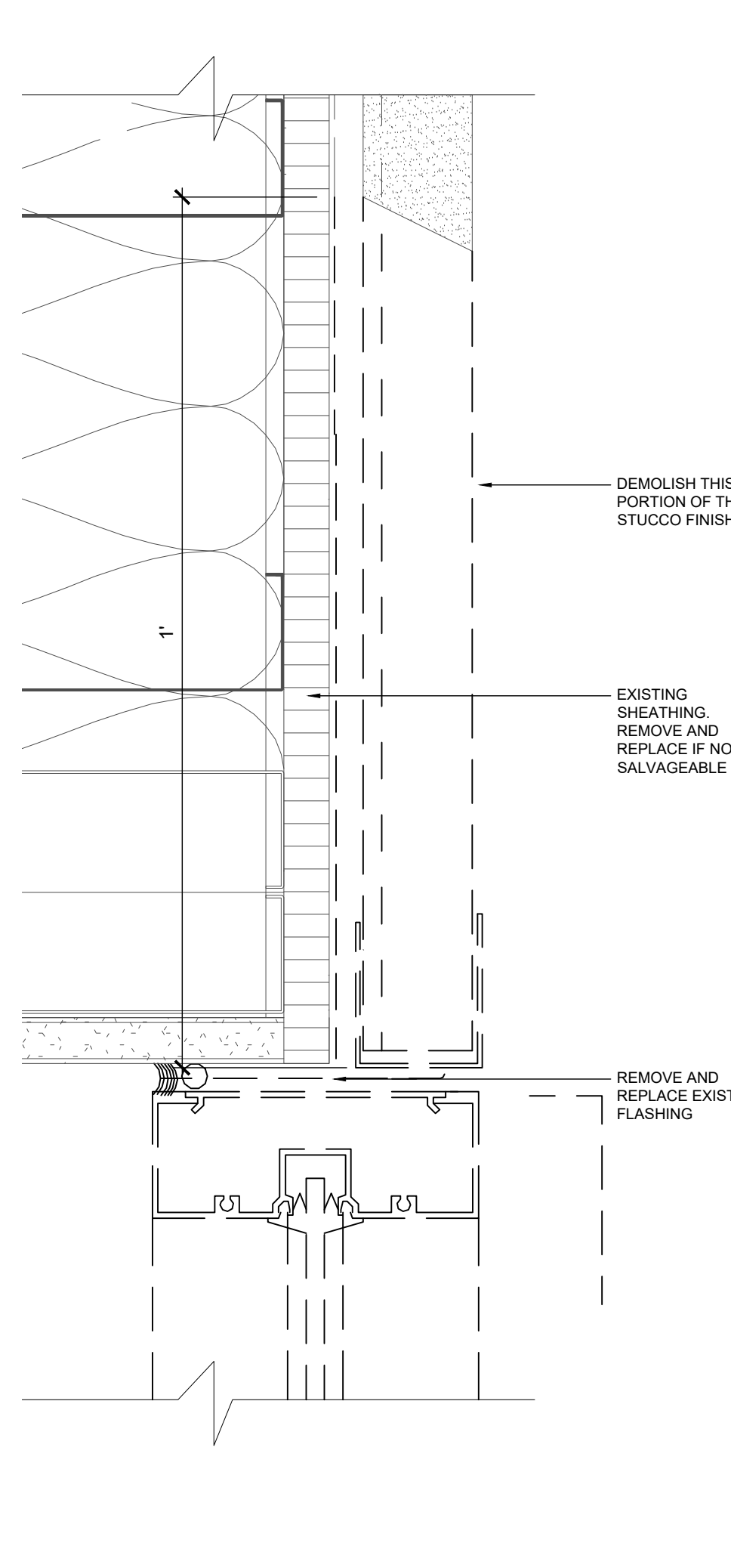




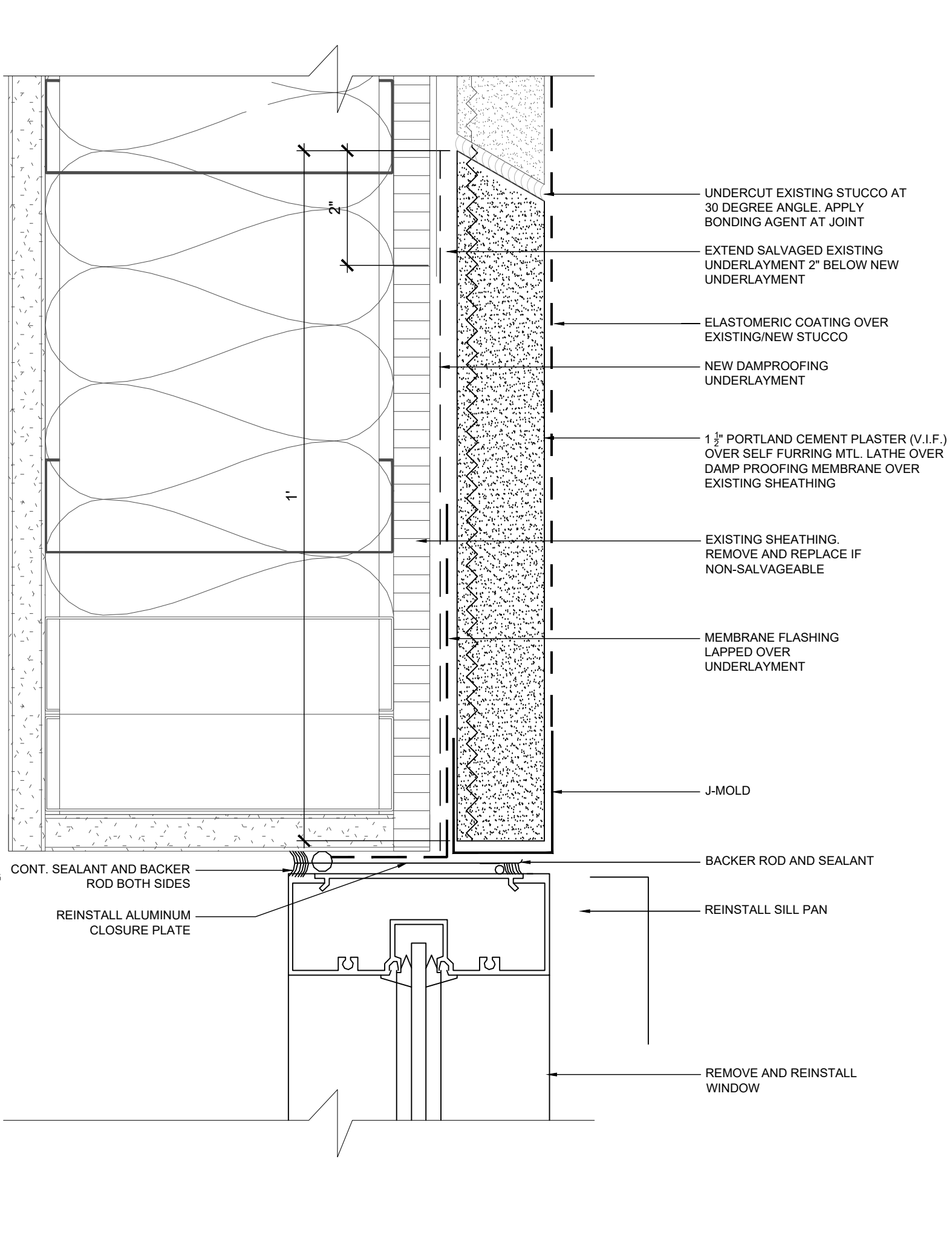
01
 TYPICAL DEMOLITION
 DETAIL @ HEADER/STUCCO
 SCALE: 6" = 1'-0"



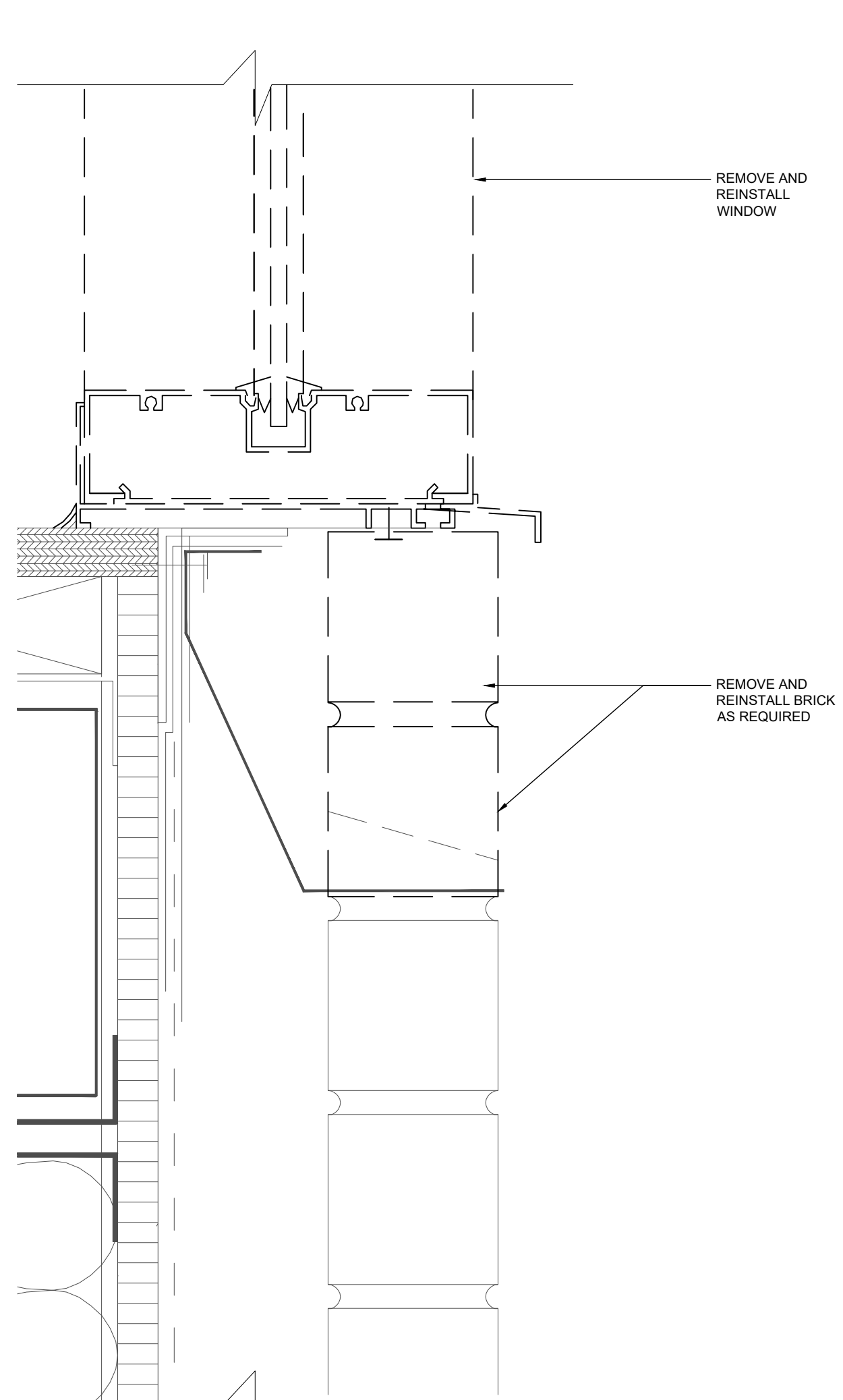
02
 TYPICAL STUCCO REPAIR
 @ WINDOW HEADER
 SCALE: 6" = 1'-0"



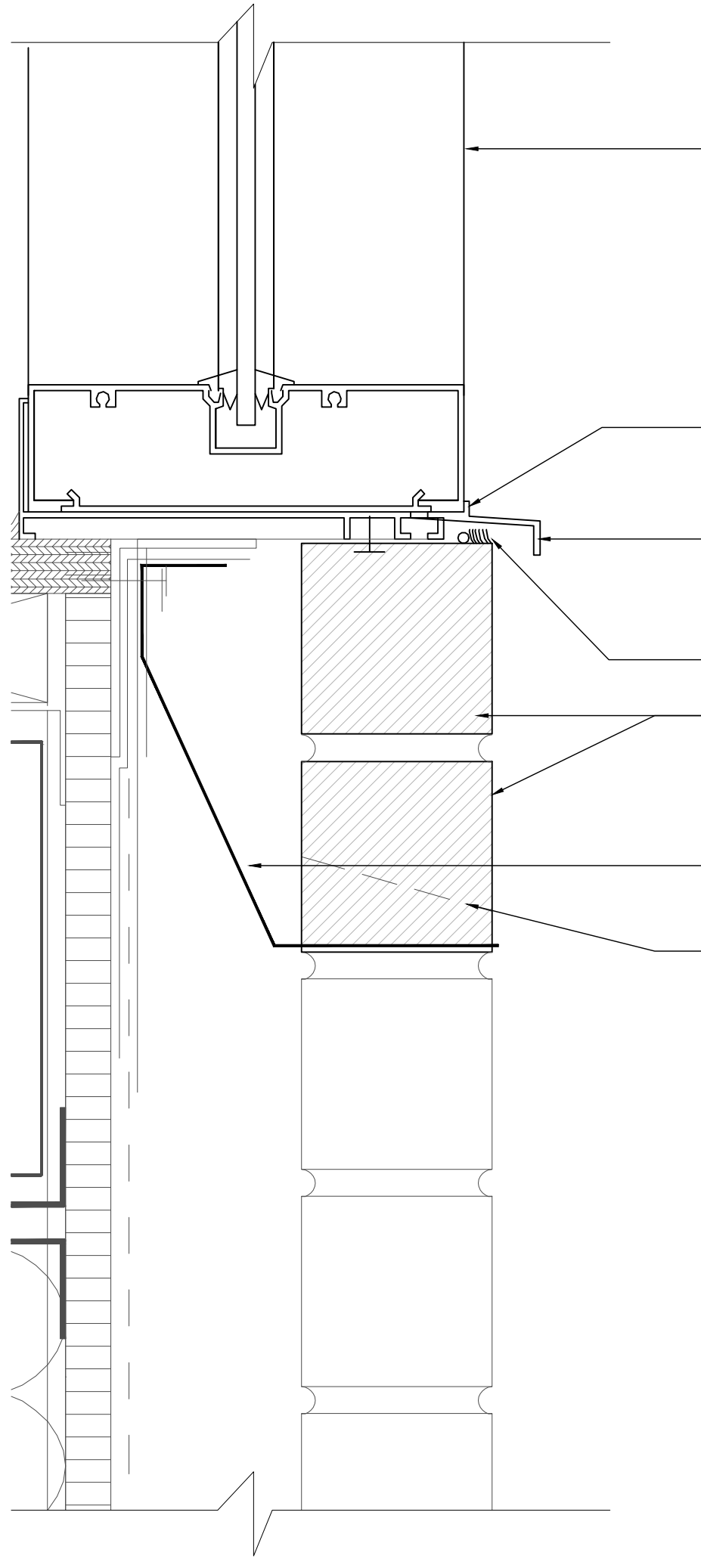
03
 TYPICAL DEMOLITION
 DETAIL @ JAMB/STUCCO
 SCALE: 6" = 1'-0"



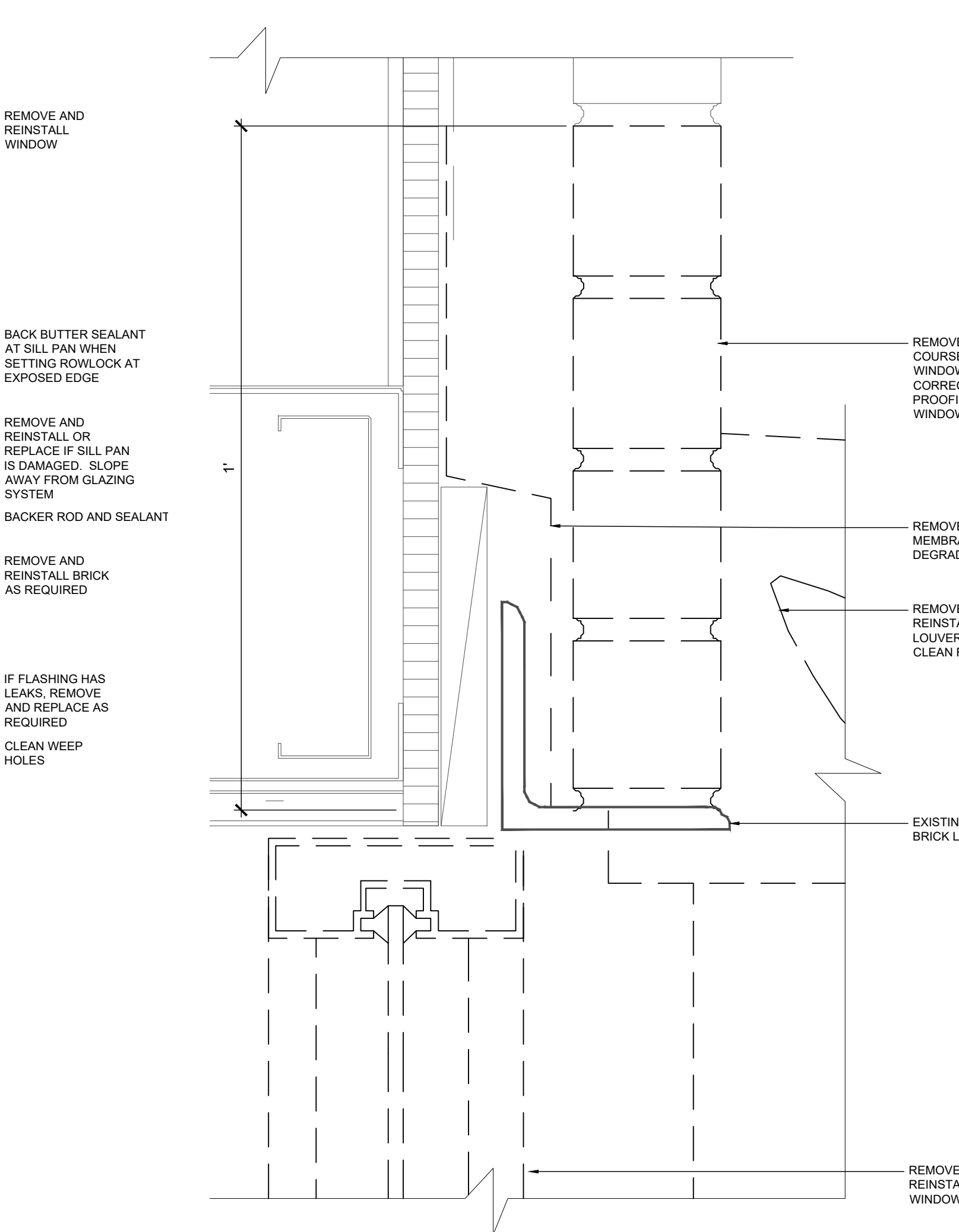
04
 TYPICAL STUCCO REPAIR
 @ WINDOW JAMB
 SCALE: 6" = 1'-0"



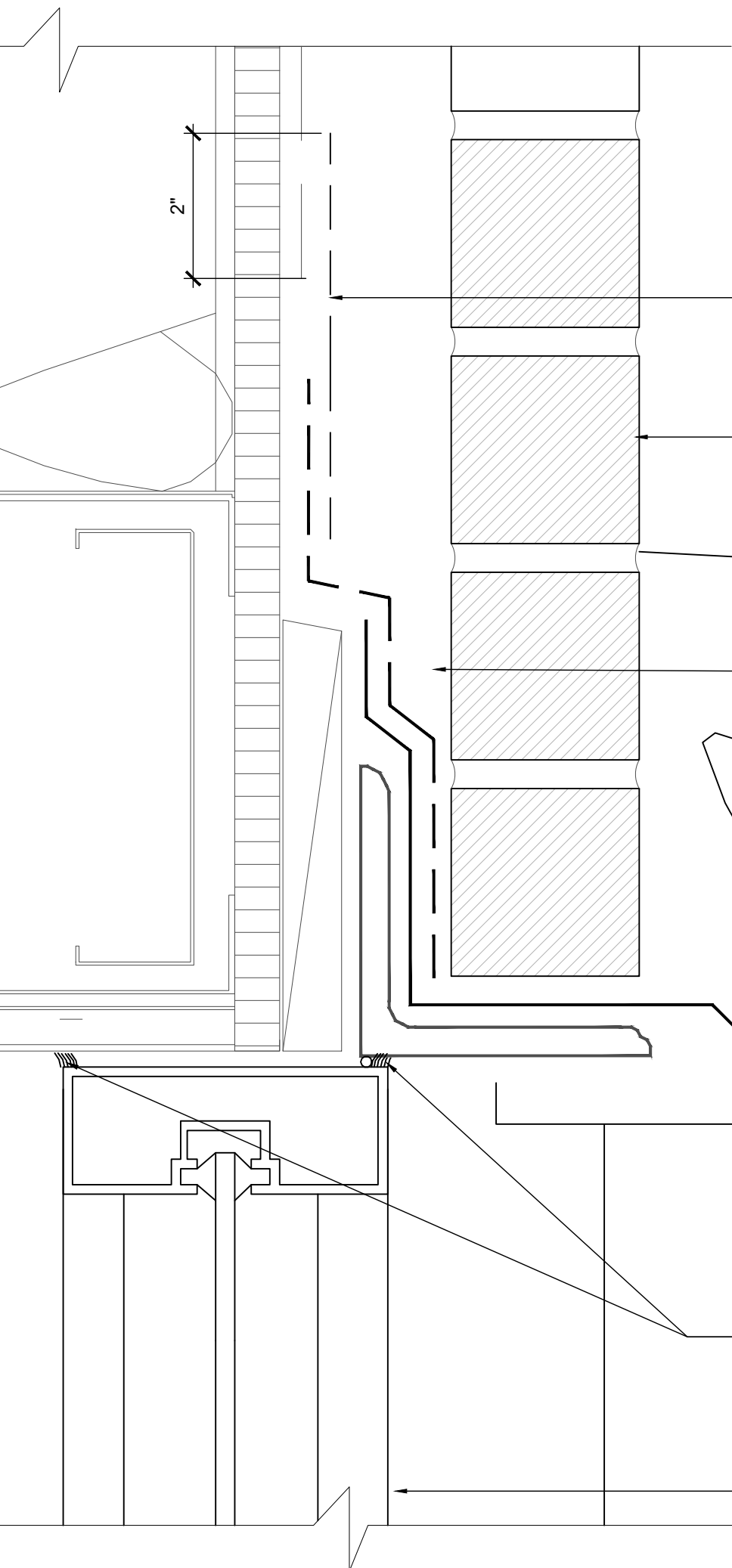
05
 TYPICAL DEMO @ SILL/BRICK
 SCALE: 6" = 1'-0"



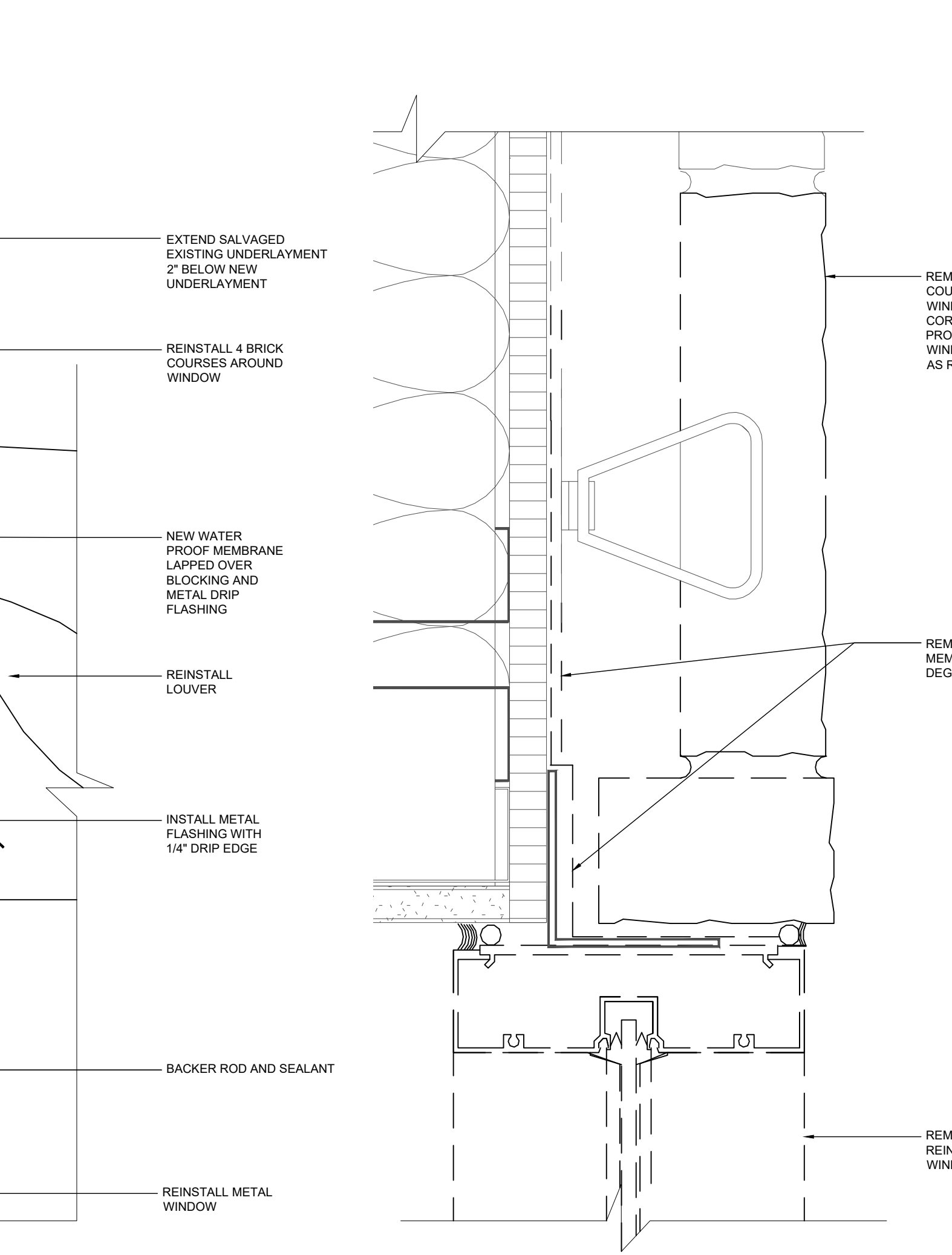
06
 TYPICAL BRICK REPAIR @
 WINDOW SILL
 SCALE: 6" = 1'-0"



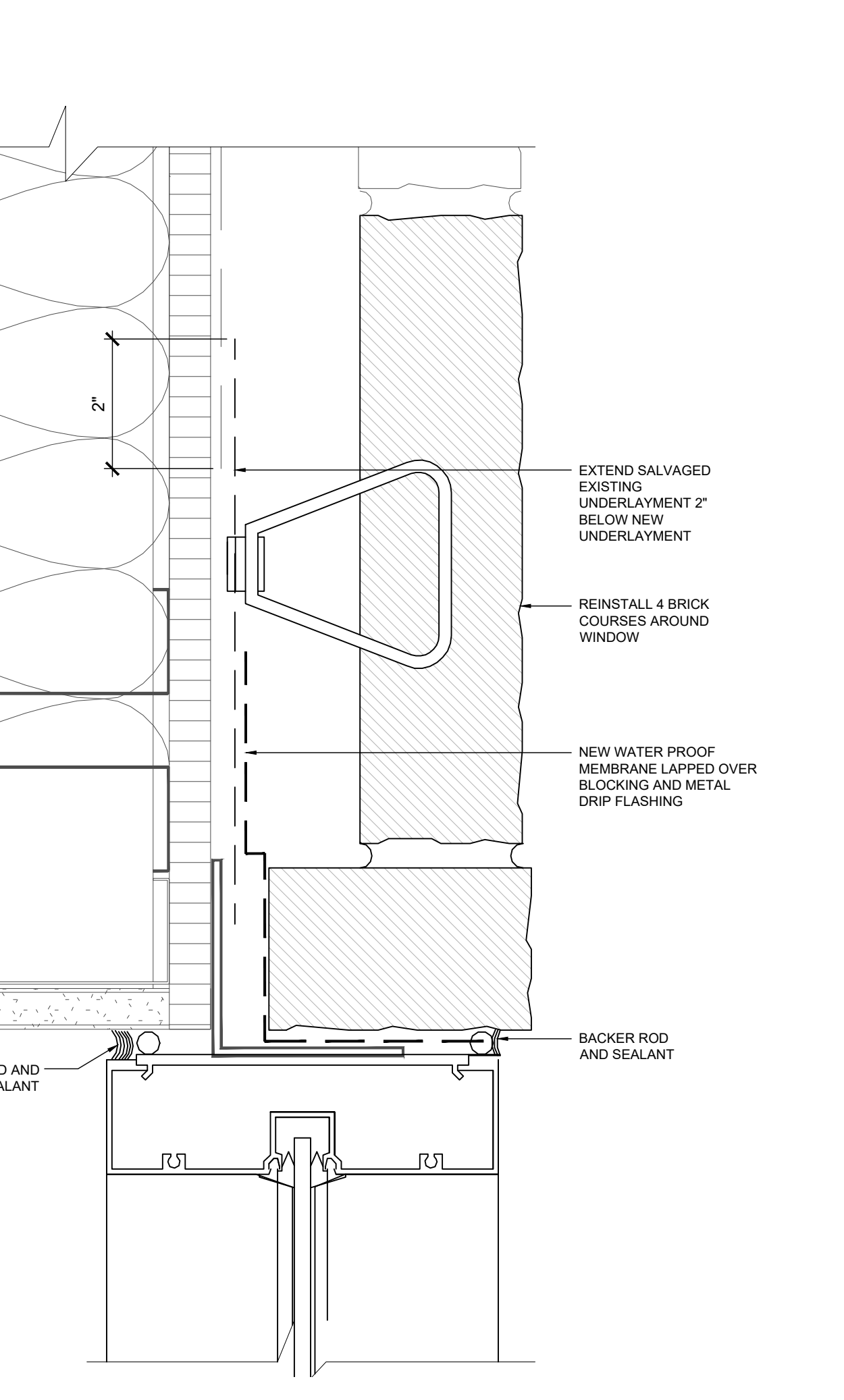
07
 TYPICAL DEMOLITION
 DETAIL @ HEADER/BRICK
 SCALE: 6" = 1'-0"



08
 TYPICAL REPAIR @ BRICK
 WINDOW HEADER
 SCALE: 6" = 1'-0"



09
 TYPICAL DEMOLITION
 DETAIL @ JAMB/BRICK
 SCALE: 6" = 1'-0"



10
 TYPICAL REPAIR @ BRICK
 WINDOW HEADER
 SCALE: 6" = 1'-0"

